



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDCCMI-2017-00613 DATE: 5 October 2017

ADDRESS OF PROPERTY: 1501 South Mint Street

HISTORIC DISTRICT: Wilmore TAX PARCEL NUMBER: 11908314

OWNER(S)/APPLICANT: Brian J. Dey and Minh Lai

DETAILS OF APPROVED PROJECT: The project is replacement doors and landscaping. New concrete ramps will be added in front of the garage doors and at main entry. The main entry ramp will also have a simple metal handrail. The existing replacement garage doors will be replaced with new twenty-light metal frame roll-up doors. All unpainted brick will remain unpainted. A 36" diameter medallion logo will be painted directly on the building above the front entry door. New wood planter boxes, approximately 3'- 9 5/8" in height, connected together by simple metal railings will be added in front of the building to create a patio-style seating area. The planter boxes will either be painted or stained. Any parking areas adjacent to West Summit Avenue will be buffered from the sidewalk with plantings. The patio and plant materials will not obscure the structure. See attached plans.

Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 2.6: Landscape & Site Features and Replacement Windows & Doors.

The applicable Policy & Design Guidelines for have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

James Haden, Chairman

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

Staff

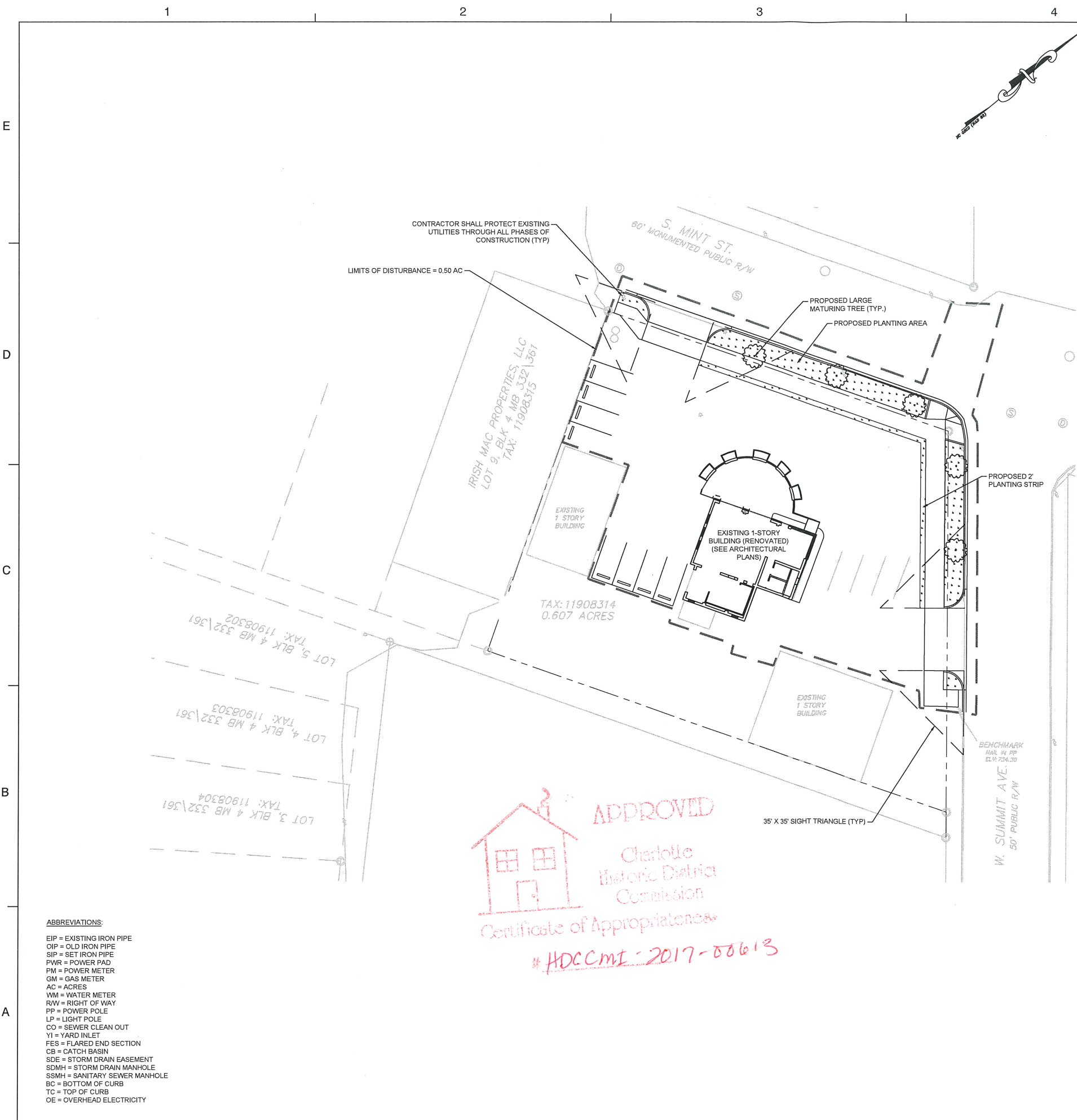
www.charlotteplanning.org

600 East Fourth Street

Charlotte, NC 28202-2853

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CHARLOTTE URBAN FORESTRY – TREE PLANTING AND PRESERVATION REQUIREMENTS

PLANT MATERIAL

1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (CLDS.40.09).
3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
4. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
5. PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF THE BALL.
6. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
7. 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

PLANTING REQUIREMENTS

1. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
2. SEE CLDS 40.01 (ON-PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS.
3. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
4. ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
5. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE).
6. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://LANDPERMITS.CHARMECK.ORG](http://LANDPERMITS.CHARMECK.ORG) THEN CLICK TREES.

UTILITY ISSUES

1. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
2. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
3. NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
4. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

TREE SAVE AND PRESERVATION

1. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
2. SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
3. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAT WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT.
4. TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
5. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
6. ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
7. NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
8. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.
9. IF ROOT PRUNING IS NECESSARY IT SHALL BE IN ACCORDANCE WITH SECTION 1000 OF THE CIT OF CHARLOTTE'S LANDSCAPE CONSTRUCTION STANDARDS.

GENERAL

1. CALL (704) 336-4330 FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE A CO IS NEEDED.
2. VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://LANDPERMITS.CHARMECK.ORG](http://LANDPERMITS.CHARMECK.ORG) THEN CLICK TREES.

LANDSCAPE AREA REQUIRED (NEW CONSTRUCTION):

PERIMETER PLANTING: FRONTAGE = 236 LF / 40 FT = 5 TREES REQUIRED
TREES PROVIDED = 5

*NOTE: NO SITE LIGHTING IS PROPOSED AT THIS TIME

PLANTING LEGEND & SCHEDULE			
TREES	COMMON NAME	SPECIES NAME	QUANTITY
	LACEBARK ELM	ULMUS PARVIFOLIA	5
	GRASS		188 SY

LEGEND

- PROPOSED PLANTING AREA
- LIMITS OF DISTURBANCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAINAGE MANHOLE
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- PROPERTY LINE
- PARKING COUNT
- PROPOSED FENCE



Dewberry Engineers Inc.

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NCBELS #F-0929

MAX & LOLA, LLC
BUILDING RENOVATION
SITE IMPROVEMENTS

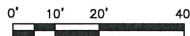
100% CONSTRUCTION DOCUMENTS
CHARLOTTE, NORTH CAROLINA

SEAL



KEY PLAN

SCALE: 1" = 20'



NO.	DATE	BY	DESCRIPTION
1	09/19/17	RAL	CITY COMMENTS

REVISIONS

DRAWN BY JOB
APPROVED BY BJD
CHECKED BY BJD
DATE AUGUST 09, 2017

TITLE

LANDSCAPE PLAN

PROJECT NO. 50095068

C7.0

ABBREVIATIONS:

EIP = EXISTING IRON PIPE
OIP = OLD IRON PIPE
SIP = SET IRON PIPE
PWR = POWER PAD
PM = POWER METER
GM = GAS METER
AC = ACRES
WM = WATER METER
R/W = RIGHT OF WAY
PP = POWER POLE
LP = LIGHT POLE
CO = SEWER CLEAN OUT
YI = YARD INLET
FES = FLARED END SECTION
CB = CATCH BASIN
SDE = STORM DRAIN EASEMENT
SDMH = STORM DRAIN MANHOLE
SSMH = SANITARY SEWER MANHOLE
BC = BOTTOM OF CURB
TC = TOP OF CURB
OE = OVERHEAD ELECTRICITY

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
#HDC CM1-2017-00613