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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 409 Rensselaer Avenue

**SUMMARY OF REQUEST:** Addition, fenestration and façade changes

**APPLICANT/OWNER:** Allen Brooks

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The application was continued from February for the following: 1) Revise the front porch design to not diminish the unique quality of the original porch, 2) On the rear, consider a steeper roof pitch on the dormers and reduced massing of the addition overall, 3) Use consistent window lite pattern.

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story Colonial style house constructed in 1930. The site elevation drops from front to rear approximately 5 to 7 feet and adjacent to a mixed use project to the rear. Existing height is approximately 17’.

*Proposal*

The project is an addition to the front and rear. The front addition includes hand rails, porch columns and new porch roof. The rear addition begins at the ridge of the original house and follows the same pitch. Proposed ridge height is +/- 18’-9”. Design features of the addition include clipped gables, and trim and widows to match the house. All primary and trim materials are wood. New windows and trim are shown on the elevations.

*Revision – March*

1. The front porch design has been revised to retain the asymmetrical roof and brackets, and the addition of an arbor over an extended porch deck with a shallow pitch membrane roof.
2. Changes to the roof massing on the rear elevation include removal of the full width roof over the 3<sup>rd</sup> floor balcony substituted by a gabled dormer over a balcony on the left side, a centered window and a gabled canopy over the right window; second floor roof pitch has been reduced to a 3:12 pitch.
3. All full size windows are 6/1

**Design Guidelines – Additions, page 7.2**

1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.

6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

| All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria |   | Page #  |
|---|---|---------|
| Setback   | in relationship to setback of immediate surroundings  | 6.2     |
| Spacing   | the side distance from adjacent buildings as it relates to other buildings                              | 6.3     |
| Orientation   | the direction of the front of the building as it relates to other buildings in the district             | 6.4     |
| Massing   | the relationship of the buildings various parts to each other   | 6.5     |
| Height and Width  | the relationship to height and width of buildings in the project surroundings                           | 6.6     |
| Scale   | the relationship of the building to those around it and the human form                                  | 6.7     |
| Directional Expression  | the vertical or horizontal proportions of the building as it relates to other buildings                 | 6.8     |
| Foundations   | the height of foundations as it relates to other buildings in project surroundings                      | 6.9     |
| Roof Form and Materials   | as it relates to other buildings in project surroundings  | 6.10    |
| Cornices and Trim   | as it relates to the stylistic expression of the proposed building                                      | 6.11    |
| Doors and Windows   | the placement, style and materials of these components  | 6.12    |
| Porches   | as it relates to the stylistic expression of the proposed building and other buildings in the district. | 6.14    |
| Materials   | proper historic materials or approved substitutes   | 6.15    |
| Size  | the relationship of the project to its site   | 6.2 & 3 |
| Rhythm  | the relationship of windows, doors, recesses and projections  | 6.12    |
| Context   | the overall relationship of the project to its surroundings.  | 6.1-16  |
| Landscaping   | a tool to soften and blend the project with the district  | 8.1-11  |

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

### **Staff Recommendation**

1. Staff believes the proposal meets the contextual guidelines for additions.
2. The applicant has revised the plans based on HDC comments regarding massing and front porch design to better complement the house and meet the guidelines for porches and massing.
3. Minor detail changes may be reviewed by staff.

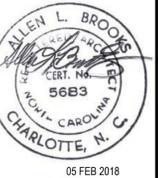
*Charlotte Historic District Commission Case 2017-683*  
**HISTORIC DISTRICT: DILWORTH**  
**ADDITION**



-  409 Rensselaer Avenue
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

2/27/2018





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Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselaer Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

COVER SHEET

**A-0**

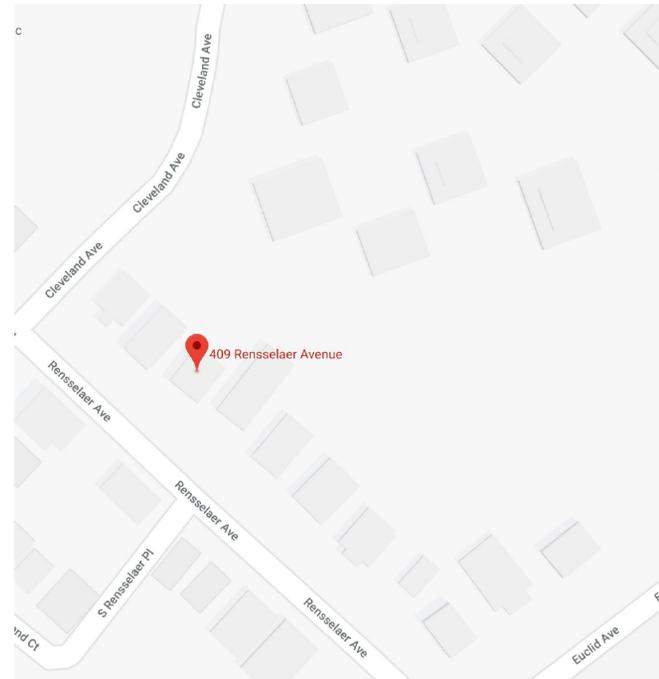
OF: FOURTEEN

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- A-0.3 Site Context
- A-0.4 Zoning
- A-0.5 Building Height Survey
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- A-2.2 Existing Second Floor Plan
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Proposed Left Side Elevation
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SQUARE FOOTAGE CALCULATIONS

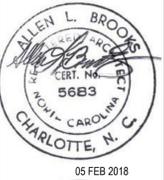
|                          | <u>Heated</u> | <u>Unheated</u>        |
|--------------------------|---------------|------------------------|
| Existing Basement Floor: |               | 1047 S.F.              |
| Existing Basement Patio: |               | 172 S.F.               |
| Existing First Floor:    | 1047 S.F.     |                        |
| Existing Front Porch:    |               | 84 S.F. to be removed  |
| Existing Rear Deck:      |               | 312 S.F. to be removed |
| Proposed Basement Floor: | 662 S.F.      |                        |
| Proposed Front Porch:    |               | 144 S.F.               |
| Proposed First Floor:    | 573 S.F.      |                        |
| Proposed Balcony:        |               | 274 S.F.               |
| Proposed First Floor:    | 965 S.F.      |                        |
| Proposed Balcony:        |               | 152 S.F.               |
| Total:                   | 3,247 S.F.    | 1,789 S.F.             |
| Total Under Roof:        | 5,036 S.F.    |                        |



VICINITY MAP



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PROJECT : 17054  
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REVISIONS:

EXISTING CONDITIONS

**A-0.1**

OF: FOURTEEN



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



PROPERTY FAR LEFT OF SUB ECT



PROPERTY LEFT OF SUB ECT



SUB ECT PROPERTY



PROPERTY RIGHT OF SUB ECT



PROPERTY FAR RIGHT OF SUB ECT



PROPERTY SE ACROSS STREET



PROPERTY NW ACROSS STREET



ACUTE VIEW OF RIGHT NEIGHBOR

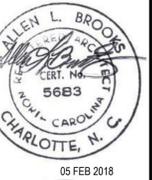


SIDE YARD BETWEEN  
SUB ECT AND RIGHT  
NEIGHBOR



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
brooks.alb@icloud.com  
lauer.alb@icloud.com



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STREET CONTEXT SHEET

**A-0.2**

OF: FOURTEEN



FRONTAL VIEW FROM YARD



LEFT FRONT WITH STOOP



LEFT SIDE OF HOUSE



RIGHT SIDE OF HOUSE



REAR OF HOUSE FROM YARD



LEFT REAR CORNER



RIGHT REAR CORNER

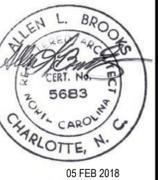


REAR YARD LOOKING TO CITY CENTER



ALB Architecture  
1200 E. Morehead St.  
Suite 240  
Charlotte, NC 28204  
Phone: 704.503.9595

E-mail:  
brooks.alb@icloud.com  
lauer.alb@icloud.com



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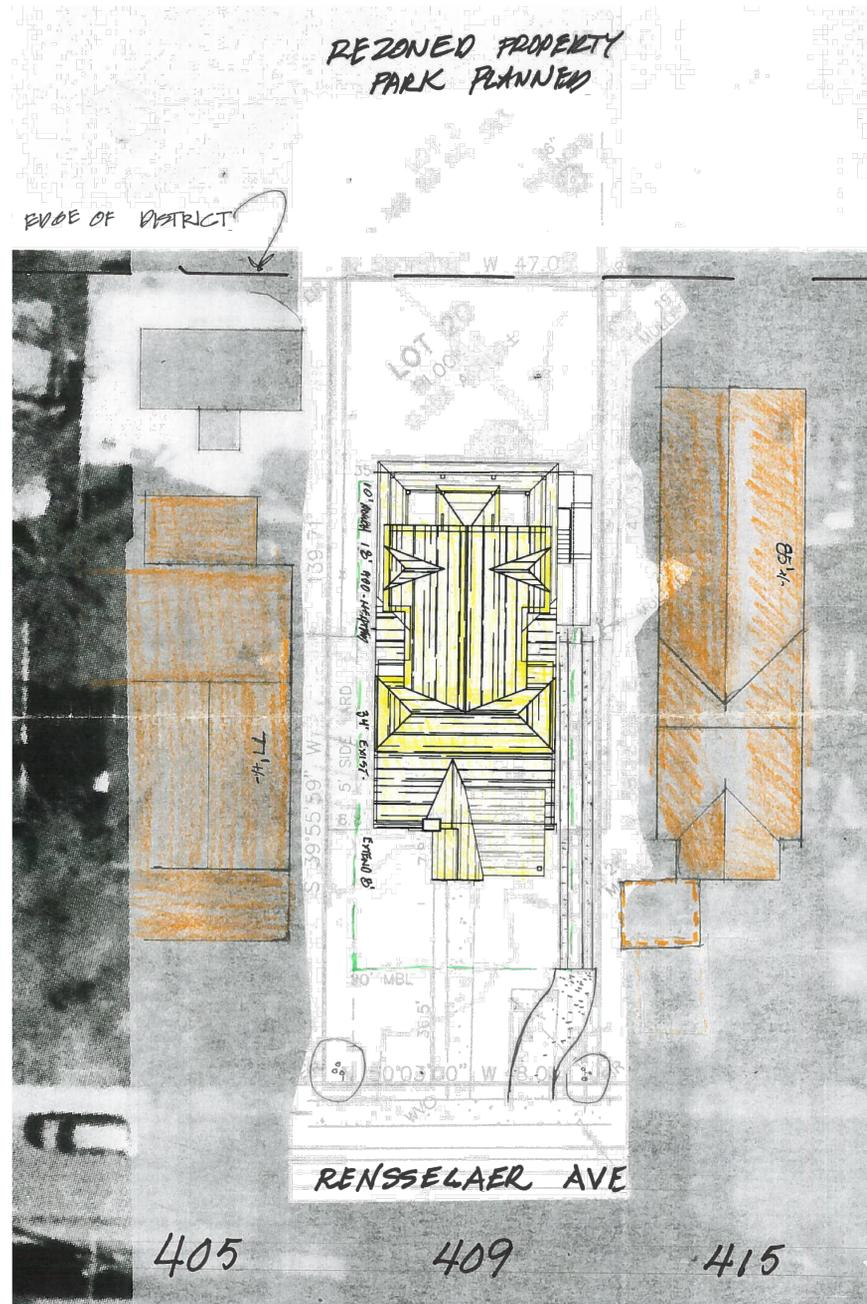
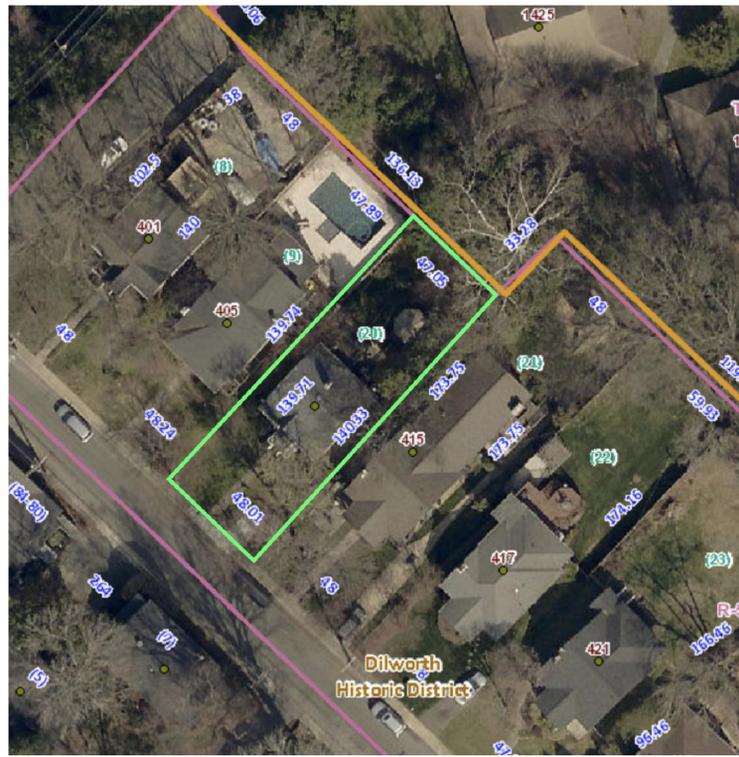
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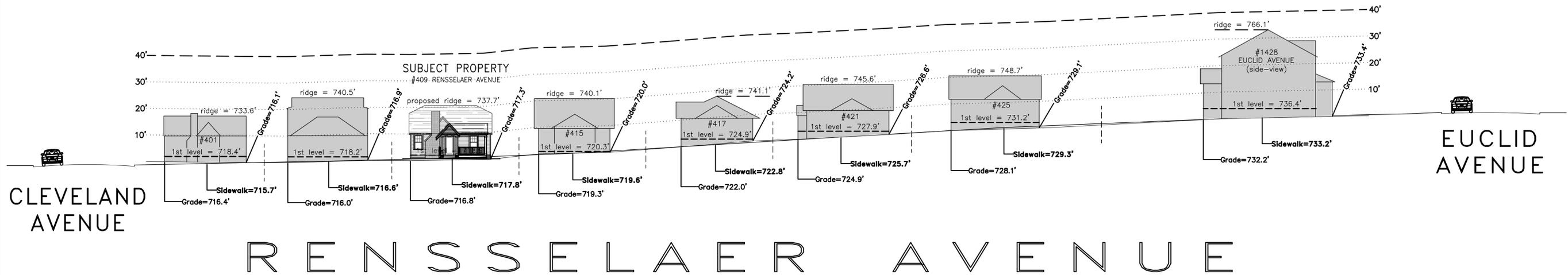
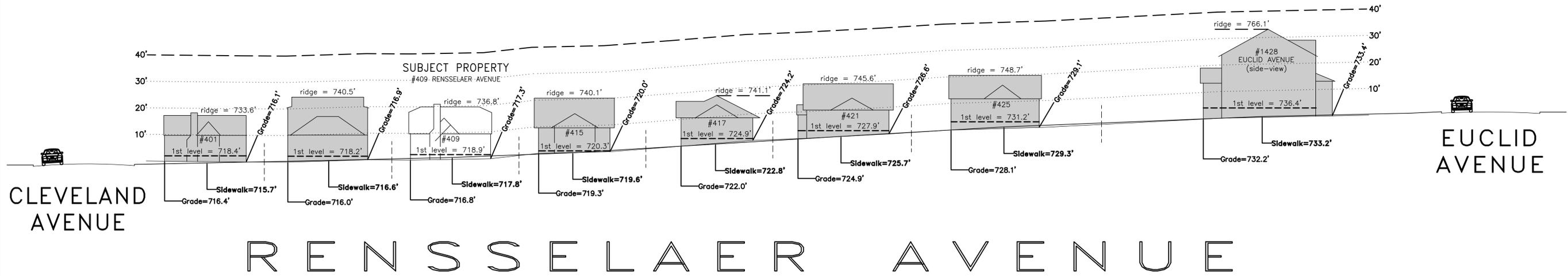
SUBJECT HOUSE SHEET

