



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS – AMENDED

CERTIFICATE NUMBER: HDCRMI-2017-00031

DATE: 6 June 2017

25 July 2017 – AMENDED

28 February 2018 – AMENDED

23 May 2018 – AMENDED

ADDRESS OF PROPERTY: 1319 Thomas Avenue

HISTORIC DISTRICT: Plaza Midwood

TAX PARCEL NUMBER: 08117419


OWNER/APPLICANT: Diane Hopper

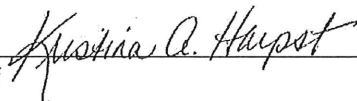
DETAILS OF APPROVED PROJECT: The project is the construction of a detached garage/ADU. The structure will meet required side and rear setbacks. The ADU portion of the structure will have a metal roof. The structure will either be clad in traditional wood siding or cementitious smooth siding with a minimum of ½ inch reveal that matches the existing siding of the main house. See attached plans.

The project was approved by the HDC on February 8, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

Site Data

General Information:

Name of Project: Detached ADU Replacement
Address: 1319 Thomas Avenue, Charlotte, NC 28205
Proposed Use: Detached ADU Replacement
Owner / Contact Person: Diane Hopper 704-910-4216
Contractor: A & W Custom Carpentry & Roofing
Contractor Contact Info: 704-728-5268 Nick Woolf nwoolf@gmail.com
Contractor: Tax Pin:
Zoning: R-5
Jurisdiction: City of Charlotte, NC

2012 North Carolina Residential Code

Name of Project: Detached ADU Replacement
Address: 1319 Thomas Avenue, Charlotte, NC 28205
Proposed Use: Detached ADU Replacement
Owner / Contact Person: Diane Hopper 704-910-4216
Architect of Record: Tony F. Miller, AIA / NC 6201 704-377-8500
Structural: TJ Philbrick, PE / 24578 704-622-8473

Gross Building Area:

Floor	Renovated Gross Sq. Ft. (Unheated)	Renovated Gross Sq. Ft. (Heated)	Covered Sq. Ft. (Unheated)
ADU	-	769	55
Storage	-	-	-
-	-	-	-
-	-	-	-
Total Gross Area: 769 Sq. Ft. (Heated)			

Design Loads

Roof Live Load:	20	PSF.
Wind:	90	MPH.
Floor:	40	PSF.
Snow:	20	PSF.
Seismic:	N/A	

Soil Bearing Capacities:

Field Test (Provided Copy of Test Report) To Be Tested at New Footings by Contractor
Presumptive Bearing Capacity 2000 PSF.

Building Data

Project		Mechanical	
Number of Bedrooms	1	Gas Connections	2 (Tankless Water Heater, Heating System)
Number of Bathrooms	1	Type of Work	Heating with A/C
Heated Area	800 SF	Heating/Cooling	Gas Pack
Number of Stories	1	Plumbing	
Detached Garage	N/A	Number of Fixtures	3
Basement	N/A	Appliances	1
Masonry Fireplaces	N/A	Heating/Cooling	New Service

Electrical

Total Amps	200 (Verify with Electrician)
Circuits	40 Breakers Max
120 V Connections	60
Connections > 120 V	4
Type of Work	New Service

