



## CHARLOTTE HISTORIC DISTRICT COMMISSION

### CERTIFICATE OF APPROPRIATENESS

**CERTIFICATE NUMBER:** HDCADMRM-2017-00024

**DATE:** 19 January 2017

**ADDRESS OF PROPERTY:** 522 West Kingston Avenue

**HISTORIC DISTRICT:** Wilmore

**TAX PARCEL NUMBER:** 11907128

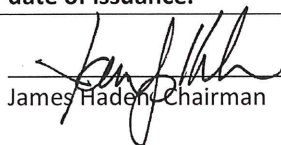
**OWNER(S):** Bryant Rogers

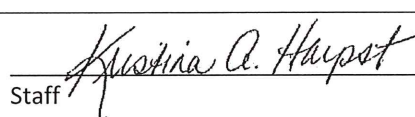
**DETAILS OF APPROVED PROJECT:** The project is a one-story rear addition and rear yard retaining wall. The new addition footprint measures approximately 16'-0" x 14'-0" and will tie in beneath the existing ridge. Details of the addition will all match existing including the brick-clad exterior with foundation vents, wood trim, wood vent on the rear gable, and roof details. The new windows will be wood, double-hung with Simulated True Divided Light (STDL) in a 6/6 pattern. Due to the rear yard topography a brick retaining wall will also be installed behind the existing deck on the left to slightly beyond the new rear addition on the right. The retaining wall will be no taller than necessary. See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval-Additions, page 23 Landscape & Site Features and Work in Rear Yards.
2. This application is in compliance with the Policy & Design Guidelines for both Landscape & Site Features (page 60) and Work in Rear Yards (page 64).

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

  
James Haden, Chairman

  
Staff

STATE OF NORTH CAROLINA MECKLENBURG COUNTY

"I, CHEVIS L. KING, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 30445, PAGE 923 OR OTHER REFERENCE SOURCE); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK, PAGE OR OTHER REFERENCE SOURCE; THAT THE RATIO OF PRECISION OR POSITION ACCURACY IS 1:10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA ( 21 NCAC 56. 1600)." THIS 22ND DAY OF NOVEMBER, 2016.