**A-0.3**

OF FOURTEEN



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**GENERAL NOTES:**

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
- STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".**
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT**
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE.
- CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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**NOTE:**

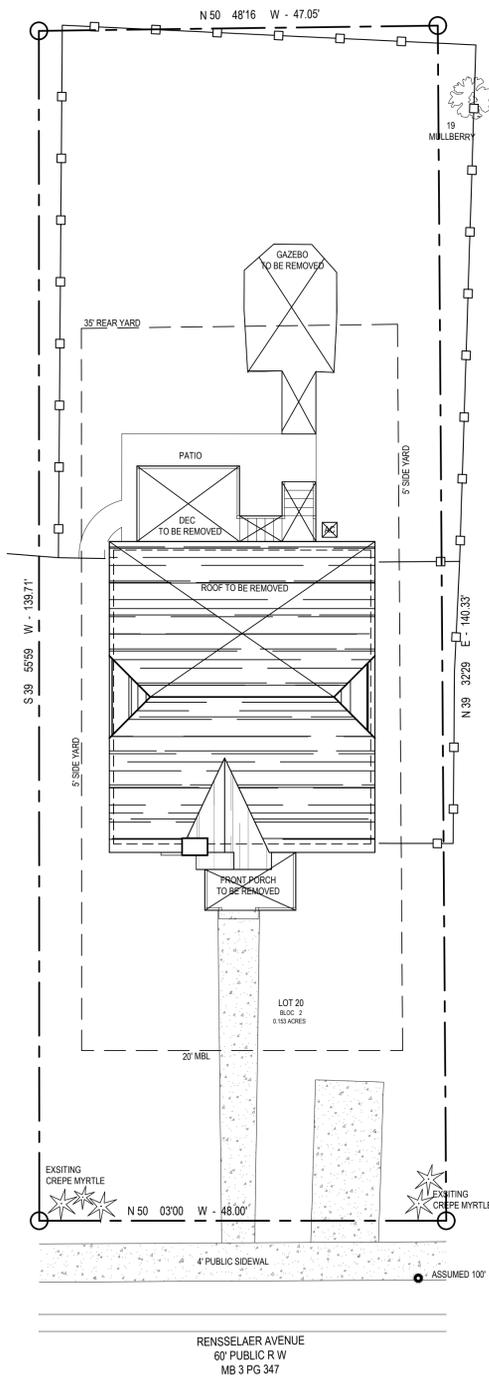
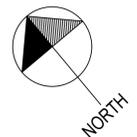
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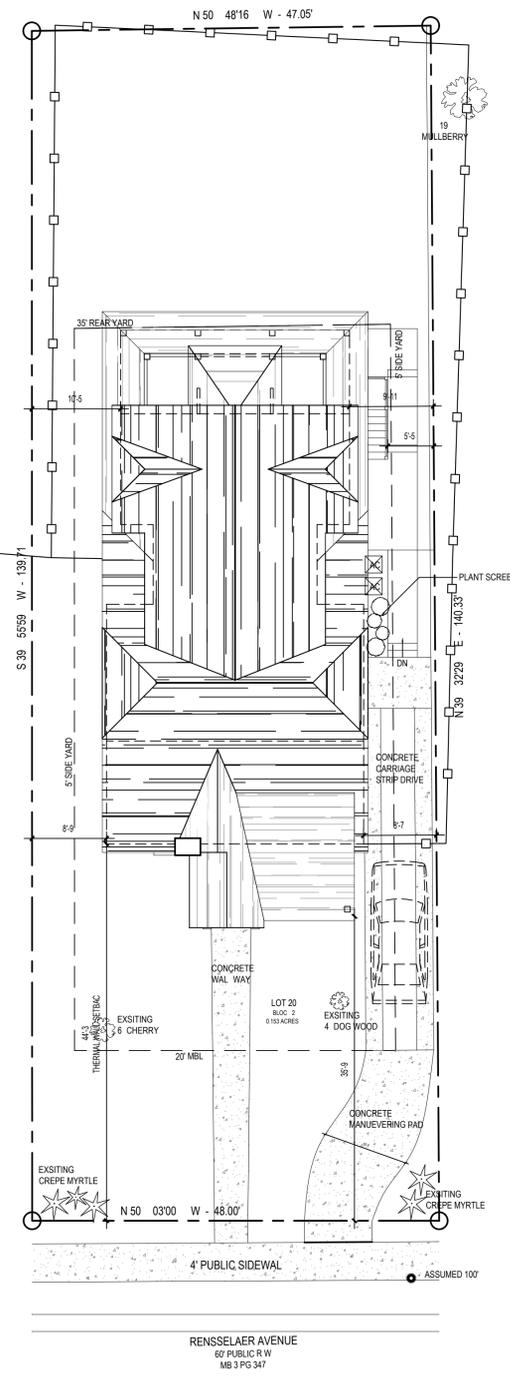
|                |  |                       |  |
|----------------|--|-----------------------|--|
| CONCRETE       |  | BY WALL TO BE REMOVED |  |
| GRAVEL         |  | ITEM TO BE REMOVED    |  |
| RETAINING WALL |  |                       |  |
| PAVER SYSTEM   |  |                       |  |

**LEGEND:**

|                       |  |
|-----------------------|--|
| BOUNDARY LINE:        |  |
| OVERHEAD UTILITIES:   |  |
| FENCE TYPE NOTED:     |  |
| UTILITY POLE:         |  |
| R.W. RIGHT OF WAY     |  |
| E.P. EDGE OF PAVEMENT |  |
| C.L. CENTERLINE       |  |



**2** EXISTING SITE PLAN  
1" = 10'-0"



**1** PROPOSED SITE PLAN  
1" = 10'-0"

| RESIDENCE CALCULATIONS                                       |      |
|--|------|
| TOTAL PROPOSED HEATED AREA                                   | 2200 |
| PROPOSED UNHEATED  |      |
| REAR PORCH   | 426  |
| FRONT PORCH  | 144  |
| TOTAL  | 570  |
| REAR YARD PERMEABILITY CALCULATIONS (50% AS REQUIRED BY HDC) |      |
| EXISTING REAR YARD AREA                                      | 2907 |
| CONCRETE DRIVE   | 0    |
| IMPERVIOUS AREA AT REAR YARD                                 | 934  |
| TOTAL AREA   | 934  |
| TOTAL PERMEABLE AREA   | 68%  |
| OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)   |      |
| TOTAL AREA OF SITE   | 6655 |
| FOOTPRINT OF HOUSE   | 1934 |
| TOTAL AREA   | 1934 |
| PERCENTAGE OF OPEN SPACE                                     | 71%  |

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PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING AND PROPOSED  
SITE PLANS  
**A-1.1**  
OF: FOURTEEN



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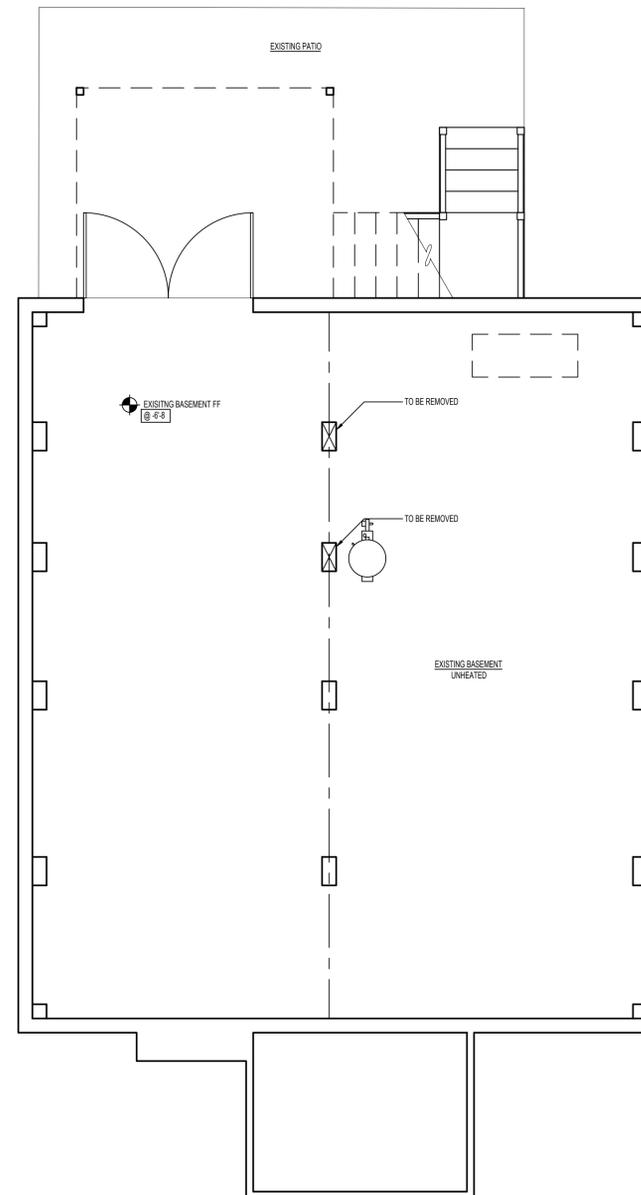
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3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ .  
ALL RISERS TO BE SOLID.
10. ALL CASSED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT
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15. ALL EAVES TO MATCH THE EXISTING HOUSE.
16. ALL NEW FASCIAS MATCH EXISTING HOUSE.
17. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
18. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
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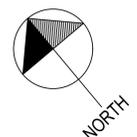
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1 EXISTING FOUNDATION PLAN  
1/4" = 1'-0"

EX WALL TO BE REMOVED   
ITEM TO BE REMOVED



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EXISTING FOUNDATION PLAN  
**A-2.0**  
OF: FOURTEEN



05 FEB 2018



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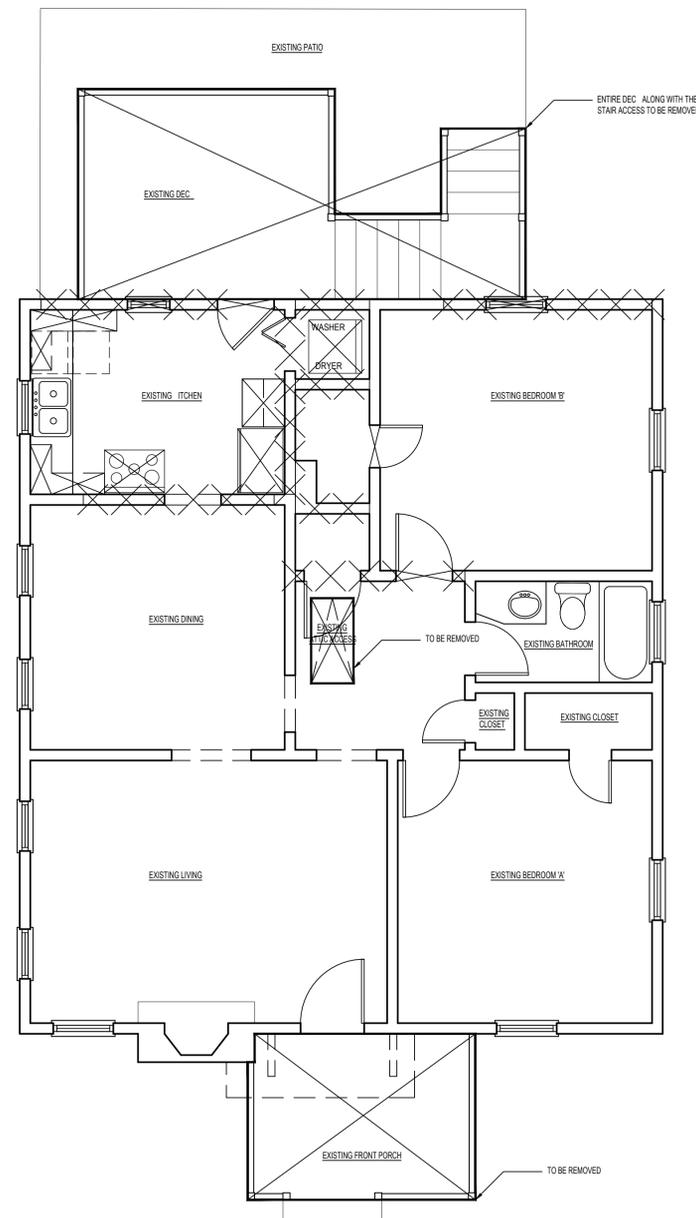
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4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
  - 6.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR -SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALLING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - 7.1. EXCEPTIONS 1 2 APPLY TO PRO ECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS BETWEEN BOTTOM RAIL, TREAD AND RISER. GUARDS SHALL NOT ALLOW PASSAGE OF A 4  $\frac{1}{2}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

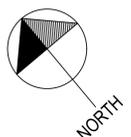
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1 EXISTING FIRST FLOOR PLAN  
14 1'-0"

EX WALL TO BE REMOVED   
 ITEM TO BE REMOVED



Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PRO ECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING 1ST FLOOR PLAN

