



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** HDCRMA-2017-00032

**DATE:** 7 November 2017

**ADDRESS OF PROPERTY:** 1619 Lyndhurst Avenue

**HISTORIC DISTRICT:** Dilworth

**TAX PARCEL NUMBER:** 12308503

**OWNER(S):** Jeffrey McAveny

**DETAILS OF APPROVED PROJECT:** The project includes changes to the façade of the principal structure and a new brick walkway connecting the front porch steps to the sidewalk. A non-historic front porch enclosure will be removed and the front porch will be re-built with new wood columns, railing, and brick steps. The railing will be traditionally detailed with the pickets centered on the top and bottom rails, not applied to the outside, with an additional piece of trim along the top rail. All traditional materials to be used with details to match existing. See plans for additional notes. This approval does not include the proposed rear addition applied for under this same application number.

The project was approved by the HDC February 8, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

  
James Haden, Chairman

  
Staff

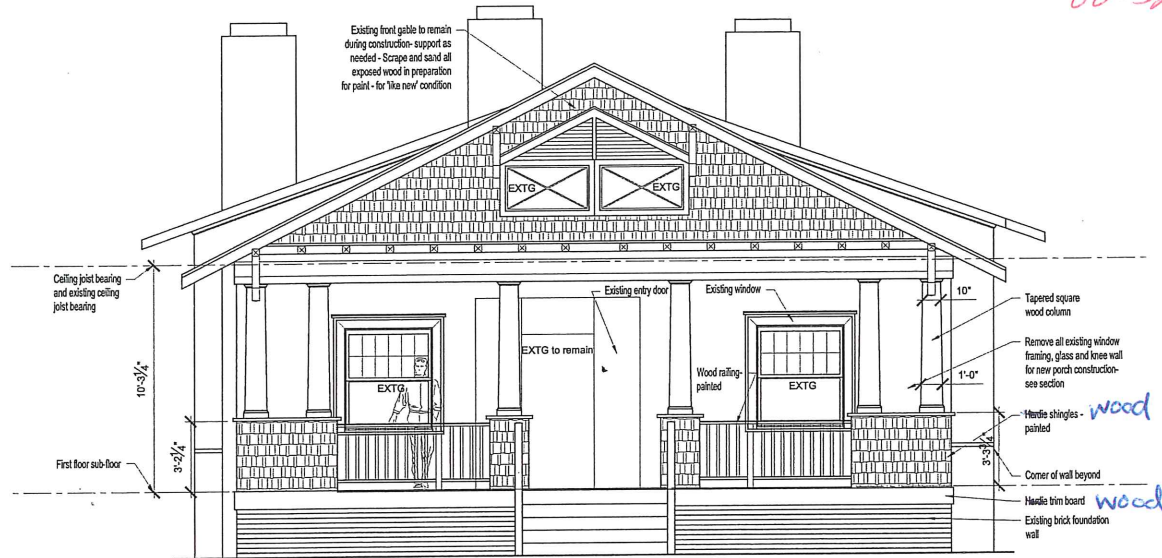


APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

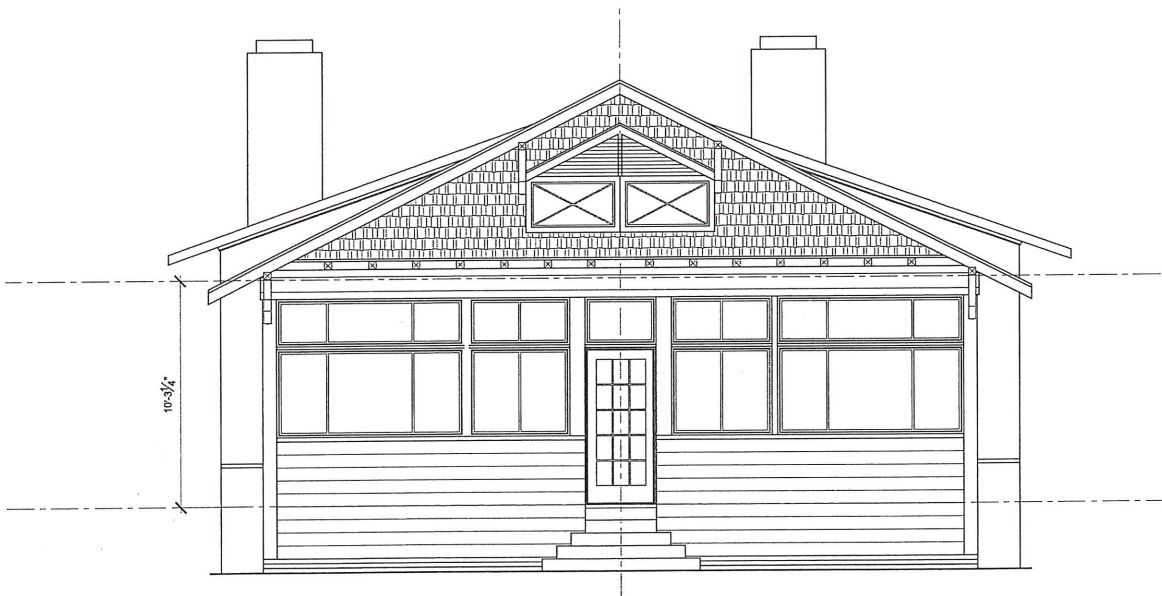
# HOCRMA-2017-  
00032



FRONT ELEVATION

02

1/4" = 1'-0"



EXISTING FRONT ELEVATION

01

1/4" = 1'-0"

Poetzsch Architecture



Renovations and Additions  