*Chevis L. King*  
PROFESSIONAL LAND SURVEYOR

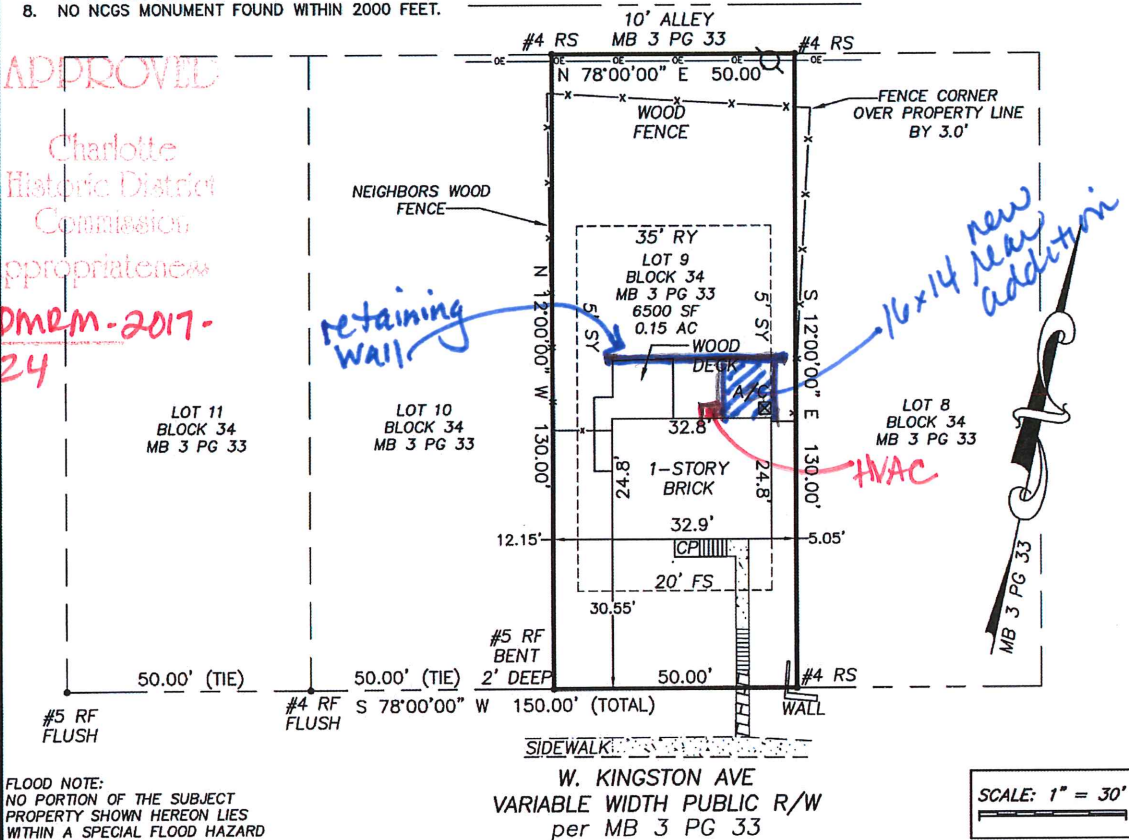


NOTES

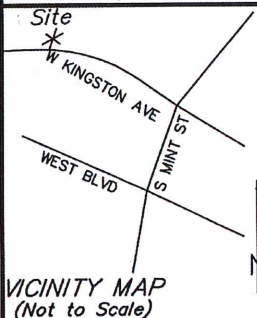
1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OR FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.

LEGEND

RF	REBAR FOUND
RS	REBAR SET
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
MB	MAP BOOK
DB	DEED BOOK
PG	PAGE
FS	FRONT SETBACK
RY	REAR YARD
SY	SIDE YARD
CP	COVERED PORCH
○	POWER POLE
—○—○—○—	OVERHEAD UTILITIES



FLOOD NOTE:  
NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 3710454300L, DATED: SEPTEMBER 02, 2015.