**A-2.1**  
OF: FOURTEEN



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**GENERAL NOTES:**

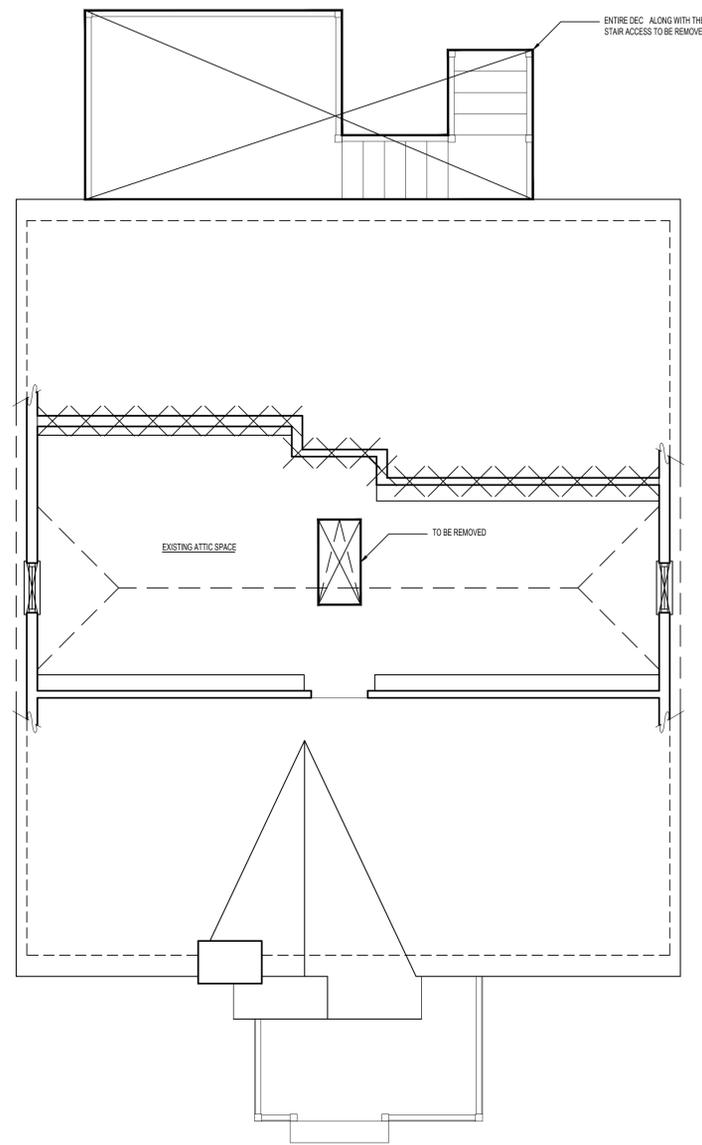
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ .
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36 IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29 IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT.
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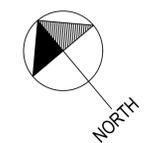
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1 EXISTING SECOND FLOOR PLAN  
1/4 1'-0"

EX WALL TO BE REMOVED   
ITEM TO BE REMOVED



Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING 2ND FLOOR PLAN

**A-2.2**  
OF: FOURTEEN



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**GENERAL NOTES:**

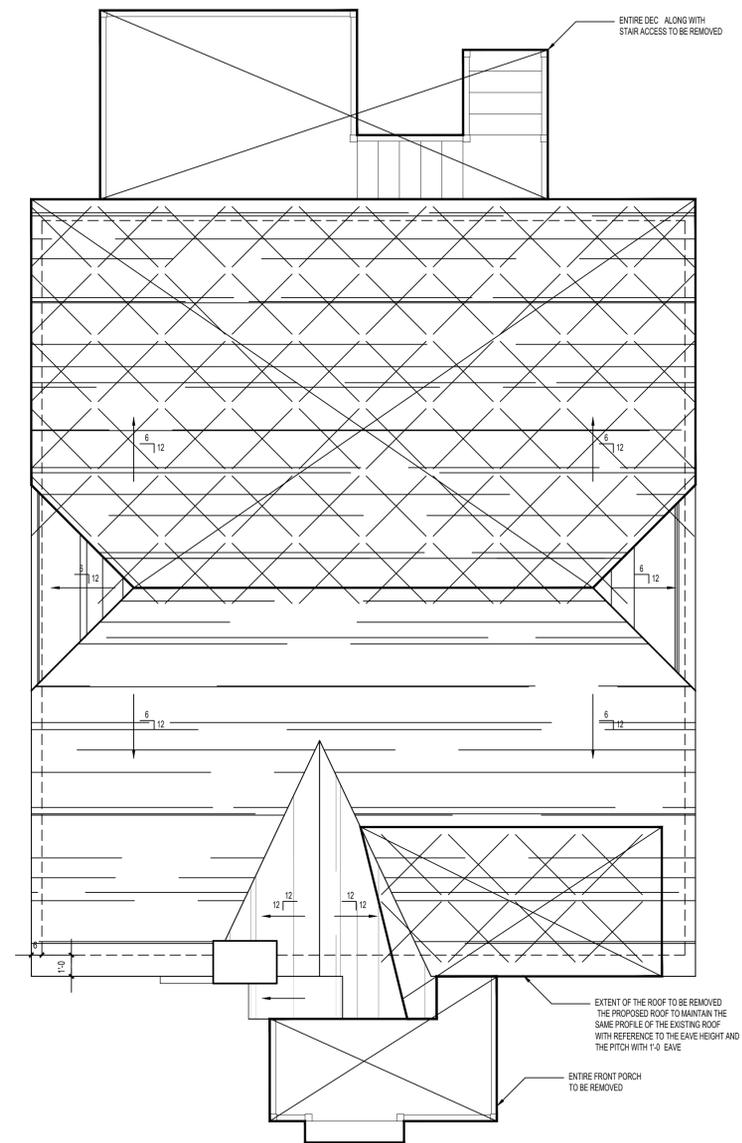
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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
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13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29 IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

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  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PRO ECT.
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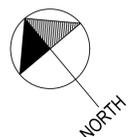
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1 EXISTING ROOF PLAN  
14 1'-0"

EX WALL TO BE REMOVED   
ITEM TO BE REMOVED

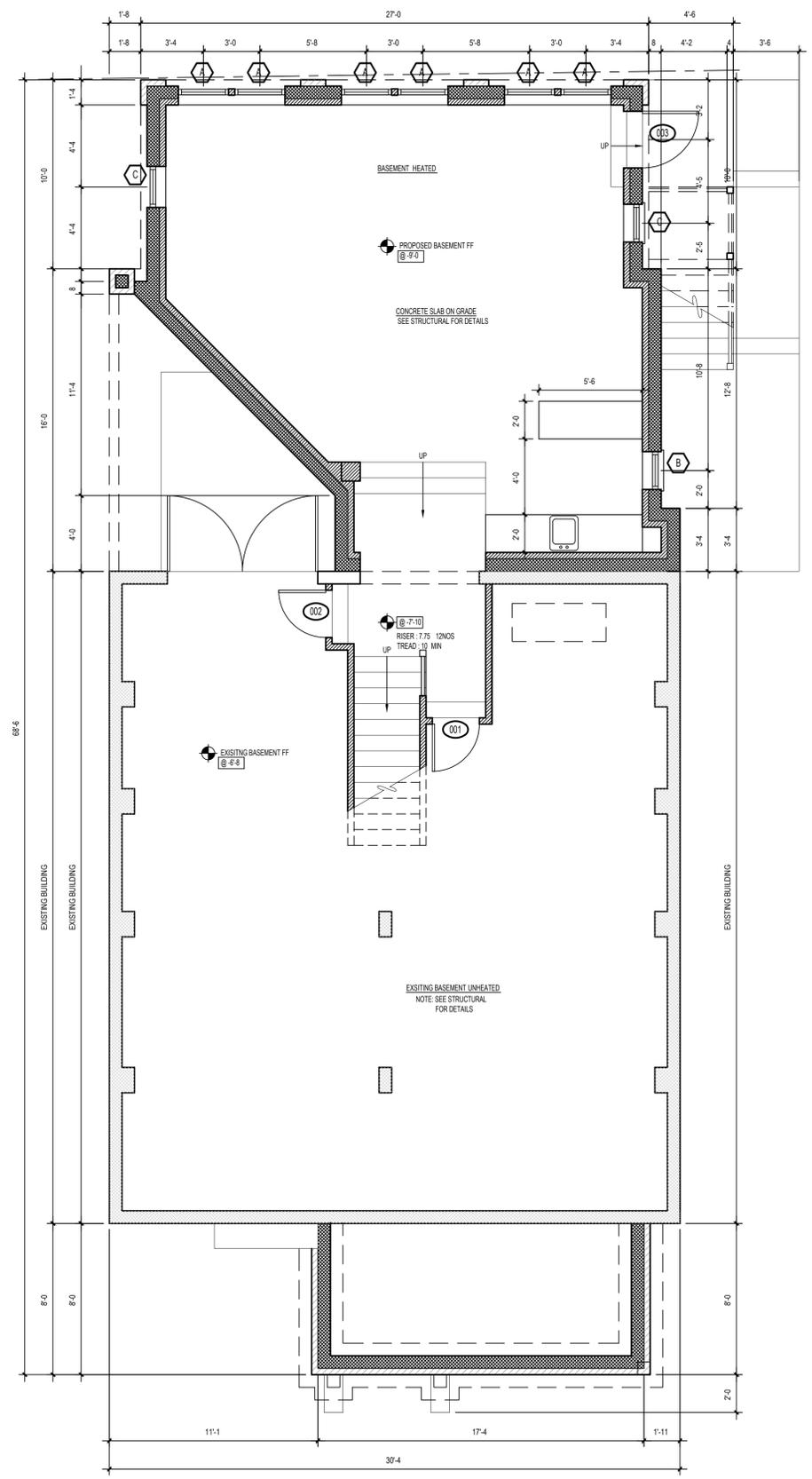


Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PRO ECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

EXISTING ROOF PLAN

**A-2.3**  
OF: FOURTEEN



**1** PROPOSED BASEMENT PLAN  
1/4" = 1'-0"

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
| D               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| E               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| F               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE LESS THAN 18" A-F-F MUST BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A-F-F AND GREATER THAN 72" ABOVE GRADE OR WALLING SURFACE BELOW.
  - WINDOW SIZING:
    - NEW CONSTRUCTION - DIMENSIONS BASED ON OLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS, REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING.
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| BASEMENT DOOR SCHEDULE |               |          |
|------------------------|---------------|----------|
| NUM                    | OPENING       | LOCATION |
| 001                    | 2'-6" x 6'-0" | BASEMENT |
| 002                    | 2'-6" x 6'-8" | BASEMENT |
| 003                    | 3'-0" x 6'-8" | BASEMENT |

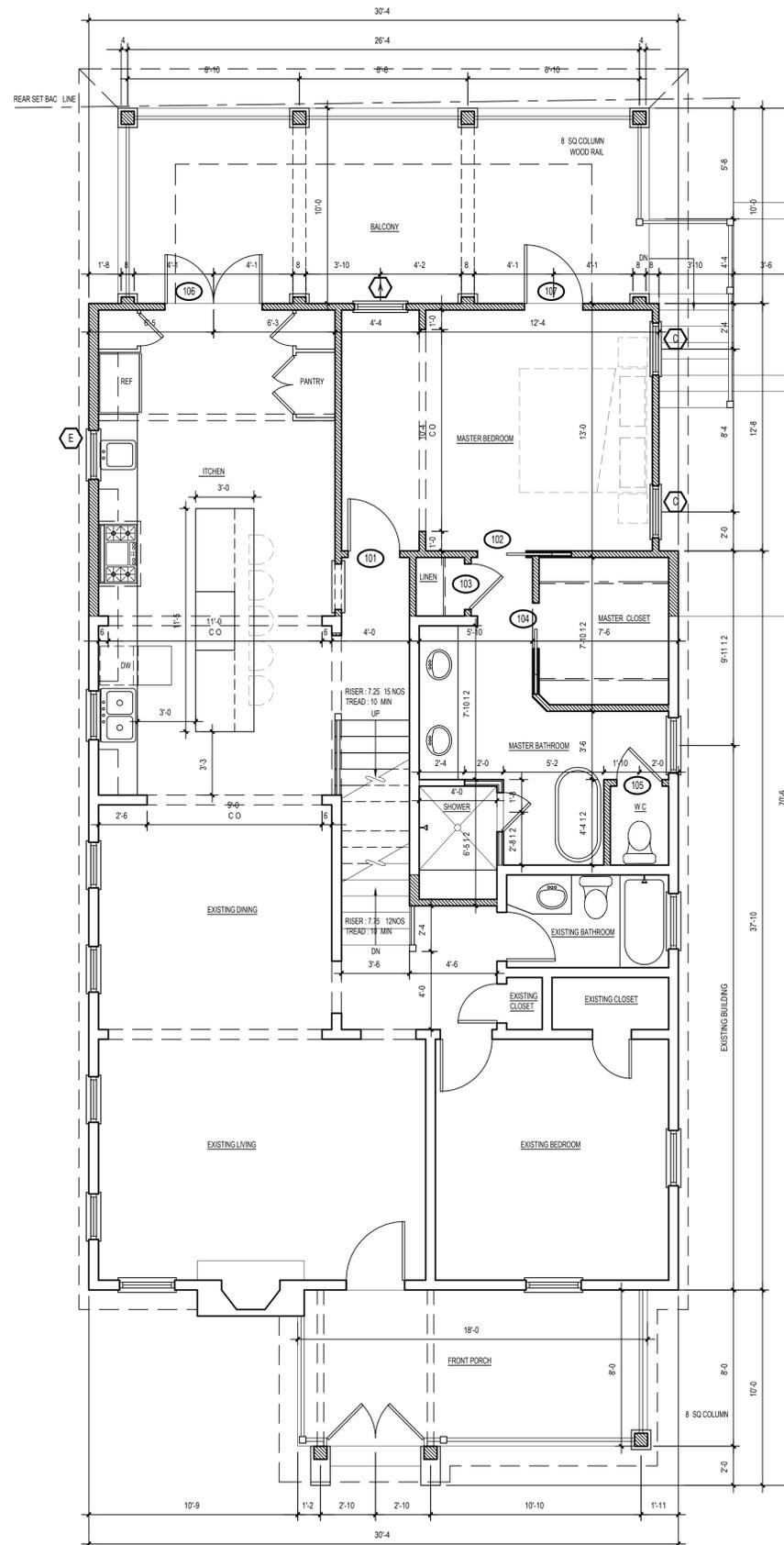
- GENERAL NOTES:**
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  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
  - STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".**
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO MATCH THE EXISTING HOUSE.
  - ALL NEW FASCIAS MATCH EXISTING HOUSE.
  - CONTRACTOR TO COORDINATE GUTTER DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING GUARD NOTES:**
- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
    - EXCEPTION DOES NOT APPLY TO THIS PRO ECT.
  - R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
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NOTE:

- 10" POURED CONCRETE
- EXISTING WALL
- NEW WALL
- BRIC
- BLOC
- STONE



**1** PROPOSED FIRST FLOOR PLAN  
14 1'-0"

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
| D               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| E               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
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- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND TRIM AT WINDOWS.
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    - M.E. = MATCH EXISTING.
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| FIRST FLOOR DOOR SCHEDULE |                           |                        |
|---------------------------|---------------------------|------------------------|
| NUM                       | OPENING                   | LOCATION               |
| 101                       | 2'-8" x 6'-8"             | MASTER BEDROOM         |
| 102                       | 2'-6" x 6'-8" POE ET DOOR | MASTER BATHROOM        |
| 103                       | 2'-4" x 6'-8"             | LINEN                  |
| 104                       | 2'-4" x 6'-8" POE ET DOOR | MASTER CLOSET          |
| 105                       | 2'-4" x 6'-8"             | WC                     |
| 106                       | PR 2'-6" x 6'-8"          | ITCHEN BALCONY         |
| 107                       | 3'-0" x 6'-8"             | MASTER BEDROOM BALCONY |