Meck Check Energy Analysis will be by Insulation Contractor

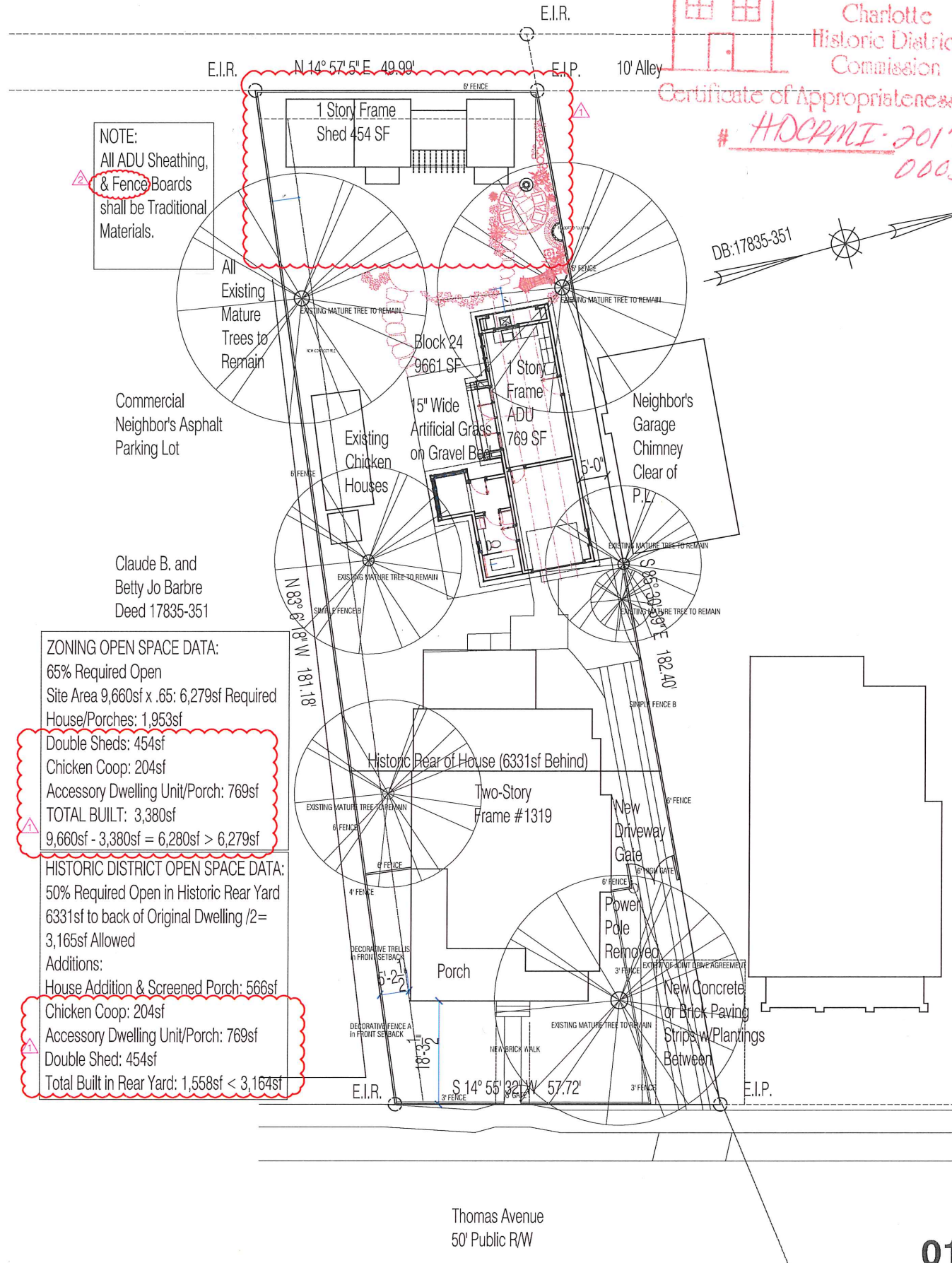
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The drawings represent the Owner's intention of scope and materials. Changes may be made to comply with Historic Review Board Comments, Community Comments, Planning Staff Comments and Marketing Considerations.

BUILDING DATA

09

SITE STAKING PLAN



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness #

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DB:17835-351

MILLER
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DETACHED
ADU
REPLACEMENT

for
Diane Hopper
1319 Thomas Avenue
Charlotte, North Carolina

ISSUED FOR: For Construction
ISSUE DATE: 01/15/18
REVISIONS: 03/15/18 Review Comments
04/02/18 Review Comments
04/16/18 Review Comments
05/08/18 Review Comments

BUILDING DATA &
SITE STAKING PLAN

FILE NAME: 00-ADU-G101-buildingdata.dwg
DRAWN BY: JVT
CHECKED BY: TFM

G101

01
3/32" = 1'-0"

CONTACTS/DRAWING INDEX
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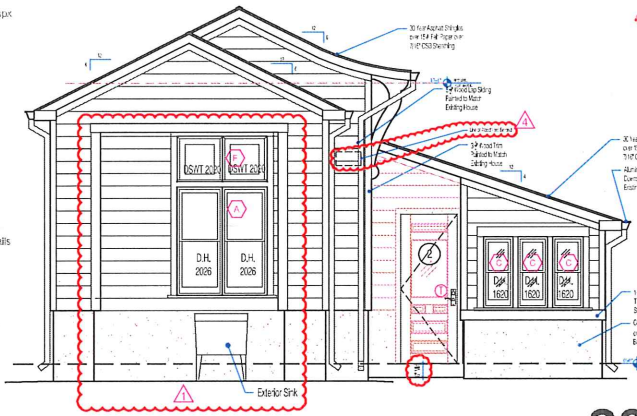
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diane.hopper@gmail.com