PHYSICAL SURVEY  
AT PROPERTY KNOWN AS  
#522 W. KINGSTON AVE  
LOT 9, BLOCK 34 MB 3 PG 33  
PARCEL ID # 119-071-28, MB 3 PG 33, DB 30445 PG 923  
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC  
FOR  
BRYANT & MADISSON ROGERS

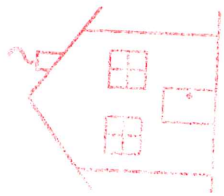


METROLINA  
ENGINEERING &  
SURVEYING  
ASSOCIATES

4400-N STUART ANDREW BLVD  
CHARLOTTE, NC 28217  
P (704) 334-1325  
F (704) 334-1330  
NC #C-1170 & SC #C00946

Job No.	522 W KINGSTON
Date	11/23/16
Proj. Mgr.	CLK
Drawn	CLK





APPROVED

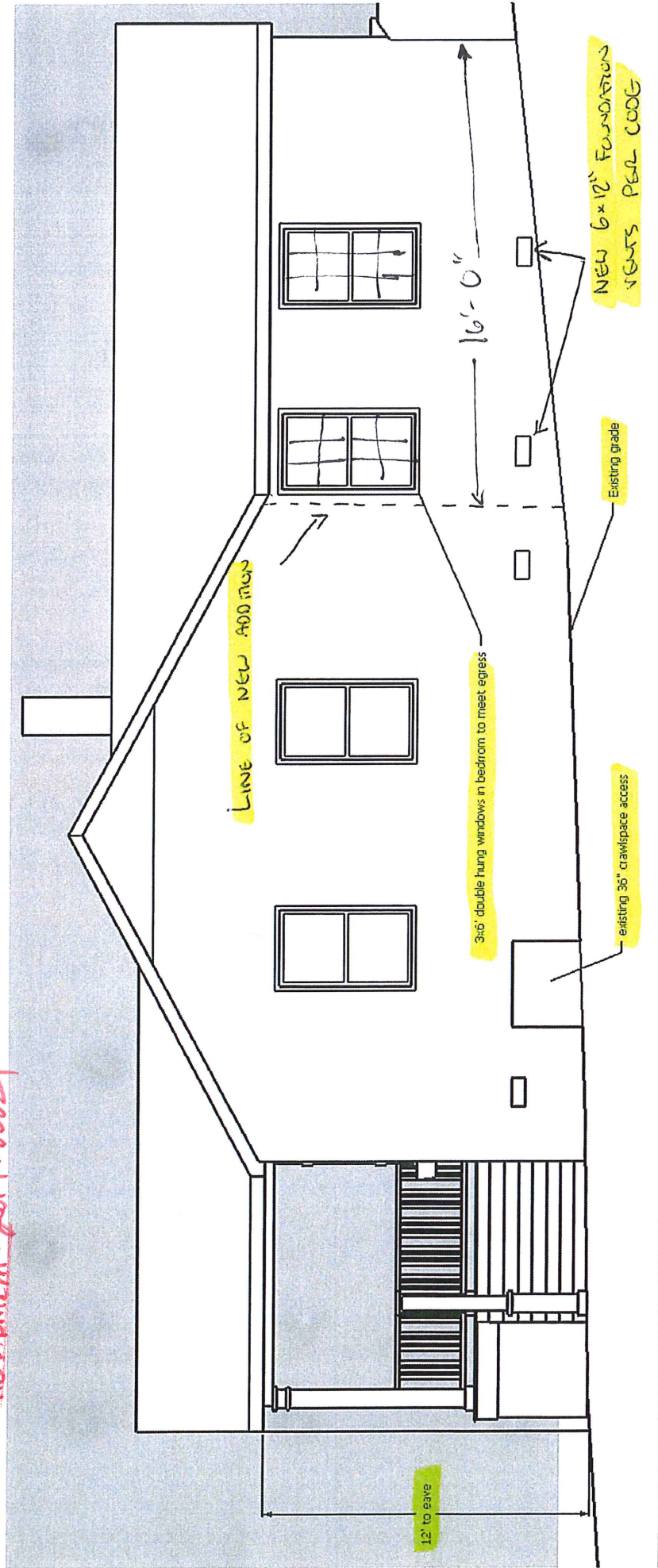
Charlotte  
Historic District  
Commission