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NOTE:

- 10 POURED CONCRETE
- EXISTING WALL
- NEW WALL
- BRIC
- BLOC
- STONE

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
| D               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| E               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| F               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP WITH FLASHING BAC BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
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  - WINDOW SIZING:
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    - M.E. = MATCH EXISTING.
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| SECOND FLOOR DOOR SCHEDULE |               |                                       |
|----------------------------|---------------|---------------------------------------|
| NUM                        | OPENING       | LOCATION                              |
| 201                        | 2'-8" x 6'-8" | BEDROOM 'A'                           |
| 202                        | 2'-4" x 6'-8" | CLOSET BEDROOM 'A'                    |
| 203                        | 2'-0" x 6'-8" | HVAC                                  |
| 204                        | 2'-8" x 6'-8" | BEDROOM 'B'                           |
| 205                        | 2'-4" x 6'-8" | CLOSET BEDROOM 'B'                    |
| 206                        | 2'-8" x 6'-8" | BONUS ROOM BALCONY                    |
| 207                        | 1'-6" x 6'-8" | CLOSET BONUS ROOM                     |
| 208                        | 2'-0" x 6'-8" | LINEN                                 |
| 209                        | 2'-6" x 6'-8" | BATHROOM                              |
| 210                        | 2'-8" x 6'-8" | LAUNDRY                               |
| 211                        | 3'-0" x 5'-6" | WAL - IN ATTIC INSULATE WEATHER STRIP |

**GENERAL NOTES:**

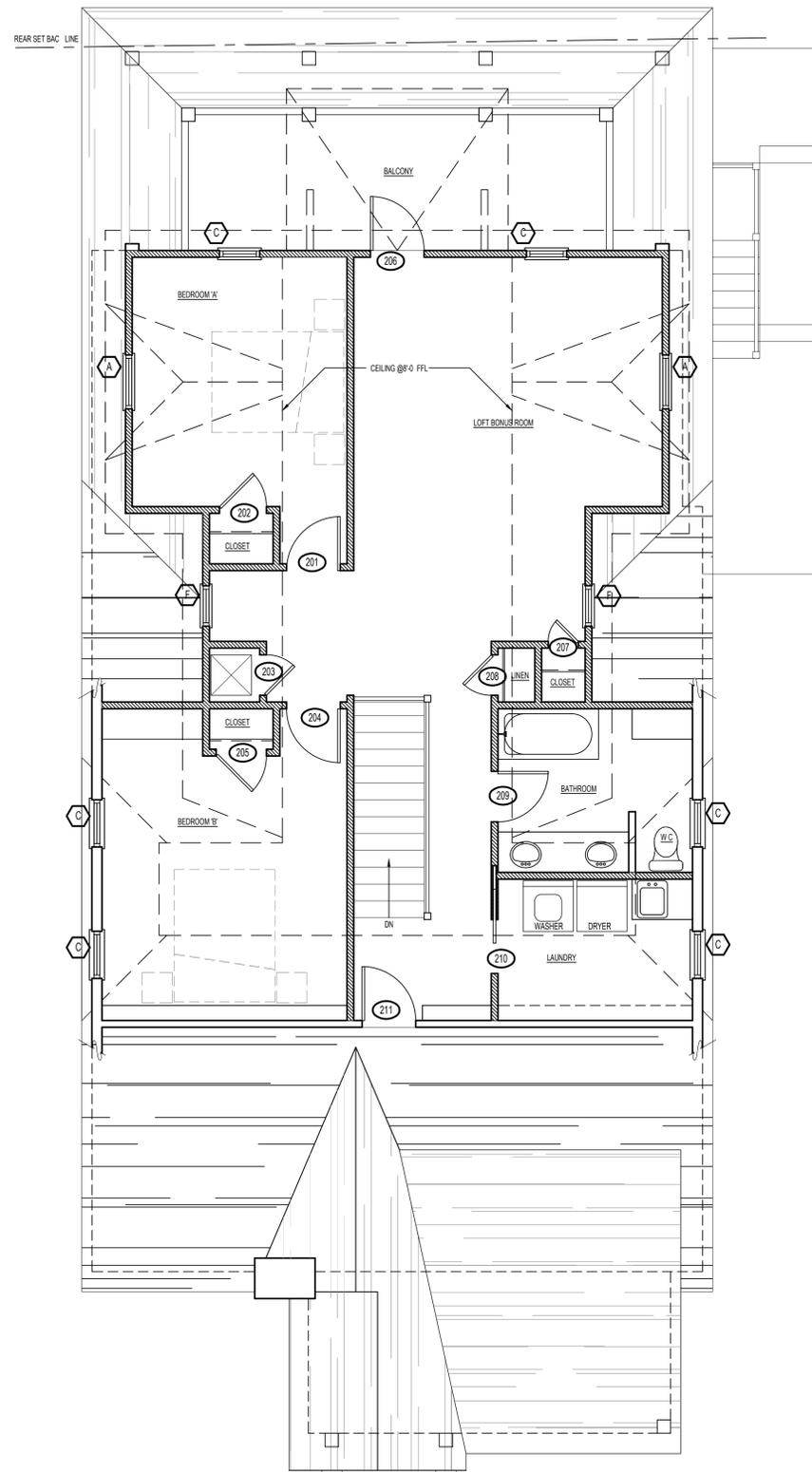
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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE FOUNDATION.
- STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".**
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE.
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- CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING GUARD NOTES:**

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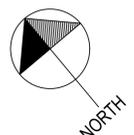
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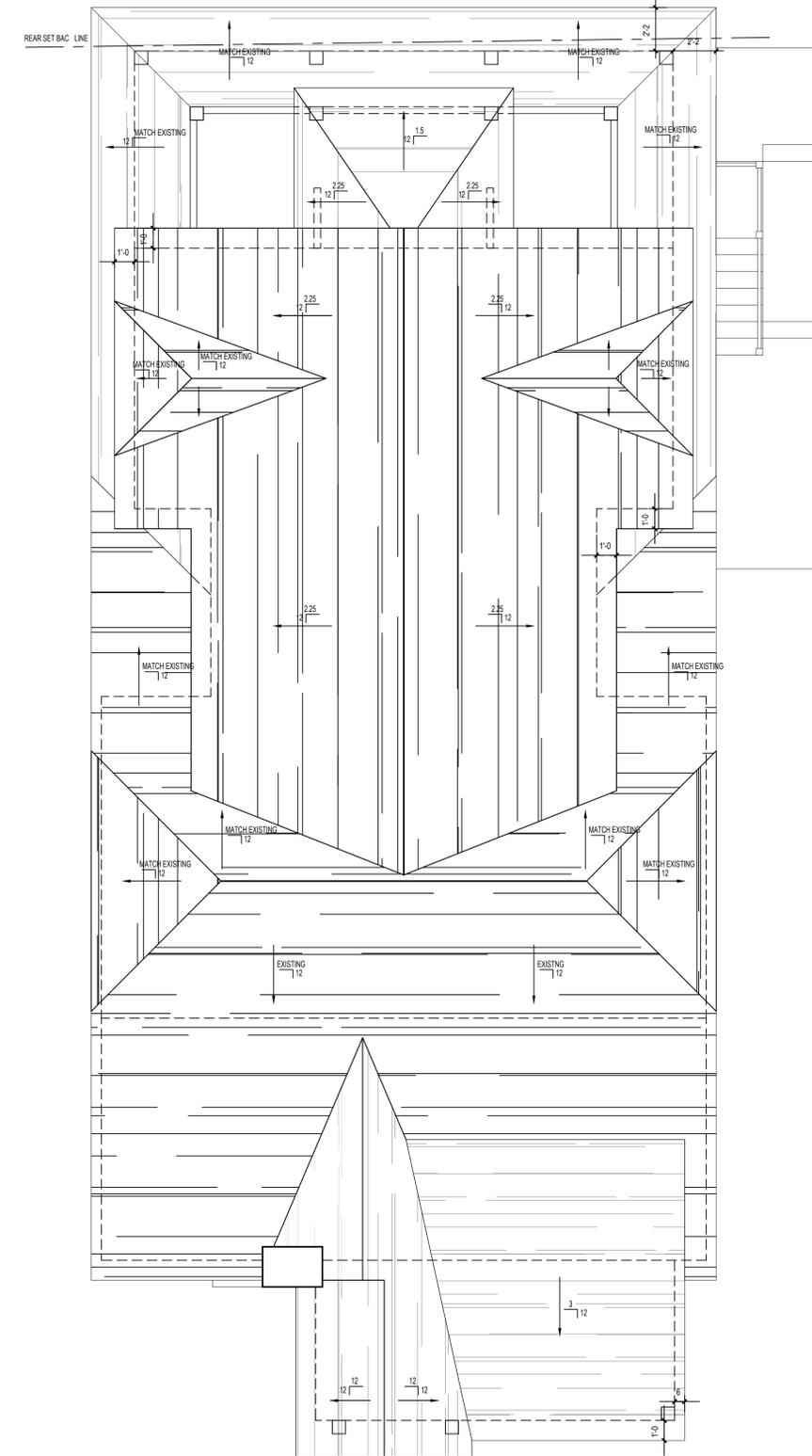


**1** PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

NOTE:

- 10 POURED CONCRETE
- EXISTING WALL
- NEW WALL
- BRIC
- BLOC
- STONE





**1** PROPOSED ROOF PLAN  
1/4" = 1'-0"

**GENERAL NOTES:**

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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL SLAB.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
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8. STAIR RISE TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS PORCHES IS LESS THAN 29" IN HEIGHT.
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19. CONTINUOUS EAVE VENT U.N.O.

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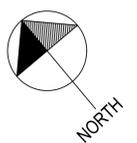
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**NOTE:**

|                    |  |
|--------------------|--|
| 10 POURED CONCRETE |  |
| EXISTING WALL      |  |
| NEW WALL           |  |
| BRIC               |  |
| BLOC               |  |
| STONE              |  |



Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

PROPOSED ROOF PLAN

**A-2.7**  
OF: FOURTEEN

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
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2 EXISTING FRONT ELEVATION  
14 1'-0"



1 PROPOSED FRONT ELEVATION  
14 1'-0"

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EX  
WALL TO BE REMOVED X  
ITEM TO BE REMOVED

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
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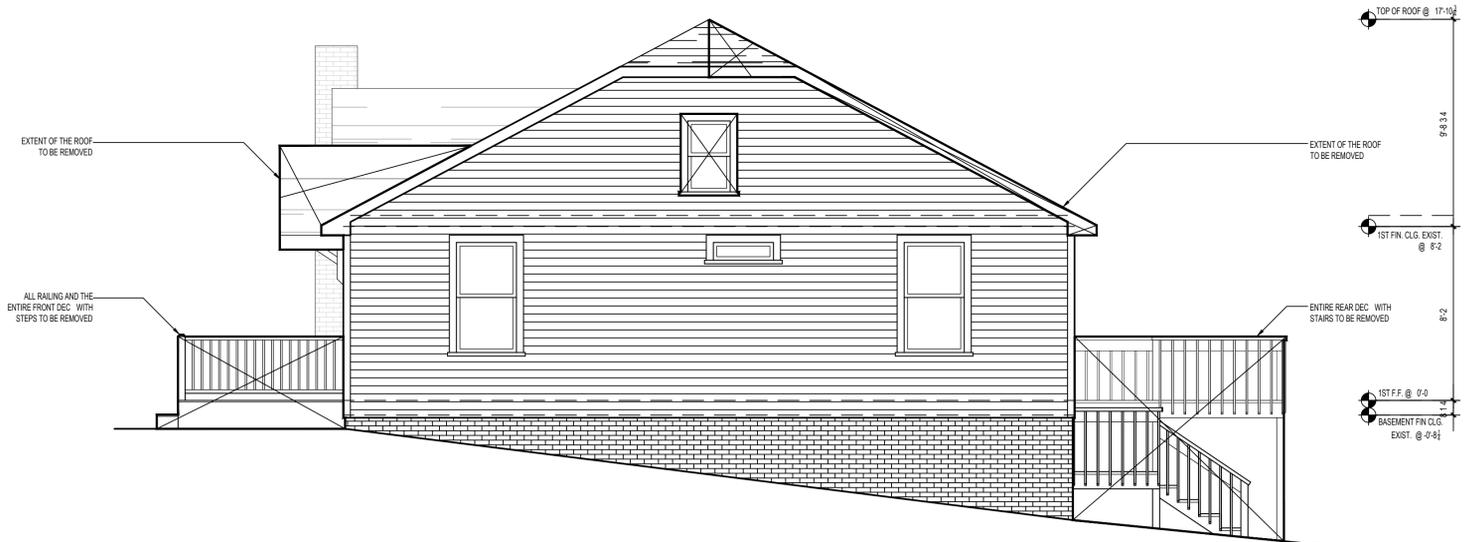
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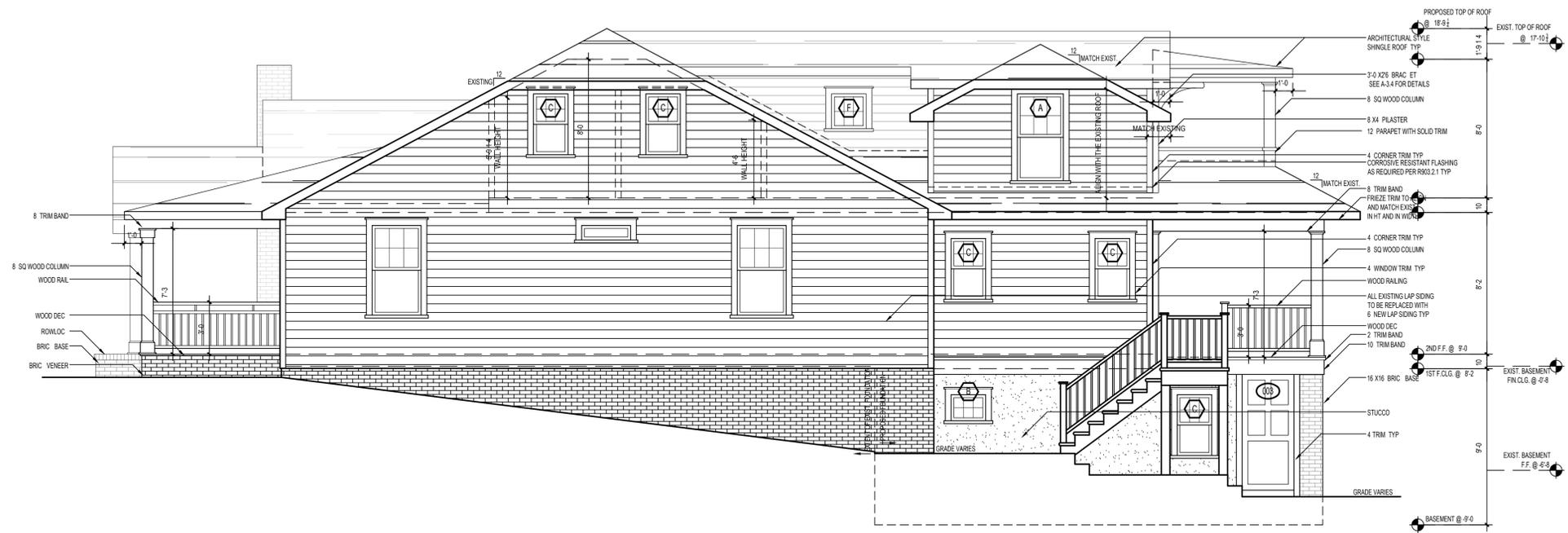
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1/4" = 1'-0"