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Pais/Baucorn-Davis.com

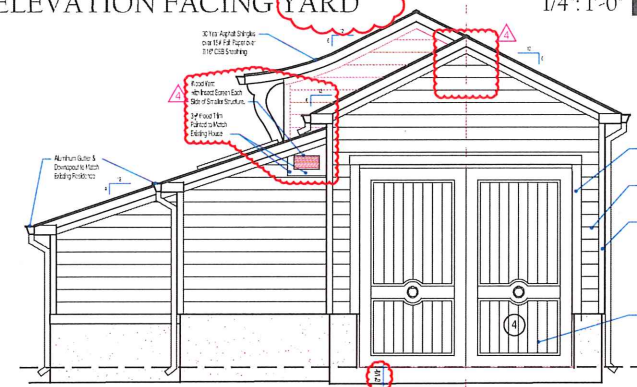
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torry.miller@milleraarchitecture.com

AG101 Detached ADU Plans & Elevations
AG102 Detached ADU Sections, Notes, & Details

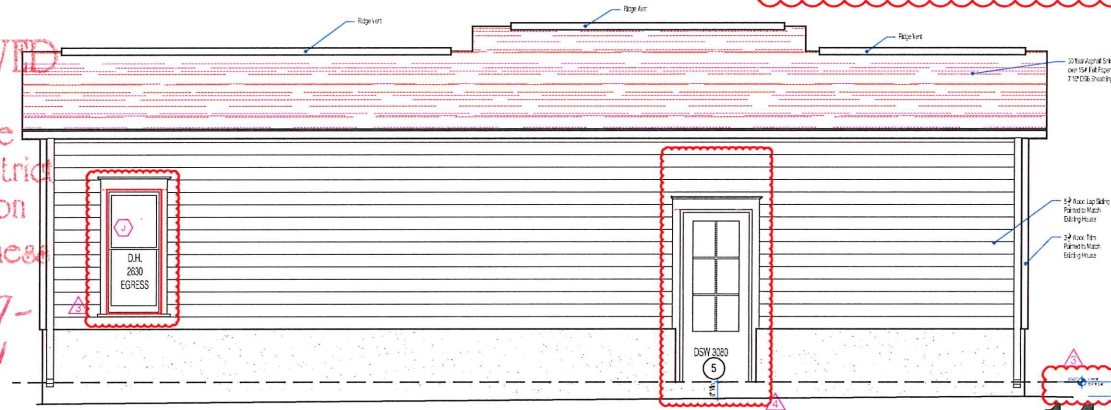
STRUCTURAL
Structural Integrity Engineering, P.A.
16507 Riverstone Way, Suite 200
Charlotte, NC 28277
S100 Structural Notes
S101 Foundation Plan and Structural Details
S102 Framing Plans



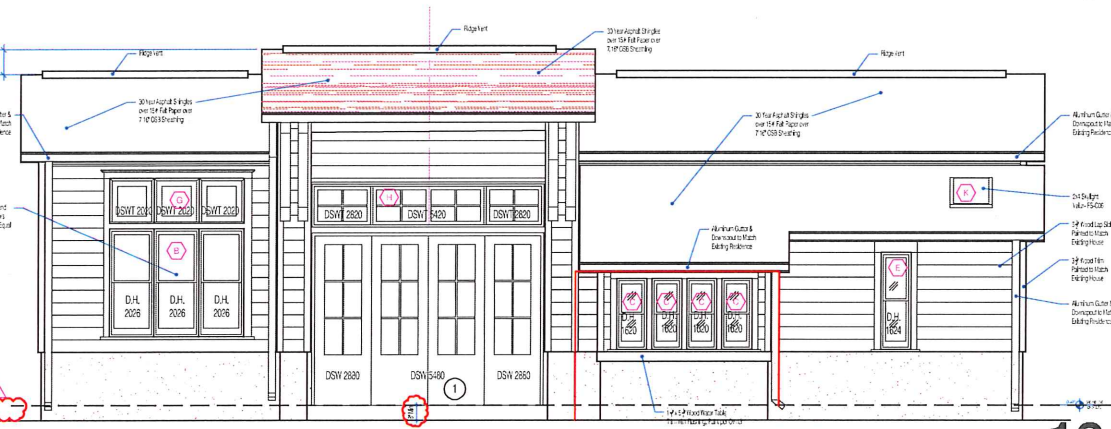
SIDE ELEVATION FACING YARD 1/4" = 1'-0"



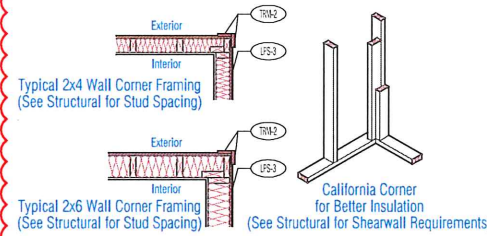
SIDE ELEVATION FACING THOMAS AVENUE 1/4" = 1'-0"