**The McAveney Residence**  
1619 Lyndhurst Avenue, Charlotte, North Carolina

Owner's Review/ Pricing  
Issued For: July 22, 2016  
Date of Issue: January 17, 2017  
Revisions: XXX  
For Permit: XXX  
Revisions: XXX

A201  
Elevations  
McAveney Residence/AutoCAD/McAveney Residence A201.dwg  
Drawn By:FBP Checked By:FBP



## GENERAL NOTES

THESE DRAWINGS REPRESENT THE OWNER'S MINIMUM  
DEFINITION OF SCOPE. CONTRACTOR AND SUBCONTRACTORS  
MUST CONFORM TO ALL APPLICABLE NORTH CAROLINA RESIDENTIAL  
BUILDING CODE 2012 EDITION OVER AND ABOVE THESE DRAWINGS.

DIMENSIONS ARE TO FACE OF STUD  
LESS OTHERWISE NOTED. DIMENSIONS OPPOSITE  
TERMINALS ARE SYMMETRICAL UNLESS  
OTHERWISE NOTED. ARCHITECTURAL DRAWINGS GOVERN LAYOUT

GENERAL CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS  
ON SITE. SHALL NOTIFY THE ARCHITECT OF ANY  
DISCREPANCIES WITHIN THE DRAWINGS OR BETWEEN THE  
DRAWINGS & EXISTING FIELD CONDITIONS BEFORE  
PROCEEDING.

GENERAL CONTRACTOR IS TO COORDINATE ALL DETAILS  
CONSTRUCTION PRIOR TO FABRICATING AND PLACING  
ELEMENTS. REQUIRED SHOP DRAWINGS AND MATERIAL SAMPLES  
TO BE SUBMITTED TO THE ARCHITECT AS FOLLOWS:

DOOR & WINDOW SCHEDULES AND DETAILS  
PLUMBING FIXTURES AND CUT SHEETS  
CABINET SHOP DRAWINGS

CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE  
LATEST CONSTRUCTION INDUSTRY STANDARDS AND PRACTICES  
WHERE PERFORMANCE STANDARDS AND TOLERANCES ARE NOT  
SPECIFIED IN THESE DRAWINGS.