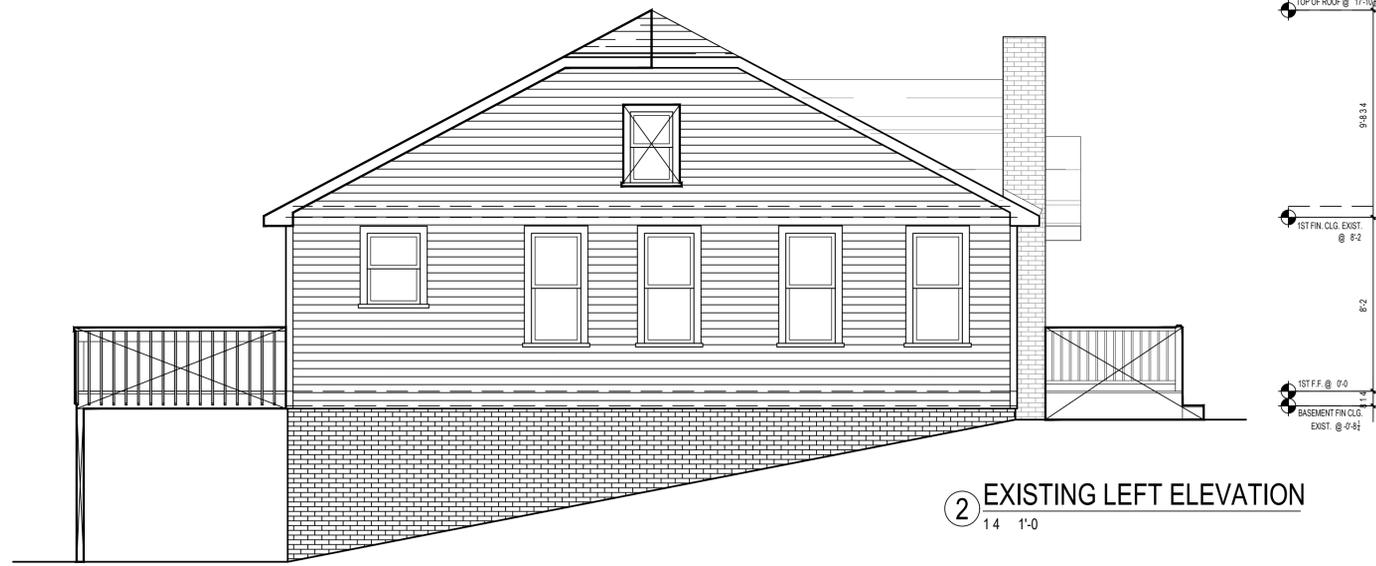


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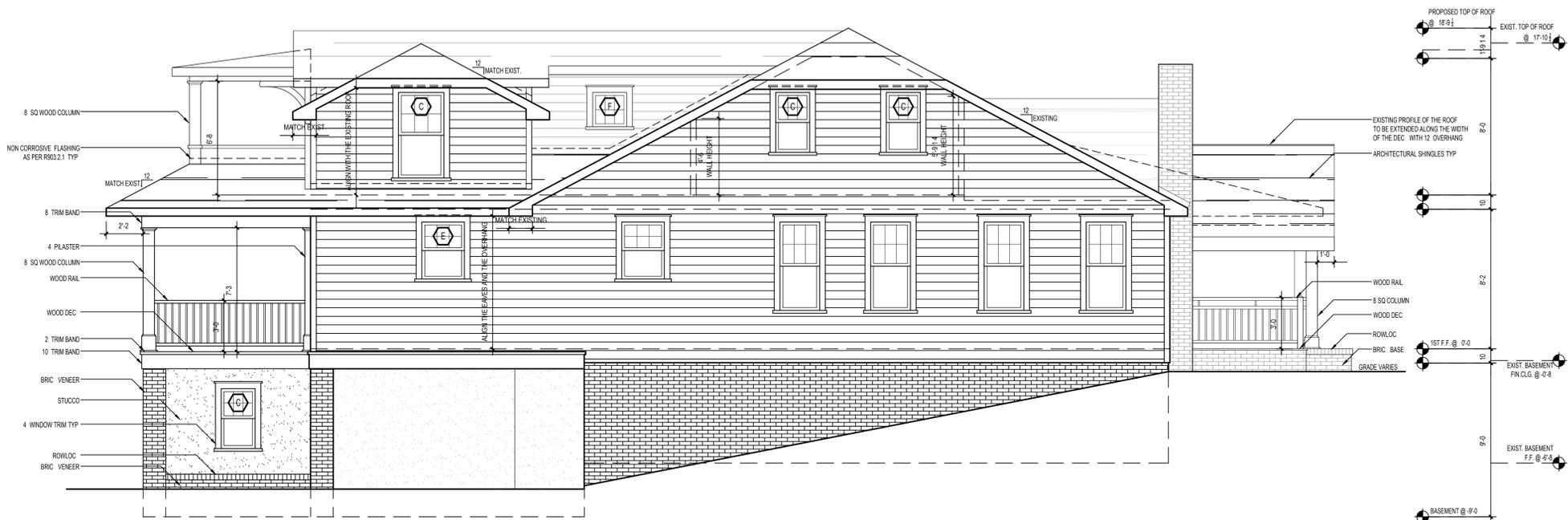


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|-----------------|---------------|--------------------------------|-------------|
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2 EXISTING LEFT ELEVATION  
1/4" = 1'-0"



1 PROPOSED LEFT ELEVATION  
1/4" = 1'-0"

EX. WALL TO BE REMOVED   
ITEM TO BE REMOVED

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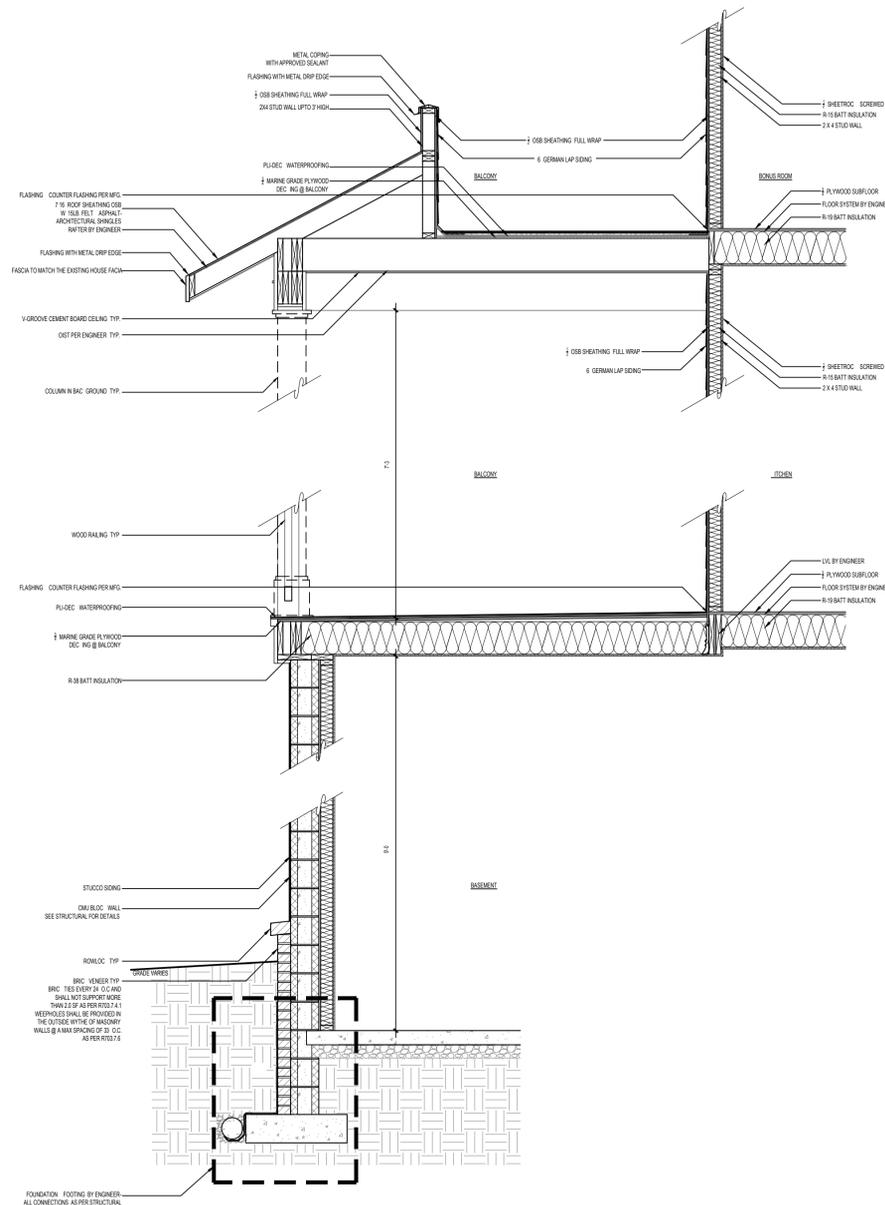
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1 WALL SECTION @ BALCONY  
1/2 1'-0

Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT : 17054  
ISSUED: 05 FEB 2018  
REVISIONS:

SECTIONS AND DETAILS

**A-3.4**  
OF: FOURTEEN



③ REAR ELEVATION  
12 1'-0"



④ LEFT SIDE ELEVATION  
12 1'-0"



② RIGHT SIDE ELEVATION  
12 1'-0"



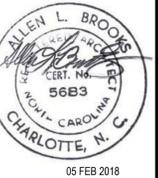
① FRONT ELEVATION  
12 1'-0"

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PRO ECT : 17054  
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REVISIONS:

COMPARISON OF EXISTING  
PROPOSED ELEVATIONS

**A-3.5**  
OF: FOURTEEN



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PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

COVER SHEET

**A-0**

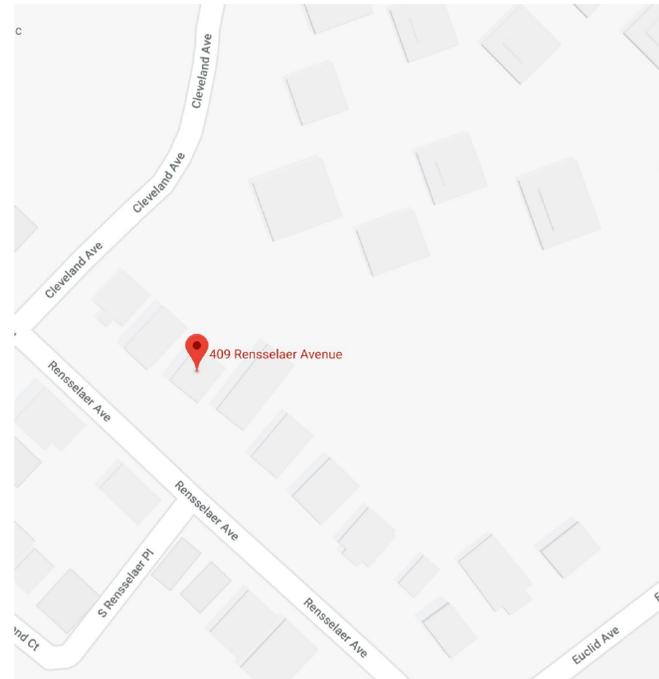
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INDEX OF DRAWINGS

- A-0 Cover Sheet
- A-0.1 Existing Conditions
- A-0.2 Street Context
- A-0.3 Site Context
- A-0.4 Zoning
- A-0.5 Building Height Survey
- A-1.0 Existing and Proposed Site Plans
- A-2.0 Existing Basement Plan
- A-2.1 Existing First Floor Plan
- A-2.2 Existing Second Floor Plan
- A-2.3 Existing Roof Plan
- A-2.4 Proposed Basement Floor Plan
- A-2.5 Proposed First Floor Plan
- A-2.6 Proposed Second Floor Plan
- A-2.7 Proposed Roof Plan
- A-3.0 Existing Front Elevation  
Proposed Front Elevation
- A-3.1 Existing Right Side Elevation  
Proposed Right Side Elevation
- A-3.2 Existing Rear Elevation  
Proposed Rear Elevation
- A-3.3 Existing Left Side Elevation  
Proposed Left Side Elevation
- A-3.4 Section and Details
- A-3.5 Elevations - Compared