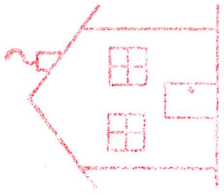
Certificate of Appropriateness

#HDCADM-2017-00024

522 W. KINGSTON AVE.

RIGHT ELEVATION





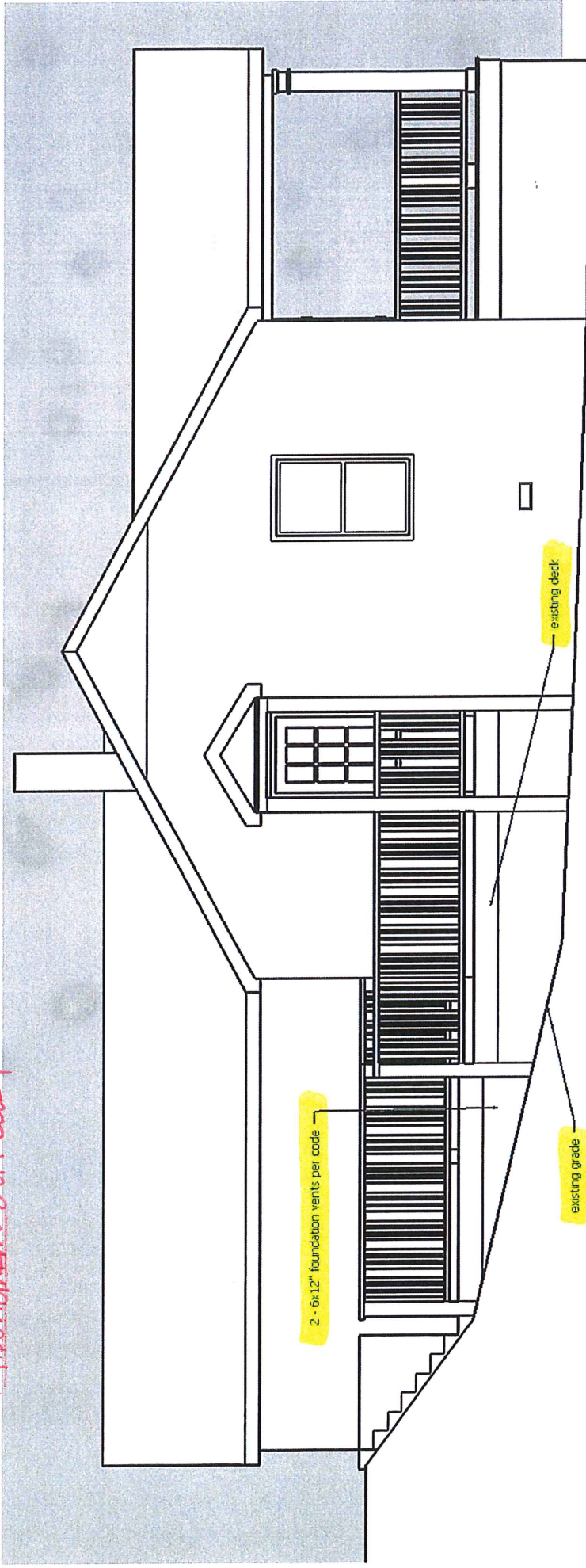
APPROVED

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Commission

Certificate of Appropriateness

# PDCA-PW-M-2017-00024

500 W. KINGSTON AVE.  
LEFT ELEVATION

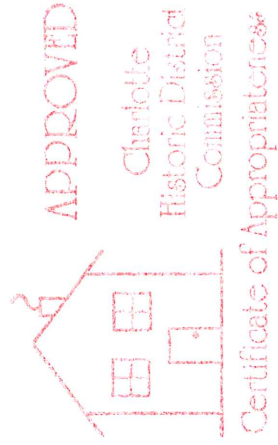
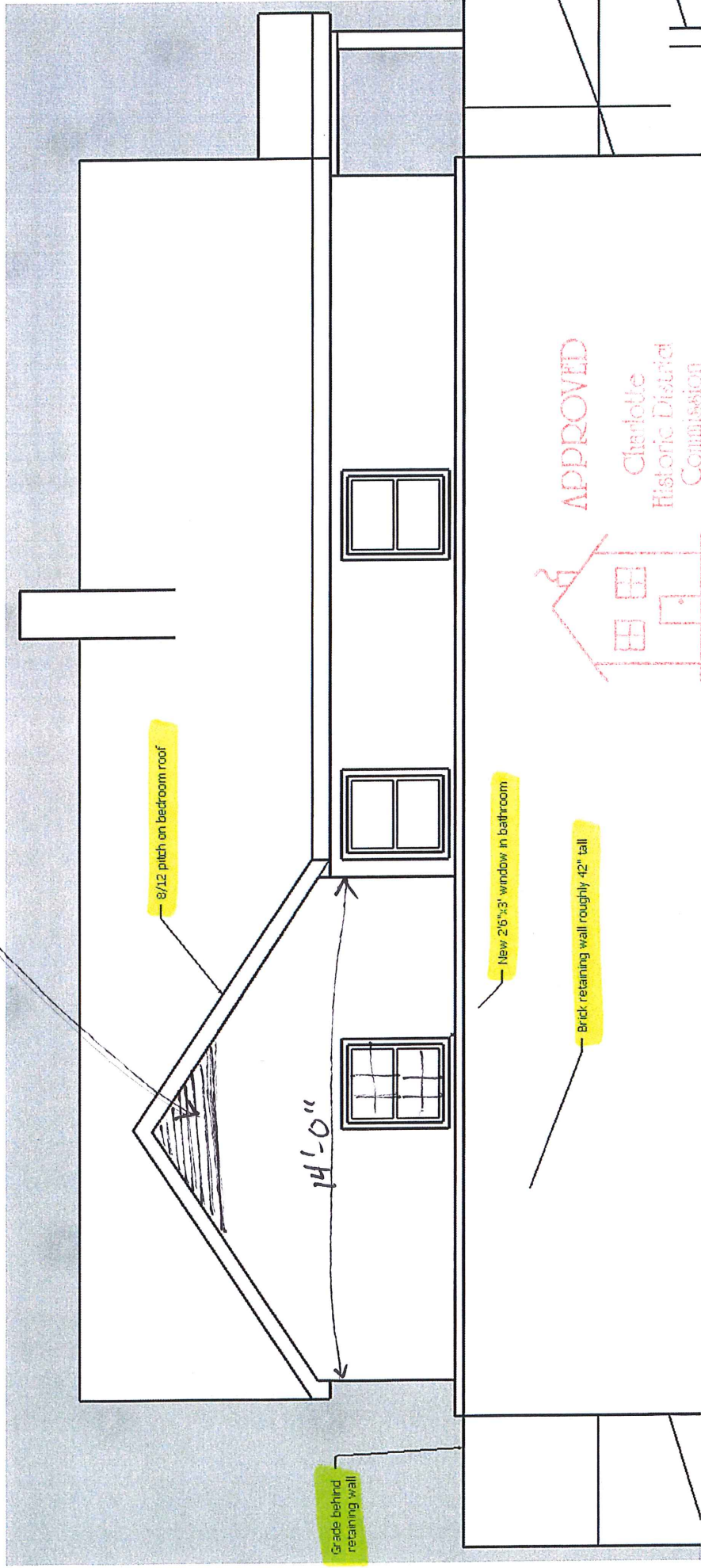




522 W. KINGSTON AVE

REAR ELEVATION

Wood  
Deck



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