ACCESS TO THE CONSTRUCTION SITE SHALL BE COORDINATED  
WITH THE OWNER AND SHALL BE MINIMALLY DISRUPTIVE

THE OWNER MAY REQUEST CHANGES TO THE CONSTRUCTION  
PROGRAM. APPROVAL FROM THE ARCHITECT

## Area Calculations

space	Area / SF
First Floor Existing	1,770 SF
First Floor Addition	734 SF
<b>Grand Total Combined Area</b>	<b>2,504 SF</b>



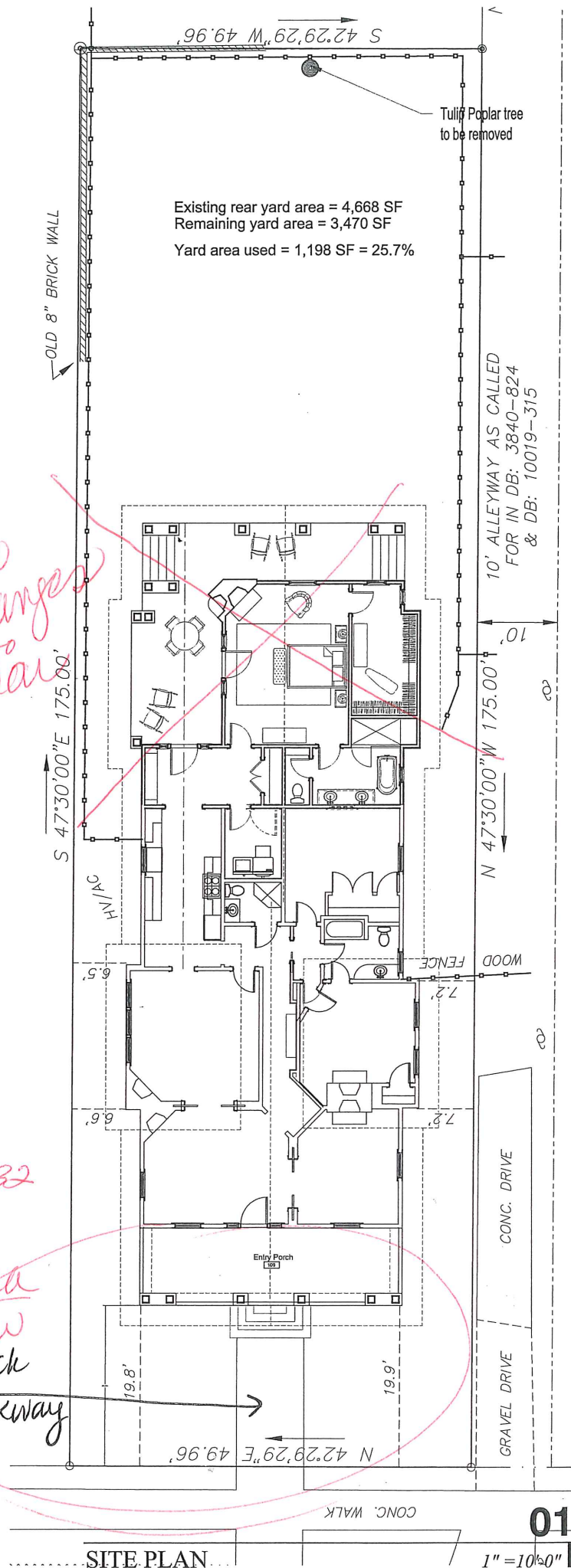
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Certificate of Appropriateness

# HDCRMA 2017-00032

Project Area  
new  
Brick  
walkway



KENNETH A. TYNC  
DB: 10019-315

GARY K. CHESSON  
DB: 9963-539

ROBERT M. SMITH, III  
DB: 14434-222

KATHIE I. ALLEN  
DB: 27862-694



Poetzsch Architecture

Renovations and Additions

The McAvney Residence

1619 Lyndhurst Avenue, Charlotte, North Carolina

132 Cottage Place Charlotte, North Carolina 28207 704 372 1860

Issued For: Owner's Review/ Pricing  
Date of Issue: July 22, 2016  
Revisions: January 17, 2017  
For Permit: XXX  
Revisions: XXX

A100

Site Plan & Notes

McAvney Residence/AutoCAD/McAvney Residence Site A100.dwg  
Drawn By: PJP Checked By: PJP