



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS-Amended

CERTIFICATE NUMBER: 2017-00025

DATE: April 26, 2018

ADDRESS OF PROPERTY: 620 Woodruff Place

TAX PARCEL NUMBER: 07103516

HISTORIC DISTRICT: Wesley Heights

OWNER(S): Alexander Altman

DETAILS OF APPROVED PROJECT: The project is an addition within the existing footprint of the house, porch addition and changes to doors and windows. The addition extends the ridge approximately 4 feet with a new dormer on the front and two dormers on either side. The existing porch will be extended to the right side with new wood columns and roof. Existing windows to remain are noted on the plans. New siding material is wood lap. Roof trim details will match the house, new windows are Simulated True Divided Light (STDL) with muntin bars permanently affixed to the exterior panes. Window trim is wood or wood clad in aluminum. Vinyl is prohibited on any part of the window. New plan sheets 5 and 6 are added to the COA for revised fascia and eave details on the side gables.

The project was approved by the HDC March 8, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Jim Haden, Chairman

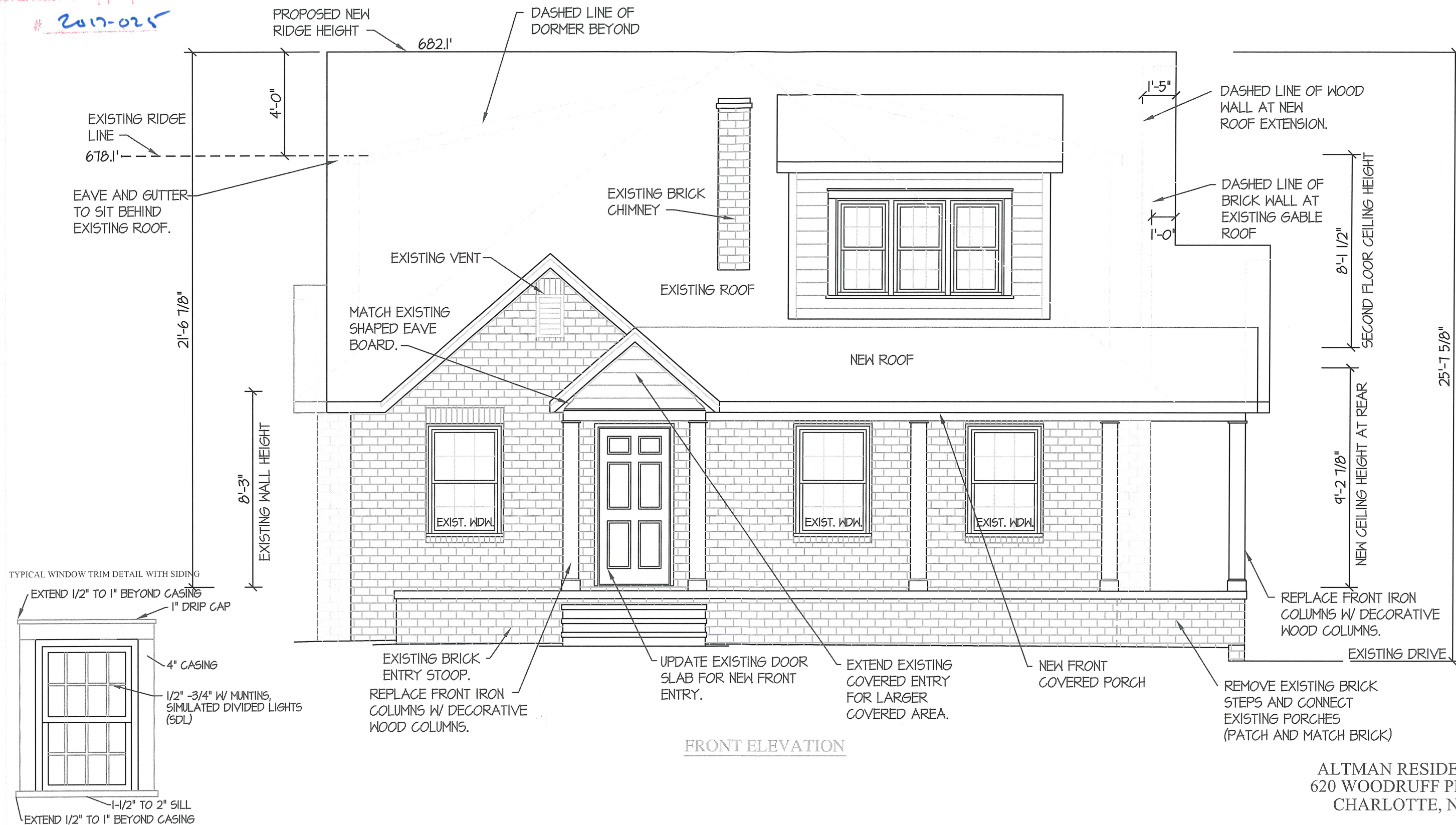
Staff



2017-025

LAGNIAPPE BUILDERS

1911 MATHESON AVE.
CHARLOTTE, NC 28205



FRONT ELEVATION

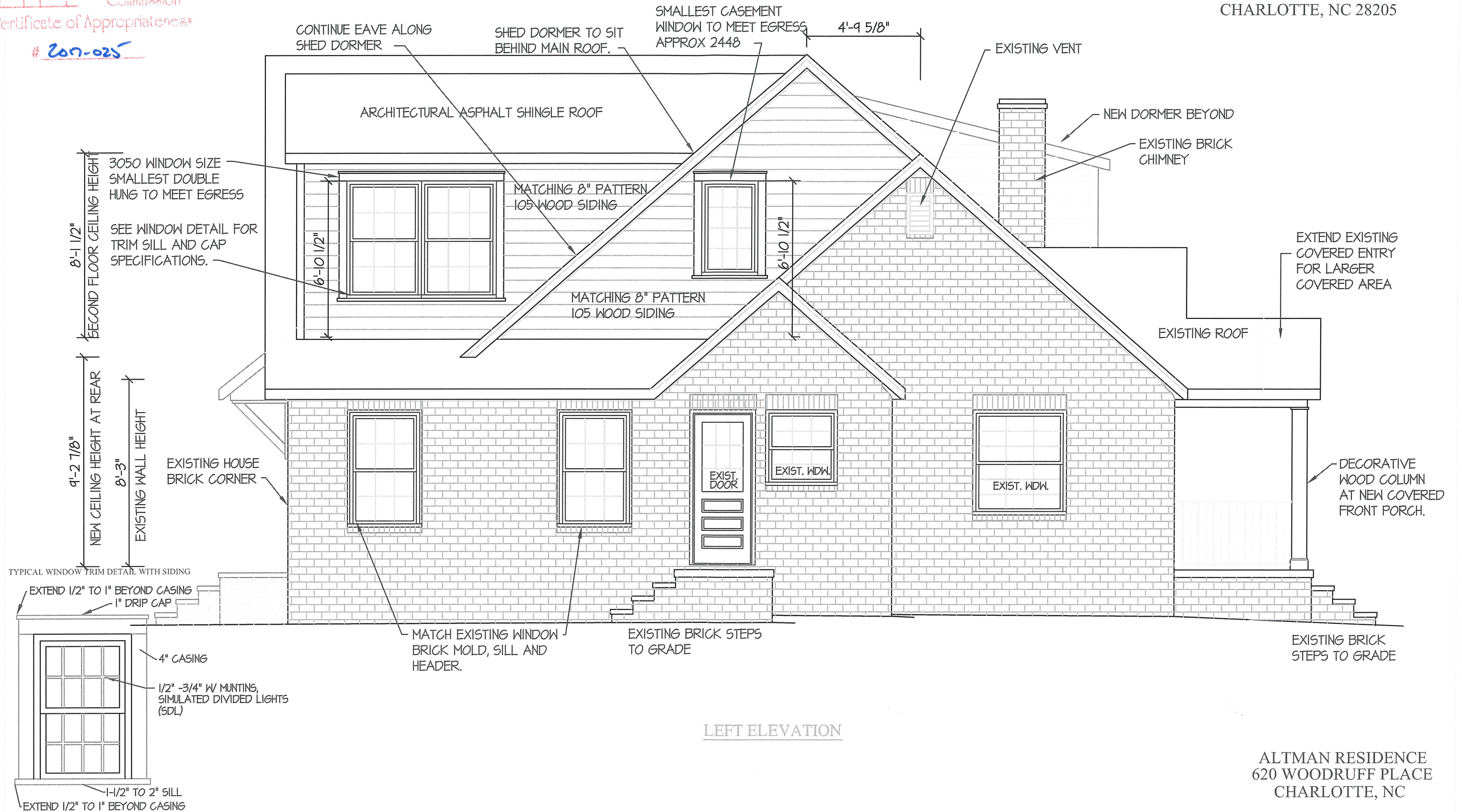
ALTMAN RESIDENCE
620 WOODRUFF PLACE
CHARLOTTE, NC