SQUARE FOOTAGE CALCULATIONS

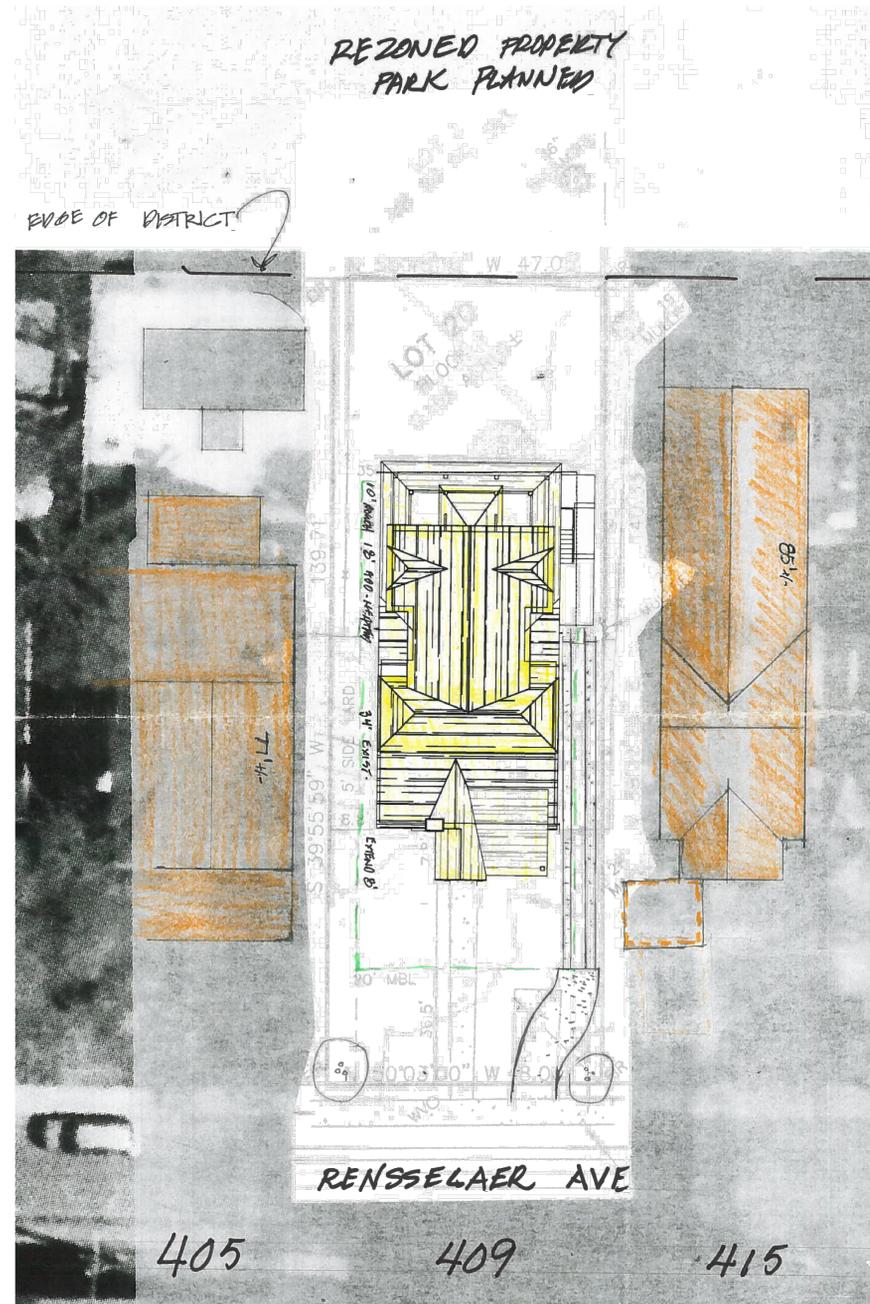
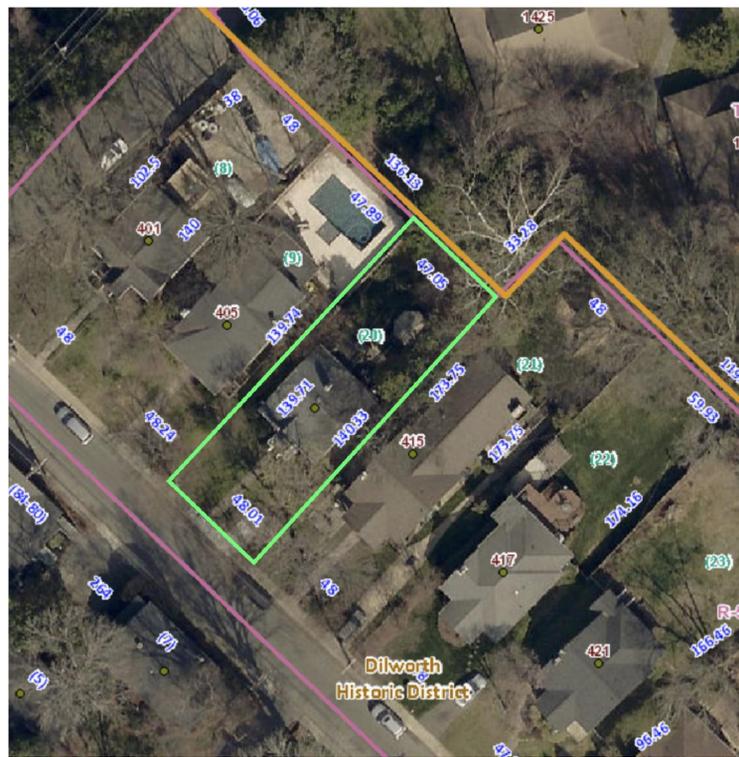
|                          | <u>Heated</u>     | <u>Unheated</u>         |
|--------------------------|-------------------|-------------------------|
| Existing Basement Floor: |                   | 1047 S.F.               |
| Existing Basement Patio: |                   | 172 S.F.                |
| Existing First Floor:    | 1047 S.F.         |                         |
| Existing Front Porch:    |                   | 84 S.F.(to be removed)  |
| Existing Rear Deck:      |                   | 312 S.F.(to be removed) |
| Proposed Basement Floor: | 662 S.F.          |                         |
| Proposed Front Porch:    |                   | 144 S.F.                |
| Proposed First Floor:    | 573 S.F.          |                         |
| Proposed Balcony:        |                   | 274 S.F.                |
| Proposed First Floor:    | 965 S.F.          |                         |
| Proposed Balcony:        |                   | 152 S.F.                |
| <b>Total:</b>            | <b>3,247 S.F.</b> | <b>1,789 S.F.</b>       |
| <b>Total Under Roof:</b> | <b>5,036 S.F.</b> |                         |



VICINITY MAP



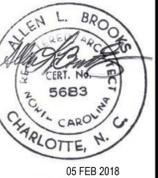
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ZONING  
**A-0.4**  
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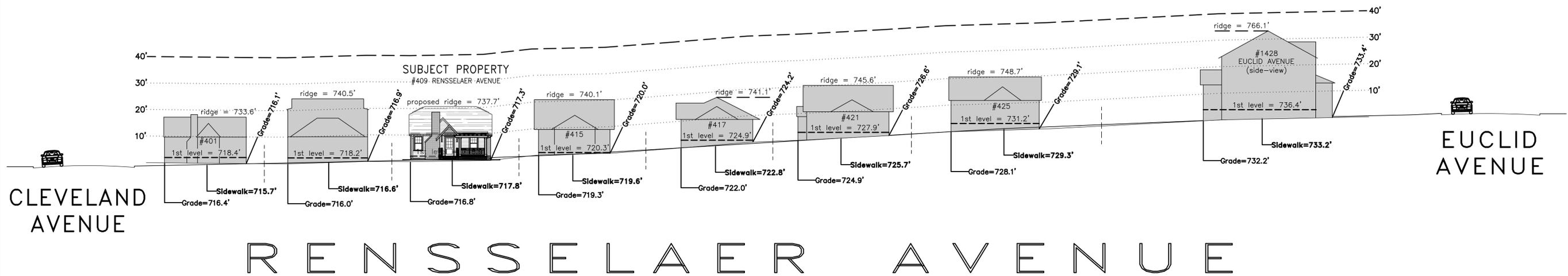
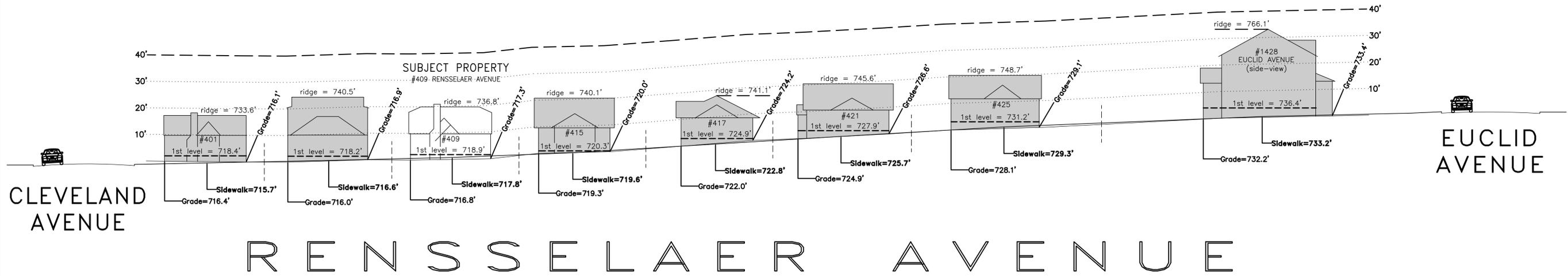
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BUILDING HEIGHT SURVEY

**A-0.5**  
OF: FOURTEEN



**GENERAL NOTES:**

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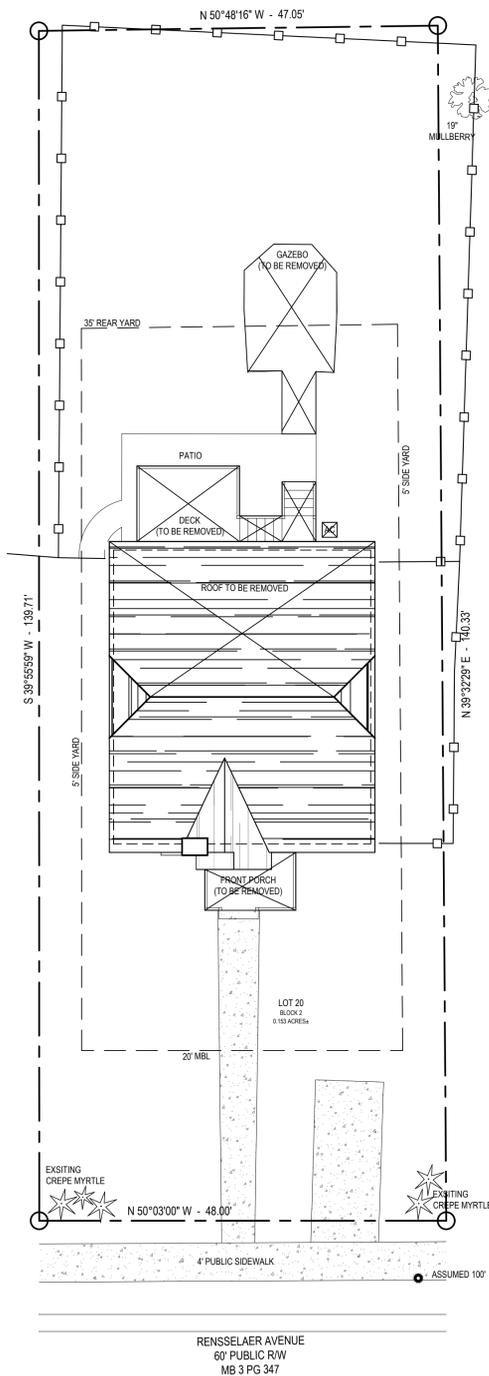
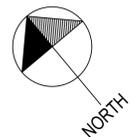
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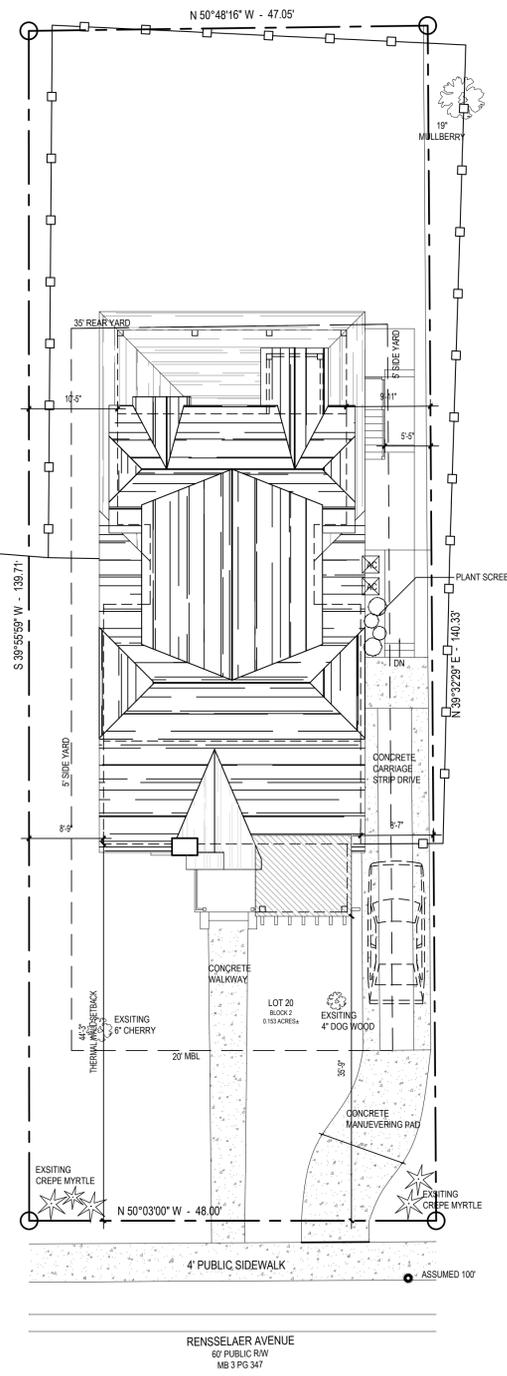
|                |  |   |
|----------------|--|---|
| CONCRETE       |  | <b>KEY:</b><br>WALL TO BE REMOVED<br>ITEM TO BE REMOVED |
| GRAVEL         |  |   |
| RETAINING WALL |  |   |
| PAVER SYSTEM   |  |   |

**LEGEND:**

|                        |  |
|------------------------|--|
| BOUNDARY LINE:         |  |
| OVERHEAD UTILITIES:    |  |
| FENCE (TYPE NOTED):    |  |
| UTILITY POLE:          |  |
| R/W: RIGHT OF WAY      |  |
| E.P.: EDGE OF PAVEMENT |  |
| C.L.: CENTERLINE       |  |



2 EXISTING SITE PLAN  
1" = 10'-0"



1 PROPOSED SITE PLAN  
1" = 10'-0"

| RESIDENCE CALCULATIONS                                       |      |
|--|------|
| TOTAL PROPOSED HEATED AREA                                   | 2200 |
| PROPOSED UNHEATED  |      |
| REAR PORCH   | 426  |
| FRONT PORCH  | 144  |
| TOTAL  | 570  |
| REAR YARD PERMEABILITY CALCULATIONS (50% AS REQUIRED BY HDC) |      |
| EXISTING REAR YARD AREA                                      | 2907 |
| CONCRETE DRIVE   | 0    |
| IMPERVIOUS AREA AT REAR YARD                                 | 934  |
| TOTAL AREA   | 934  |
| TOTAL PERMEABLE AREA   | 68%  |
| OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)   |      |
| TOTAL AREA OF SITE   | 6655 |
| FOOTPRINT OF HOUSE   | 1934 |
| TOTAL AREA   | 1934 |
| PERCENTAGE OF OPEN SPACE                                     | 71%  |

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REVISIONS:

EXISTING AND PROPOSED  
SITE PLANS  
**A-1.1**  
OF: FOURTEEN



05 FEB 2018



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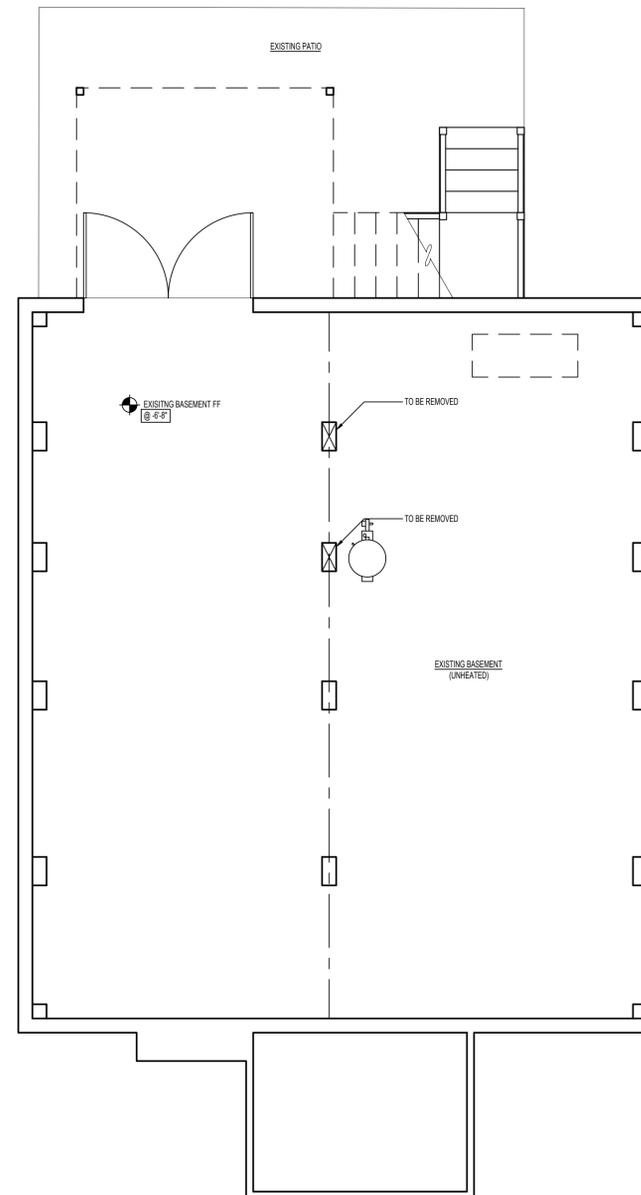
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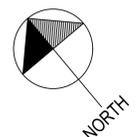
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**1** EXISTING FOUNDATION PLAN  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



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**A-2.0**  
OF: FOURTEEN



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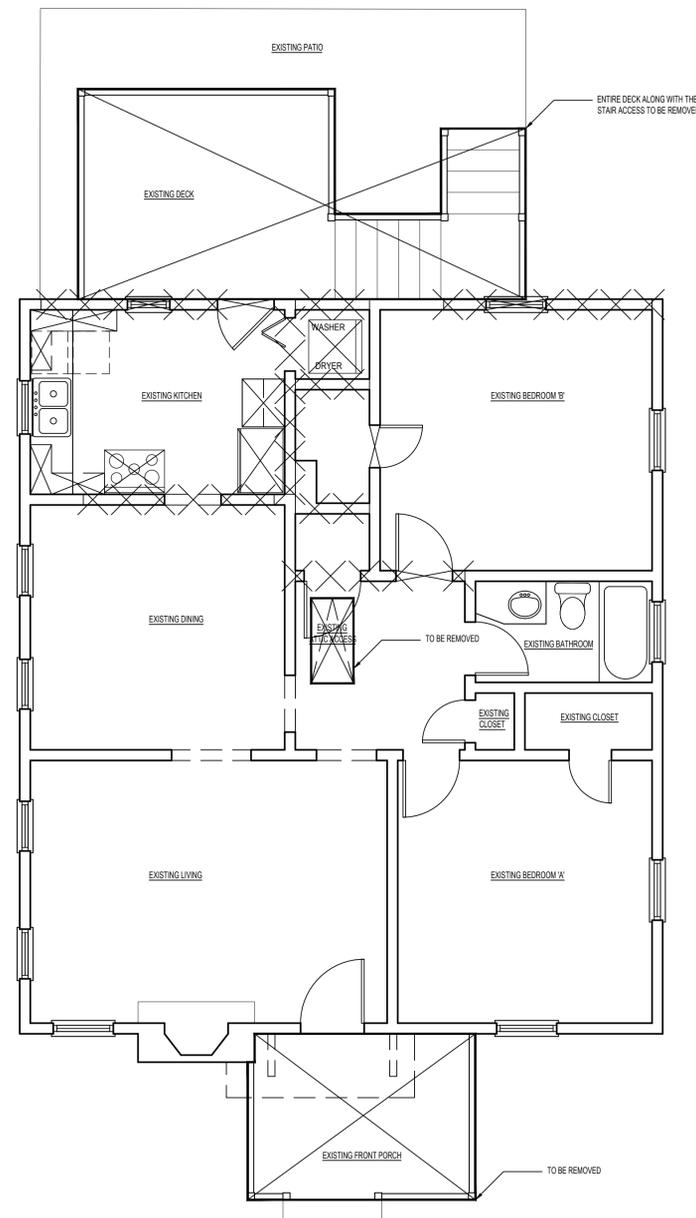
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3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT
13. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO MATCH THE EXISTING HOUSE.
17. ALL NEW FASCIAS MATCH EXISTING HOUSE.
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
  - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8  $\frac{1}{2}$  INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
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7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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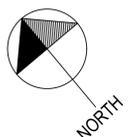
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1 EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING 1ST FLOOR PLAN

**A-2.1**  
OF: FOURTEEN



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**GENERAL NOTES:**

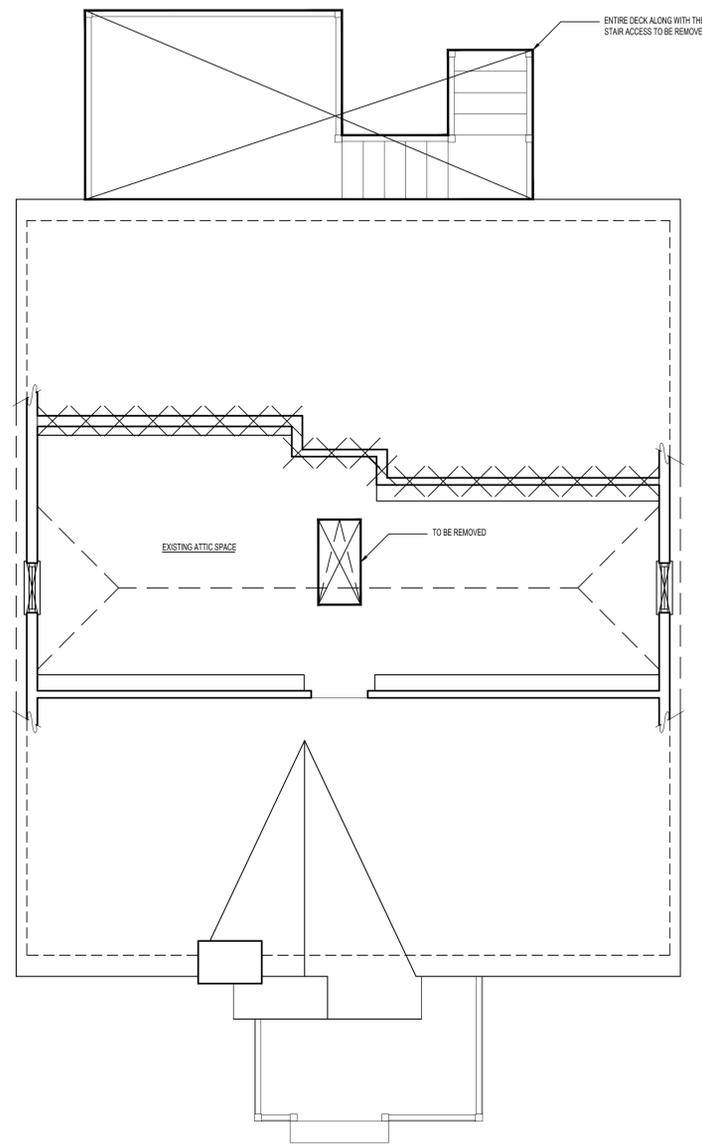
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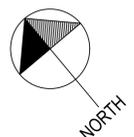
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1 EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING 2ND FLOOR PLAN

**A-2.2**  
OF: FOURTEEN



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**GENERAL NOTES:**

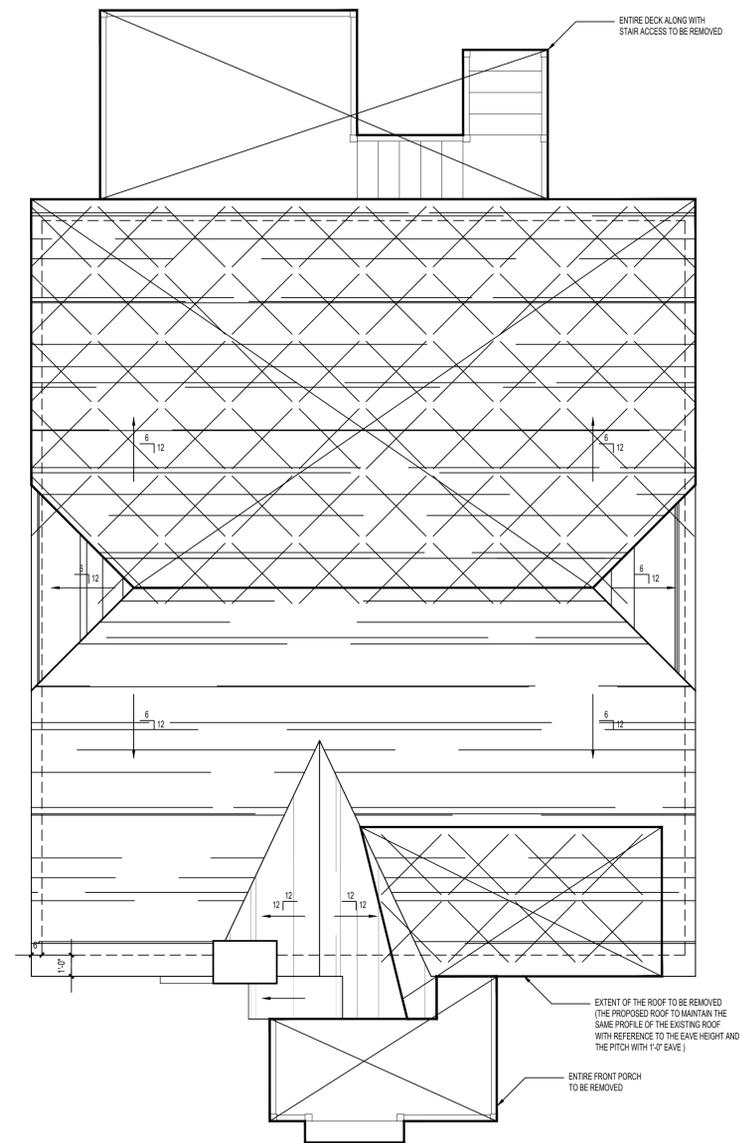
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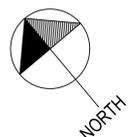
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1 EXISTING ROOF PLAN  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED

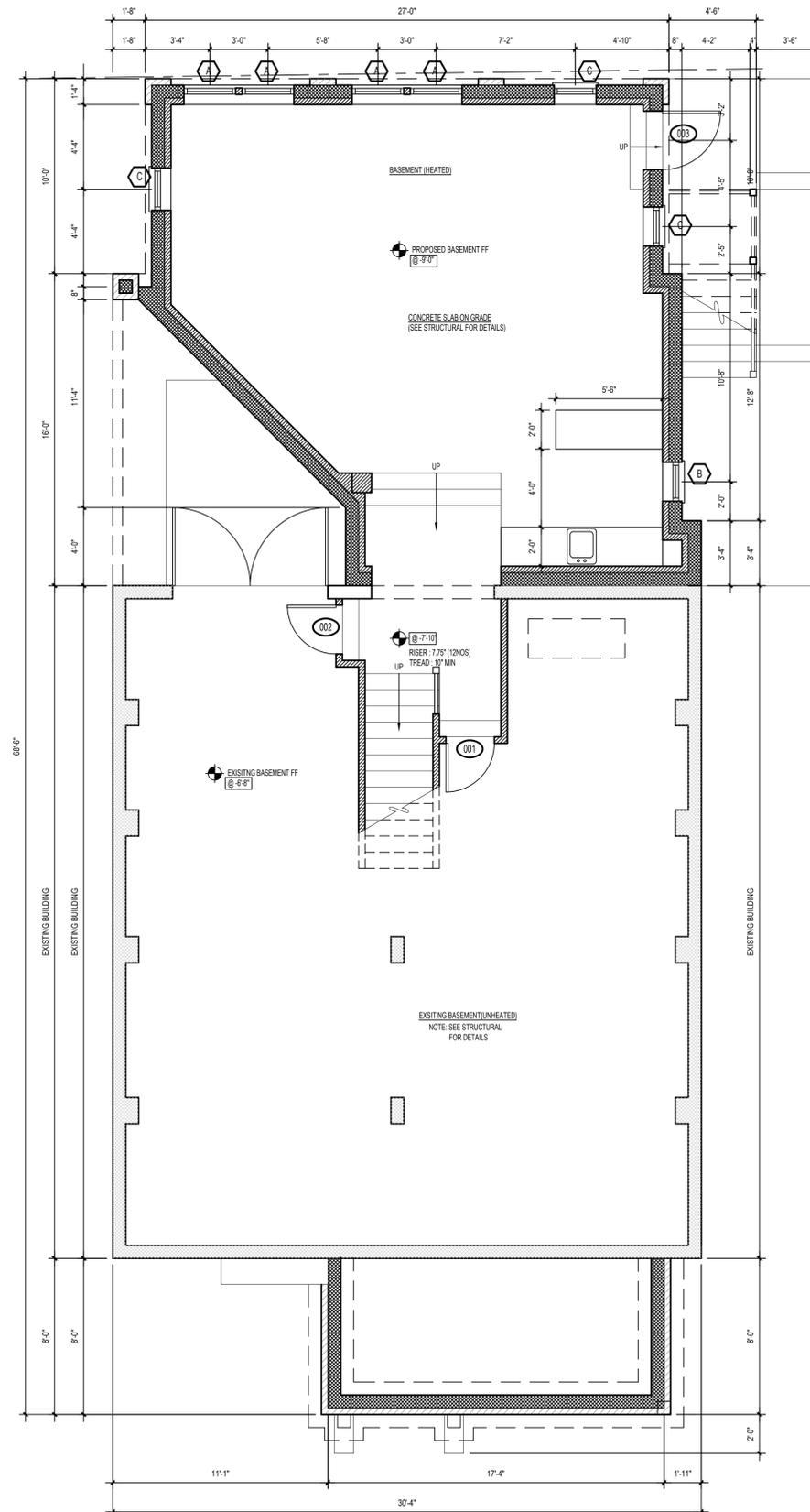


Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

EXISTING ROOF PLAN

**A-2.3**  
OF FOURTEEN



**1 PROPOSED BASEMENT PLAN**  
1/4" = 1'-0"

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
| D               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| E               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| F               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| BASEMENT DOOR SCHEDULE |               |          |
|------------------------|---------------|----------|
| NUM                    | OPENING       | LOCATION |
| 001                    | 2'-6" x 6'-0" | BASEMENT |
| 002                    | 2'-6" x 6'-8" | BASEMENT |
| 003                    | 3'-0" x 6'-8" | BASEMENT |