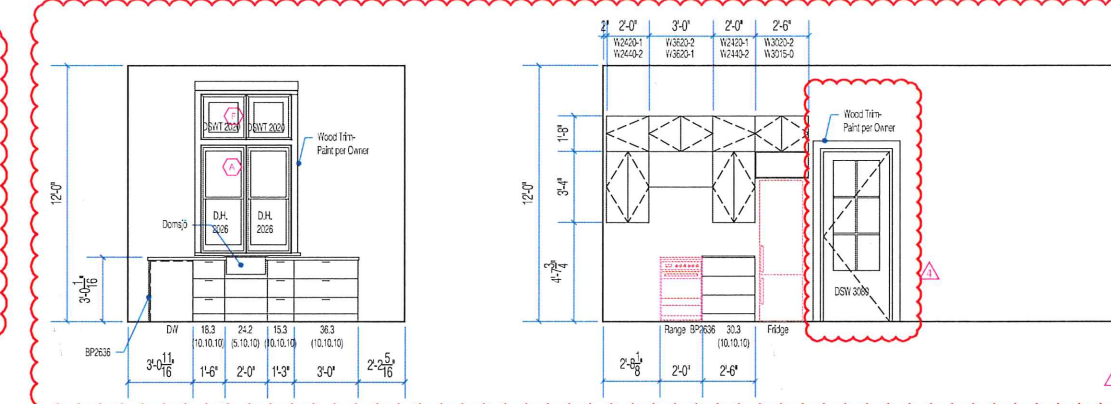
REAR ELEVATION FACING NEIGHBOR 1/4" = 1'-0"