FOR TRADITIONAL DESIGNS THE WINDOW SHOULD BE RECESSED FROM THE WALL

207-025

LAGNIAPPE BUILDERS

1911 MATHESON AVE.
CHARLOTTE, NC 28205



LEFT ELEVATION

ALTMAN RESIDENCE
620 WOODRUFF PLACE
CHARLOTTE, NC

FOR TRADITIONAL DESIGNS THE WINDOW SHOULD BE RECESSED FROM THE WALL

207-025

LAGNIAPPE BUILDERS

1911 MATHESON AVE.
CHARLOTTE, NC 28205

+/- 9-1/2' / 12 ON REAR
GABLE TO MATCH OR COME
SLIGHTLY BELOW NEW ROOF
RIDGE EXTENSION HEIGHT.

DASHED LINE OF WOOD
WALL AT ROOF EXTENSION

DASHED LINE OF WOOD
WALL AT ROOF
EXTENSION.

GUTTER AND FASCIA
OF DORMER TO SIT
BEHIND MAIN ROOF.

6" OVERHANG APPLIES
TO SHED DORMERS.

DASHED LINE OF BRICK
GABLE WALL.

DASHED LINE OF LOWER
BRICK GABLE WALL.

MATCH EXISTING
EVE OVERHANG

DASHED LINE OF
BRICK GABLE
WALL.

MATCHING 8" PATTERN
105 WOOD SIDING

MATCHING 8" PATTERN
105 WOOD SIDING

MATCHING 8" PATTERN
105 WOOD SIDING

8'-1 1/2"
SECOND FLOOR CEILING HEIGHT

9'-2 7/8"
NEW CEILING HEIGHT AT REAR

8'-3"
EXISTING WALL HEIGHT

7'-6"
DORMER WALL HEIGHT

1'-5"

1'-0"

1'-5"

1'-0"

2.75' 12

6'-10 1/2"

TYPICAL WINDOW TRIM DETAIL WITH SIDING

EXTEND 1/2" TO 1" BEYOND CASING
1" DRIP CAP

4" CASING

1/2" - 3/4" W/ MUNTINS,
SIMULATED DIVIDED LIGHTS
(SDL)

1-1/2" TO 2" SILL

EXTEND 1/2" TO 1" BEYOND CASING

COVERED AREA AT
REAR ENTRY.

BRICK STEPS TO
GRADE PER CODE

MATCH EXISTING WINDOW
BRICK MOLD, SILL AND
HEADER.