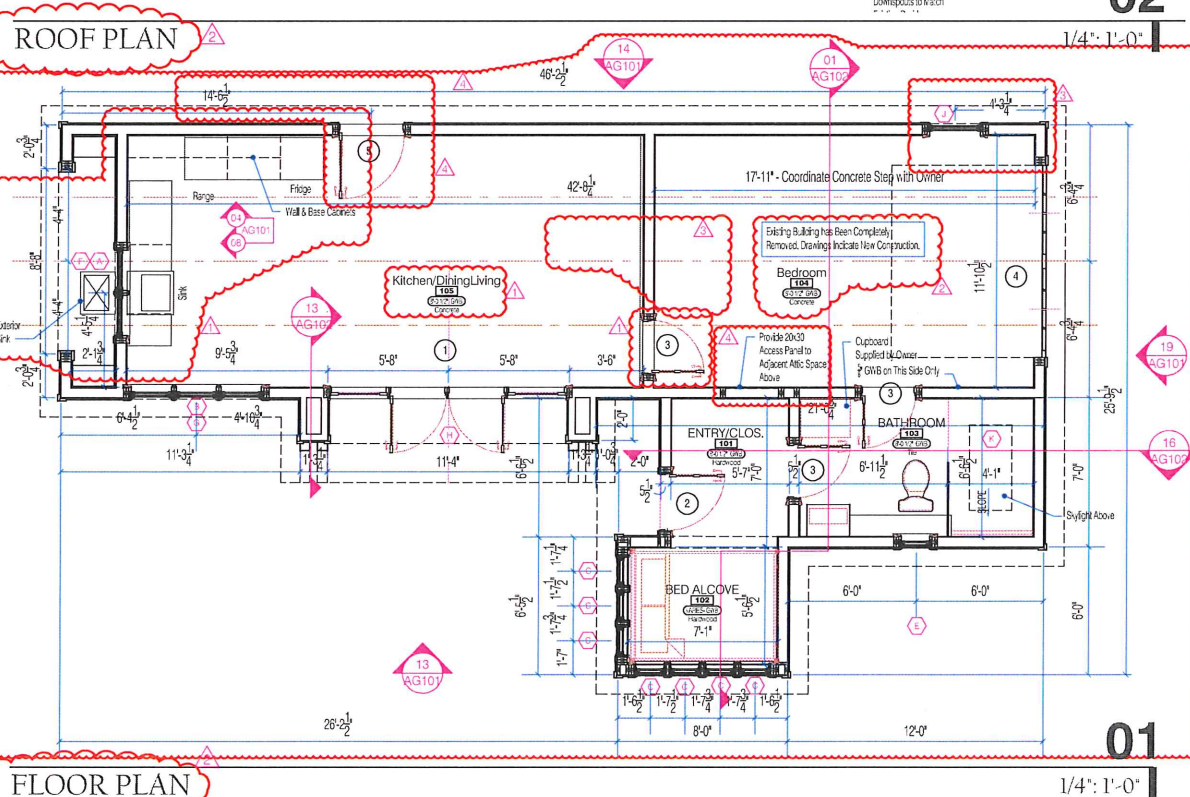
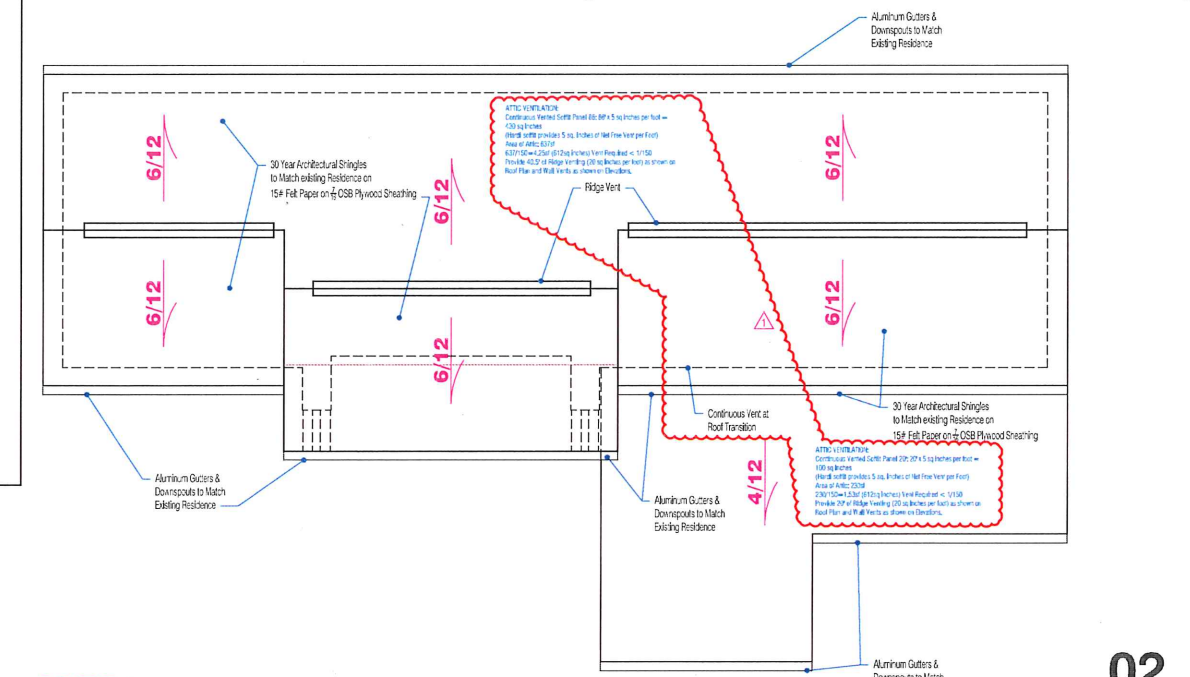
FRONT ELEVATION FACING CENTRAL AVENUE 1/4" = 1'-0"



DECAY AND TERMITES PROTECTION
Per Section R317.1.1 - Location required - The following locations require the use of decay-resistant or pressure-treated wood:
1. In the crawl space, wood joists with less than 18" clearance and wood pliers with less than 12" clearance to exposed earth.
2. All exterior sills and plates that rest on concrete or masonry exterior foundation walls.
3. Sills and sleepers on a concrete or masonry slab unless the slab that is in direct contact with the ground is separated from the ground by an approved impervious moisture barrier.
4. The ends of wood joists entering exterior masonry or concrete walls having clearances of less than 12" on top, sides, and ends.
5. Wood siding and sheathing on the exterior of a building having a clearance of less than 6 inches from the ground.
6. Wood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
7. Wood lathing strips or other wood framing members attached directly to the interior of exterior masonry walls or concrete walls below grade except where an approved vapor retarder is applied between the wall and the lathing strips or framing members.
8. All portions of a porch, screen porch or deck from the bottom of the header down, including posts, posts, pickets, steps, and floor structure. Coverings that would prevent moisture or water accumulation on the surface or at joints between members are allowed.
Per Section R317.1.2 - Ground Contact - All wood in contact with the ground, embedded in concrete in direct contact with the ground or embedded in concrete exposed to the weather that supports permanent structures intended for human occupancy shall be approved pressure-preservative-treated wood suitable for ground contact use, except untreated wood may be used where entirely below ground level or continuously submerged in fresh water.
Per Section R317.1.4 - Wood Columns - Wood columns shall be approved wood of natural decay resistance or approved pressure-preservative-treated wood.
Per Section R317.1.1 - Fasteners for pressure-preservative-treated wood - Fasteners for pressure-preservative-treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, aluminum bronze or copper. Coating types and weights for fasteners in contact with pressure-preservative-treated wood shall be in accordance with the connector manufacturer's recommendations.
Exceptions:
1. 1/2" diameter or greater steel bolts.
Per Section R407.2 - Steel Column Protection - All surfaces (inside and outside) of steel columns shall be given a shop coat of rust-inhibitive paint, except for corrosion-resistant steel and steel treated with coatings to provide corrosion resistance.
Per Section R905 - Requirements for Roof Coverings - All nails and staples used to fasten roof coverings shall be corrosion resistant.