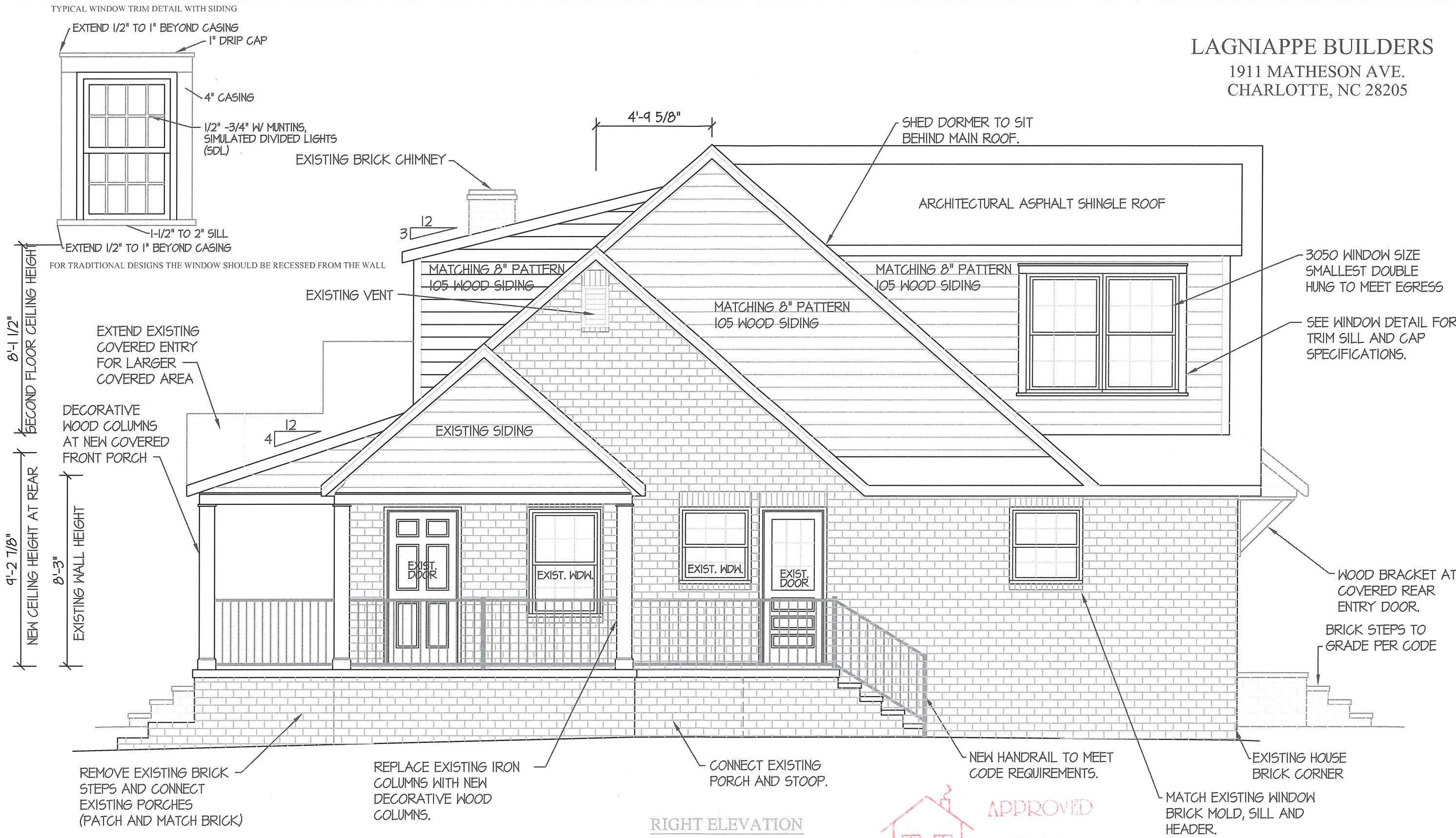
REAR ELEVATION

ALTMAN RESIDENCE
620 WOODRUFF PLACE
CHARLOTTE, NC

FOR TRADITIONAL DESIGNS THE WINDOW SHOULD BE RECESSED FROM THE WALL

LAGNIAPPE BUILDERS