INTERIOR KITCHEN ELEVATIONS 1/4" = 1'-0"



FLOOR PLAN 1/4" = 1'-0"

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for
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DETACHED
ADU
PLANS & ELEVATIONS

FILE NAME: 06-ADU-AG101.dwg
DRAWN BY: JV
CHECKED BY: TFM

AG101

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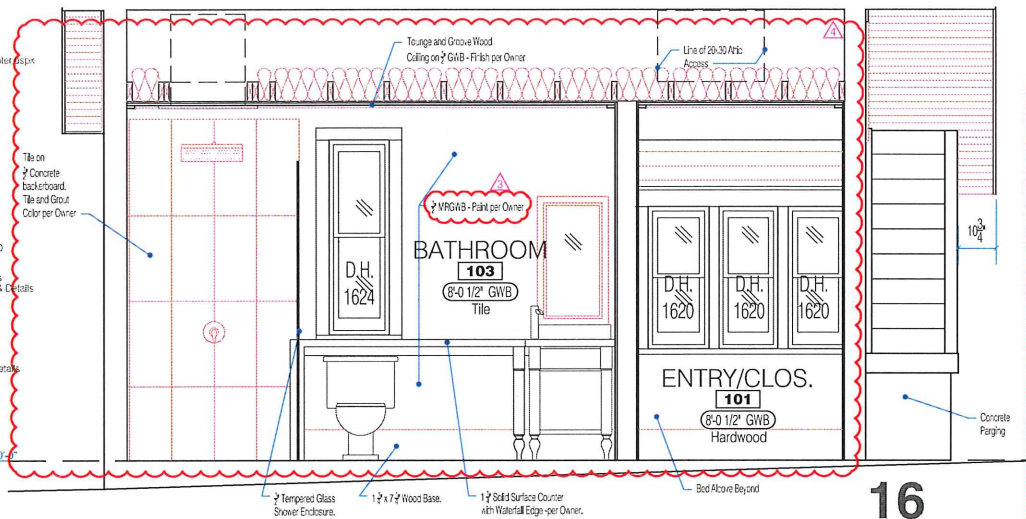
OWNER
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SURVEY
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Pai@Baucorn-Davis.com

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tony@milleraarchitecture.com

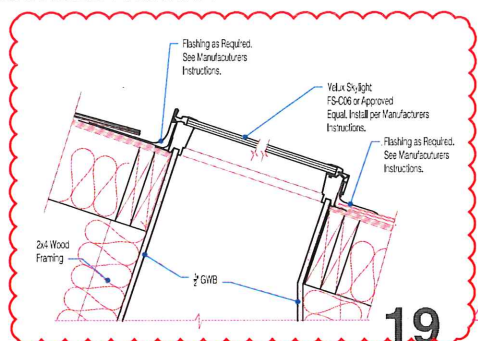
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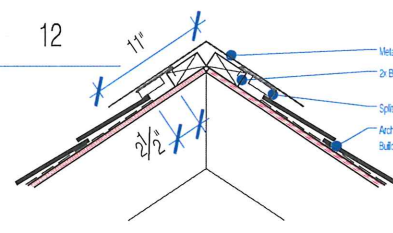
INTERIOR ELEVATION

16
1/2" = 1'-0"



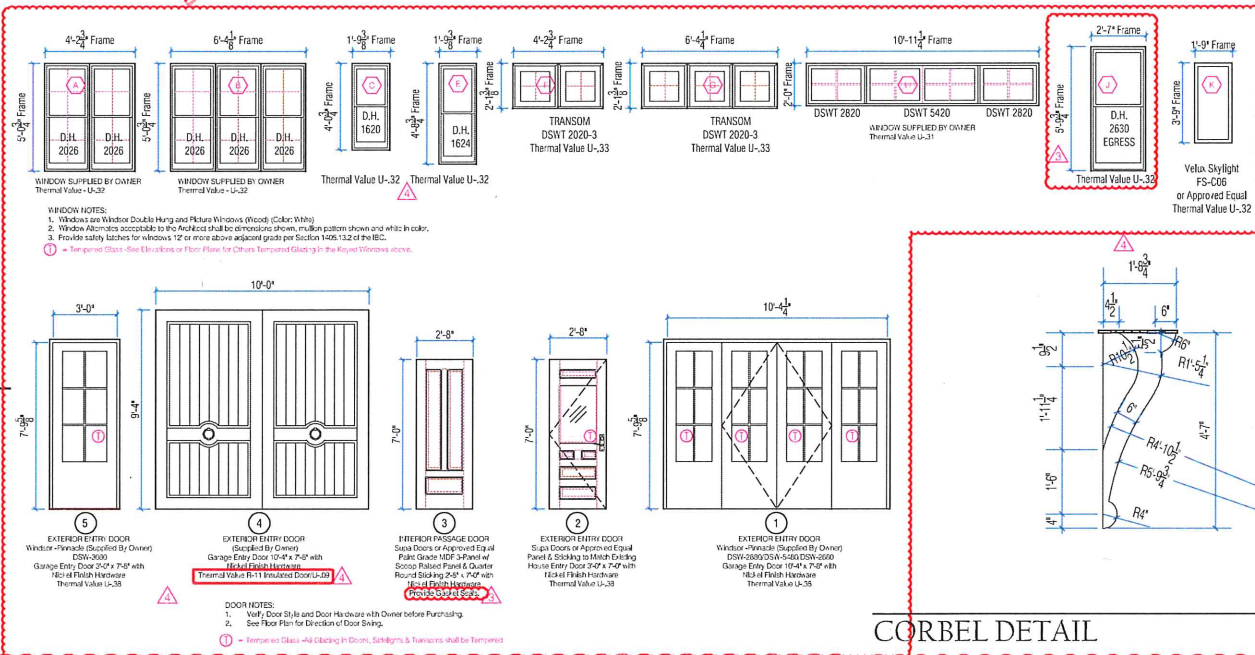
SKYLIGHT DETAIL

19
1" = 1'-0"



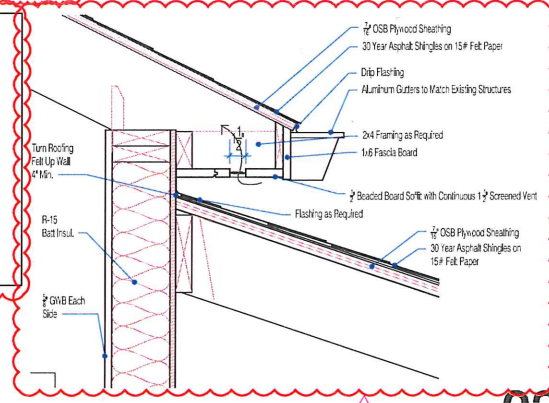
RIDGE VENT DETAIL

15
1-1/2" = 1'-0"



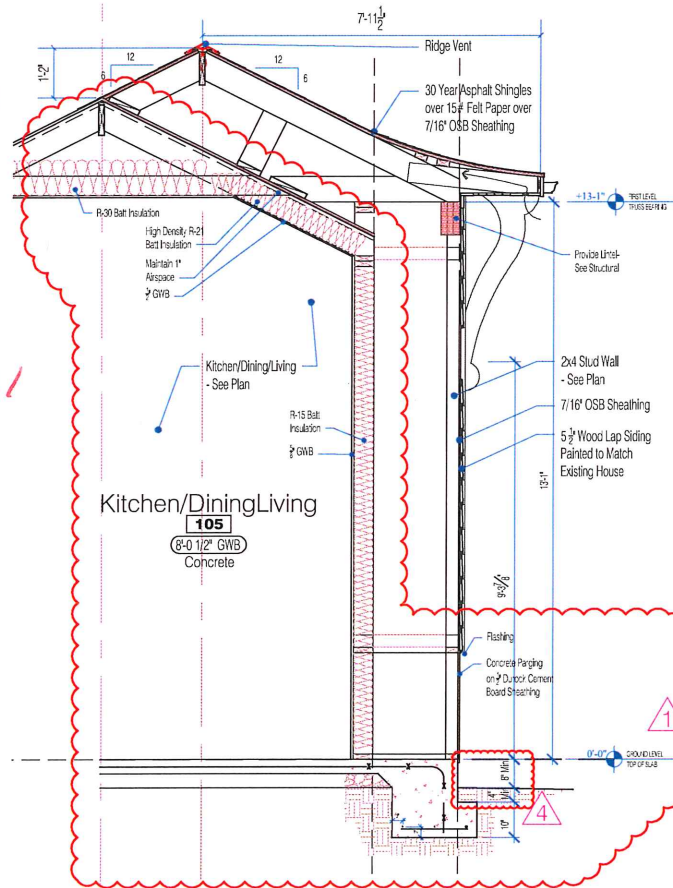
CORBEL DETAIL

03
1/2" = 1'-0"