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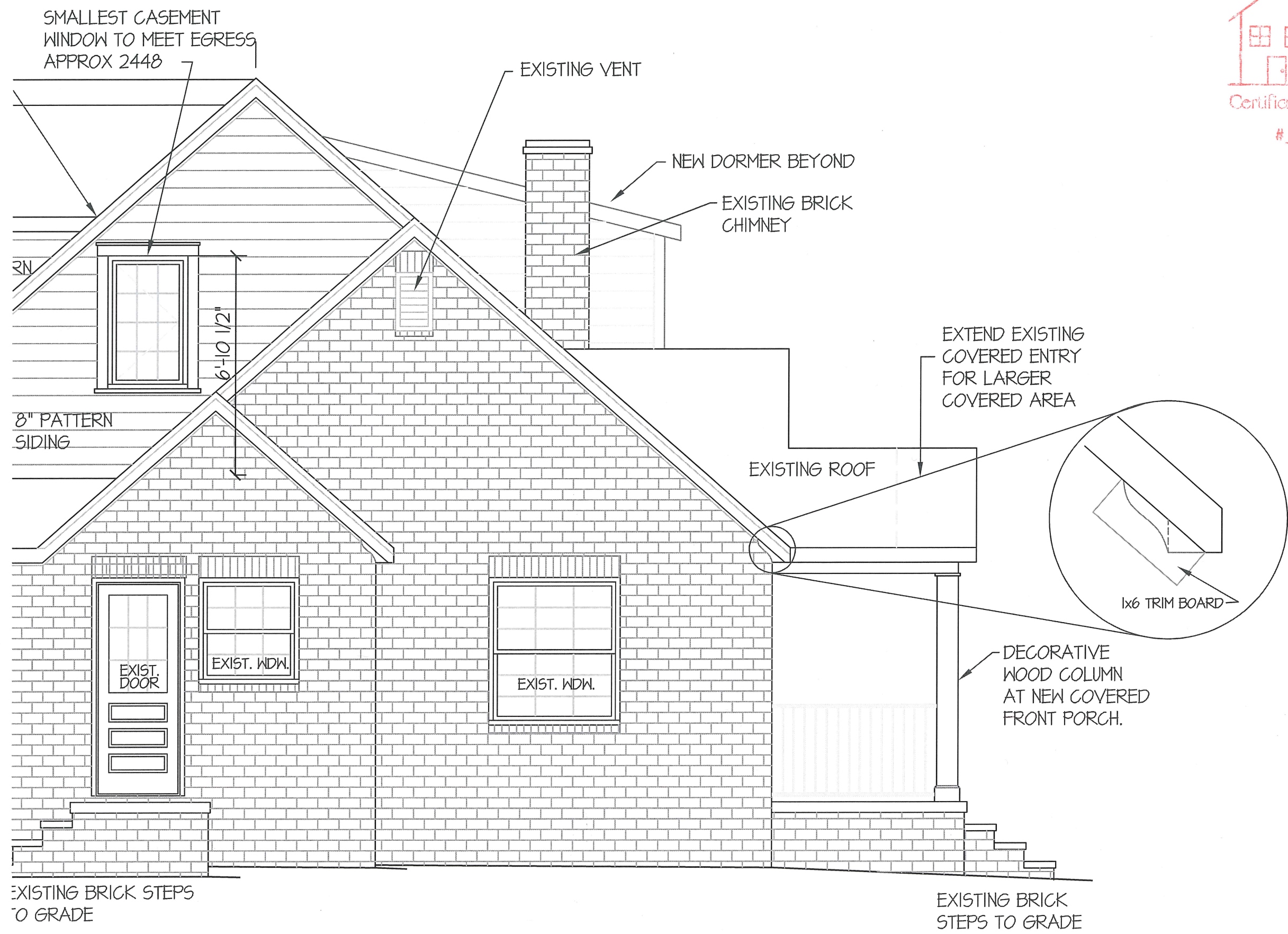


RIGHT ELEVATION



2017-025

ALTMAN RESIDENCE
620 WOODRUFF PLACE
CHARLOTTE, NC





APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2017-025 (4-26-18)