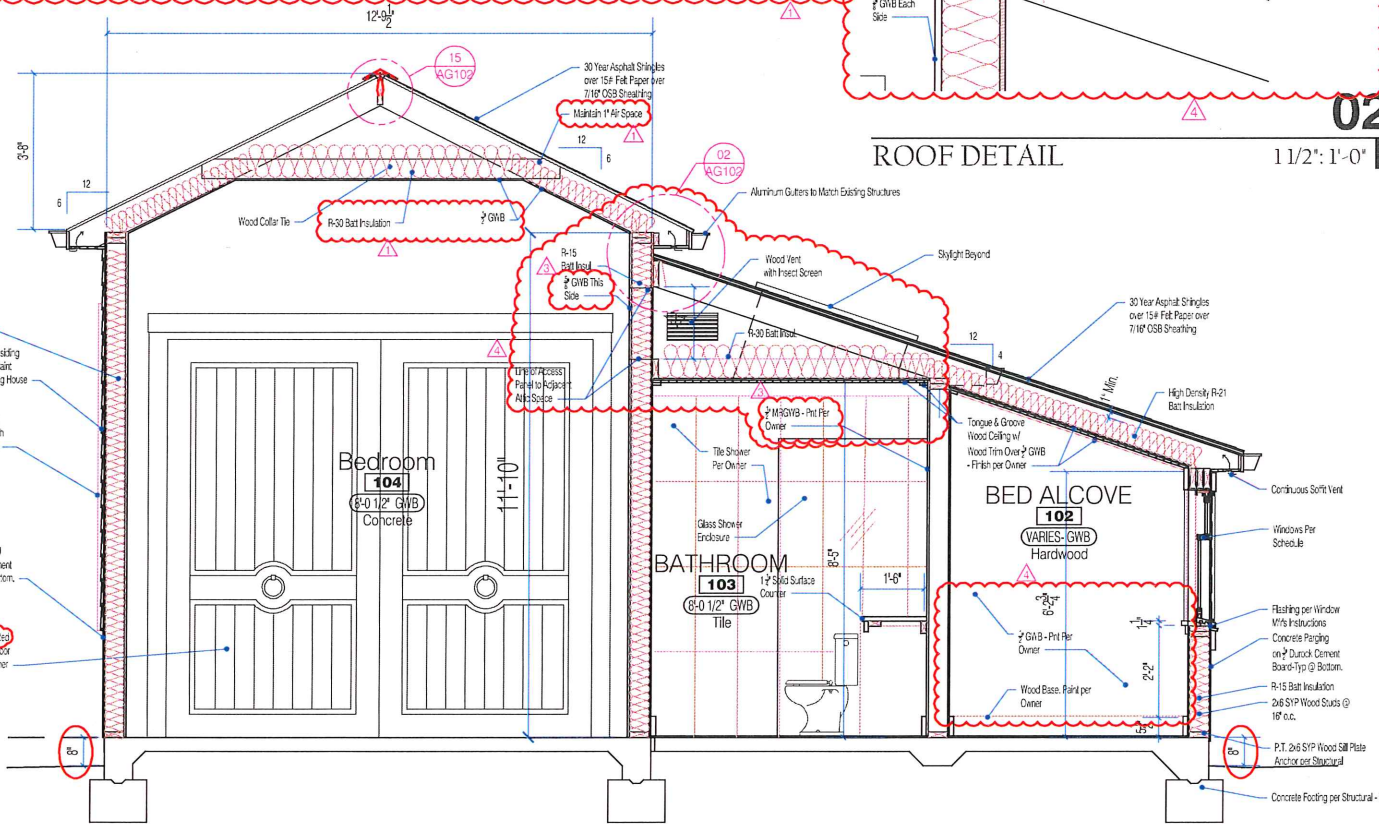
ROOF DETAIL

11/2" = 1'-0"



WALL SECTION

13
1/2" = 1'-0"



BUILDING SECTION

01
1/2" = 1'-0"

DETACHED ADU REPLACEMENT

for
Diane Hopper
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DETACHED
ADU
SECTIONS, NOTES
& DETAILS

FILE NAME: 06-ADU-AG102.dwg
DRAWN BY: KRJ
CHECKED BY: TFM

AG102

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