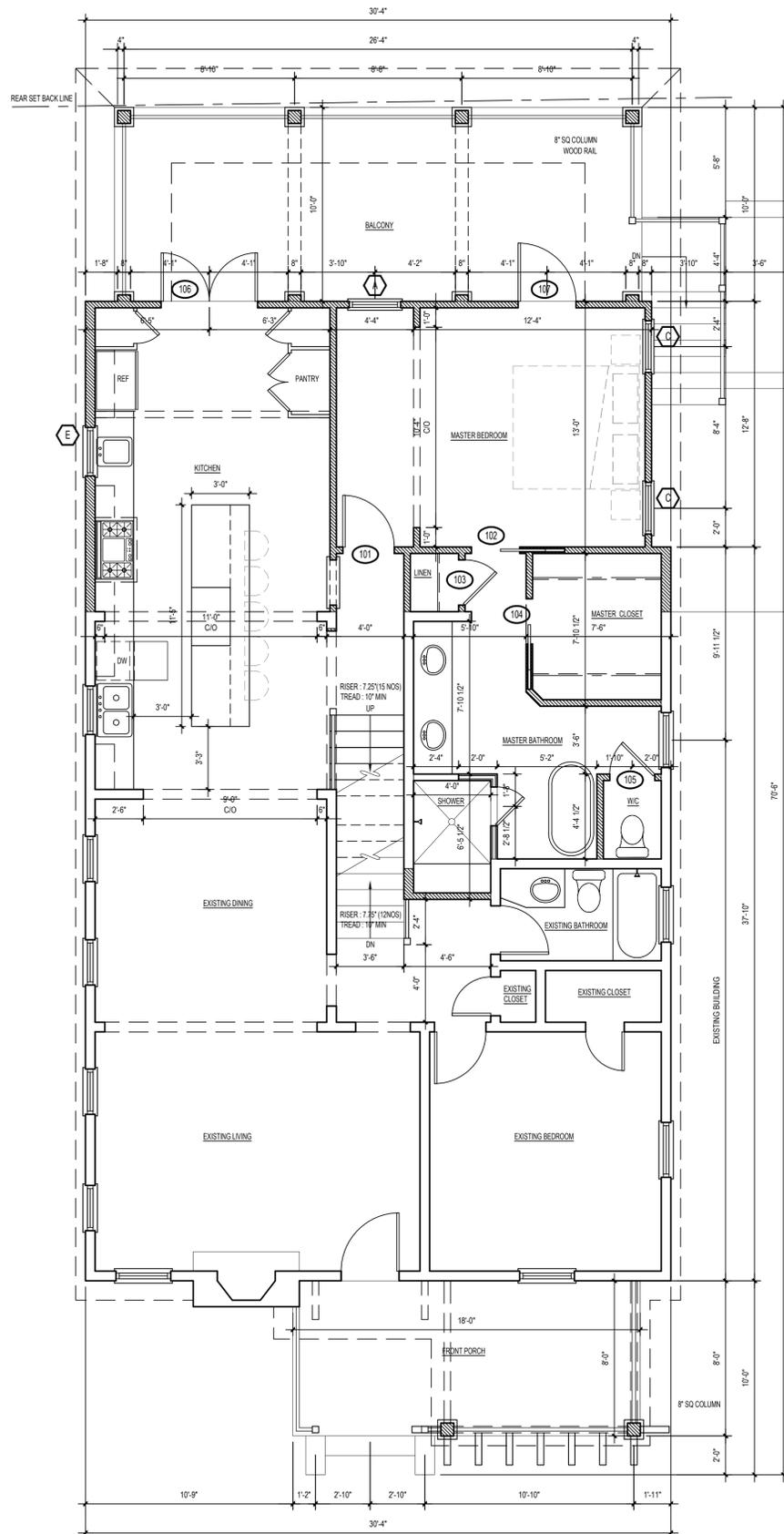
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  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
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    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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NOTE:

- 10" POURED CONCRETE
- EXISTING WALL
- NEW WALL
- BRICK
- BLOCK
- STONE



**1** PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
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| FIRST FLOOR DOOR SCHEDULE |                             |                          |
|---------------------------|-----------------------------|--------------------------|
| NUM                       | OPENING                     | LOCATION                 |
| 101                       | 2'-8" x 6'-8"               | MASTER BEDROOM           |
| 102                       | 2'-6" x 6'-8" (POCKET DOOR) | MASTER BATHROOM          |
| 103                       | 2'-4" x 6'-8"               | LINEN                    |
| 104                       | 2'-4" x 6'-8" (POCKET DOOR) | MASTER CLOSET            |
| 105                       | 2'-4" x 6'-8"               | WIC                      |
| 106                       | PR 2'-6" x 6'-8"            | KITCHEN / BALCONY        |
| 107                       | 3'-0" x 6'-8"               | MASTER BEDROOM / BALCONY |

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  - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.**
  - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES**
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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NOTE:

- 10" POURED CONCRETE
- EXISTING WALL
- NEW WALL
- BRICK
- BLOCK
- STONE

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
| D               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| E               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| F               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A-F **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS** - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING**
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

| SECOND FLOOR DOOR SCHEDULE |                  |  |
|----------------------------|------------------|--|
| NUM                        | OPENING          | LOCATION                                 |
| 201                        | 2'-8" x 6'-8"    | BEDROOM 'A'                              |
| 202                        | 2'-4" x 6'-8"    | CLOSET BEDROOM 'A'                       |
| 203                        | 2'-0" x 6'-8"    | HVAC                                     |
| 204                        | 2'-8" x 6'-8"    | BEDROOM 'B'                              |
| 205                        | 2'-4" x 6'-8"    | CLOSET BEDROOM 'B'                       |
| 206                        | PR 4'-0" x 6'-8" | BONUS ROOM / BALCONY                     |
| 207                        | 1'-6" x 6'-8"    | CLOSET BONUS ROOM                        |
| 208                        | 2'-0" x 6'-8"    | LINEN                                    |
| 209                        | 2'-6" x 6'-8"    | BATHROOM                                 |
| 210                        | 2'-8" x 6'-8"    | LAUNDRY                                  |
| 211                        | 3'-0" x 5'-6"    | WALK-IN ATTIC (INSULATE & WEATHER STRIP) |

**GENERAL NOTES:**

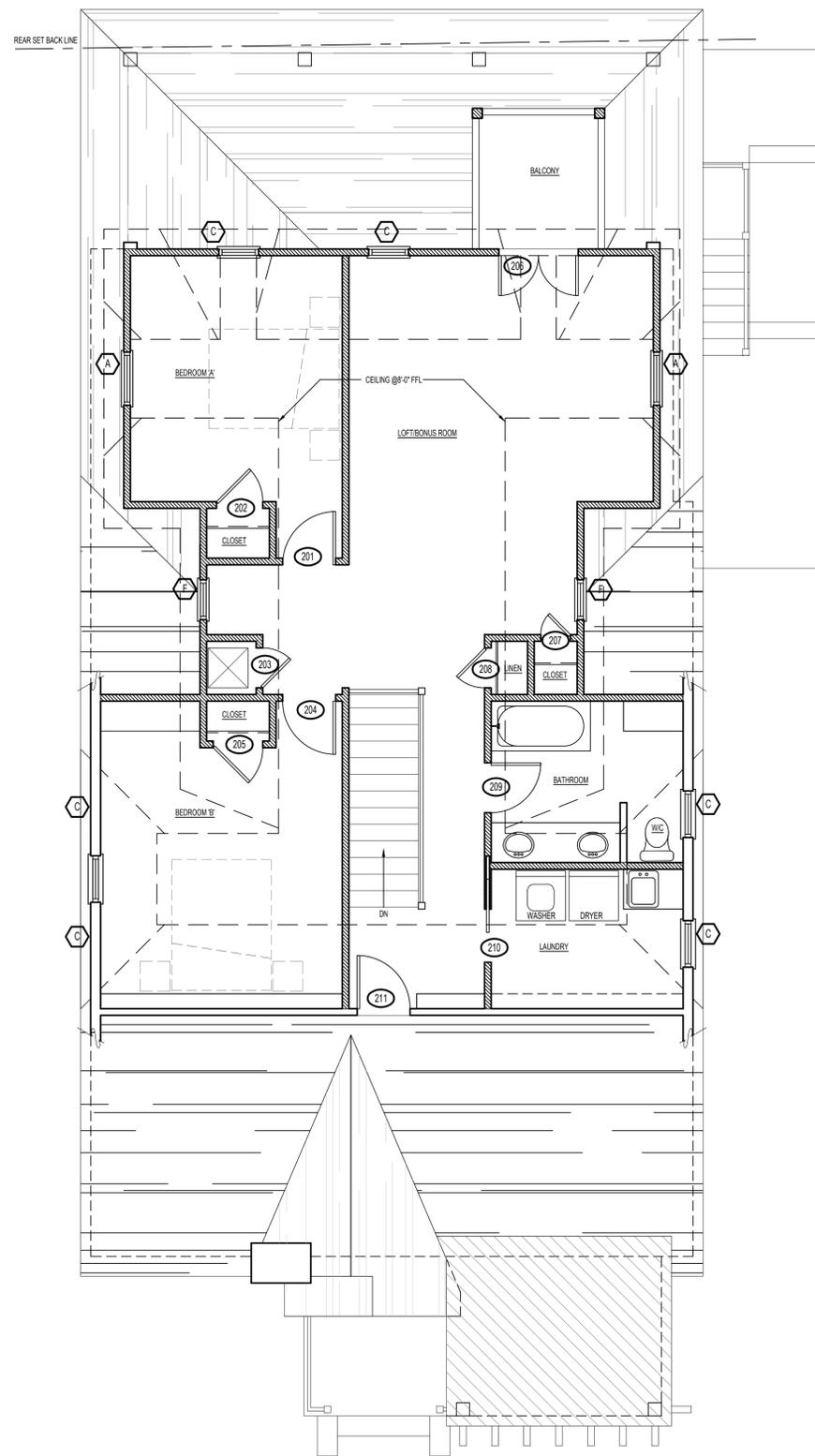
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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
- FIRE BLOCK @ FLOOR & CEILING PER CODE.**
- ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN  $\frac{3}{8}$ ".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT**
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO MATCH THE EXISTING HOUSE.
- ALL NEW FASCIAS MATCH EXISTING HOUSE.
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

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  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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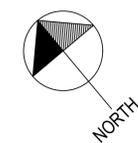
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**1** PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

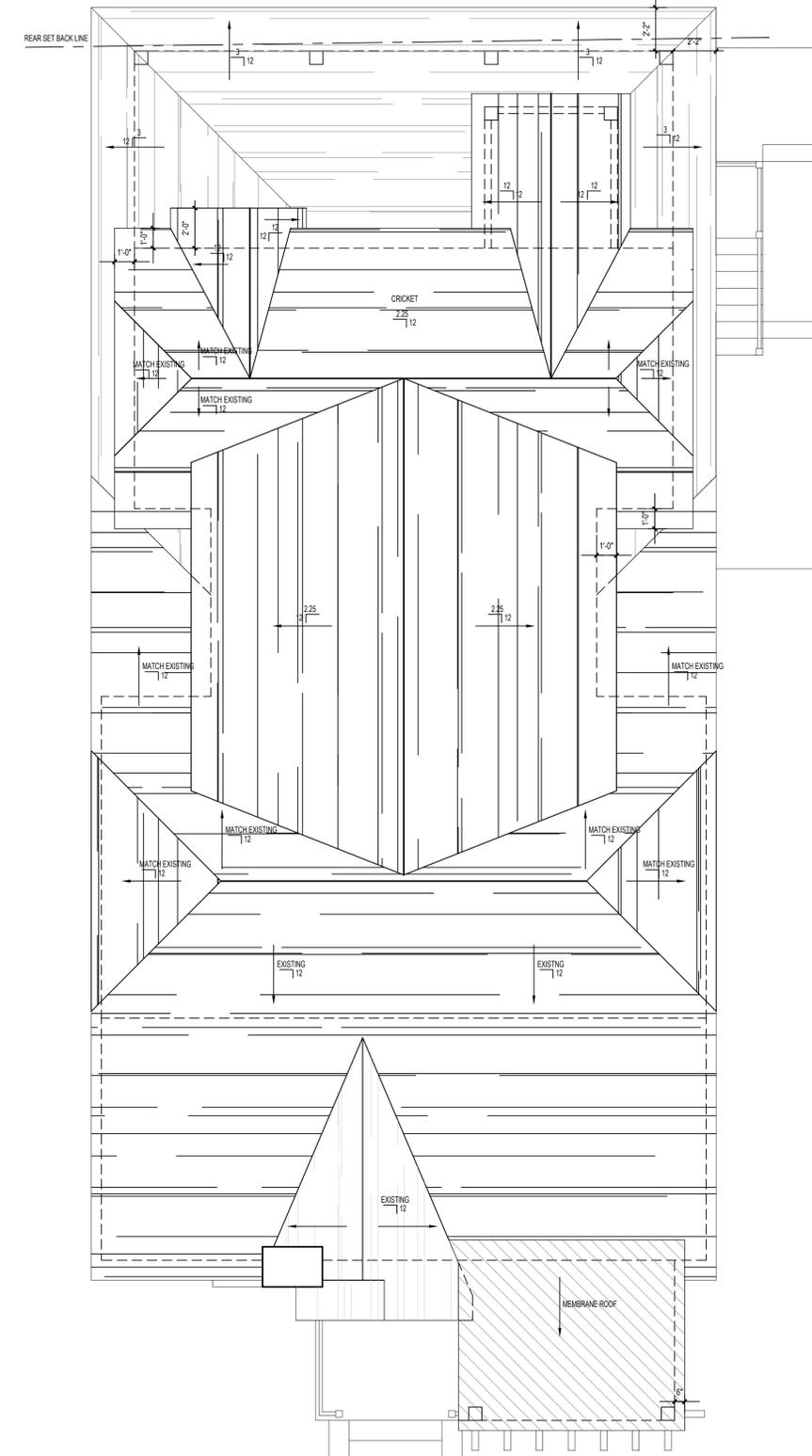
NOTE:

|                     |  |
|---------------------|--|
| 10" POURED CONCRETE |  |
| EXISTING WALL       |  |
| NEW WALL            |  |
| BRICK               |  |
| BLOCK               |  |
| STONE               |  |





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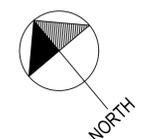
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**NOTE:**

|                     |  |
|---------------------|--|
| 10" POURED CONCRETE |  |
| EXISTING WALL       |  |
| NEW WALL            |  |
| BRICK               |  |
| BLOCK               |  |
| STONE               |  |



**1 PROPOSED ROOF PLAN**  
1/4" = 1'-0"

Designed Exclusively For the:  
**THOMAS RESIDENCE**  
409 Rensselear Avenue, Charlotte, NC 28203

PROJECT #: 17054  
ISSUED: 21 FEB 2018  
REVISIONS:

PROPOSED ROOF PLAN

**A-2.7**  
OF: FOURTEEN

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
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2 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED

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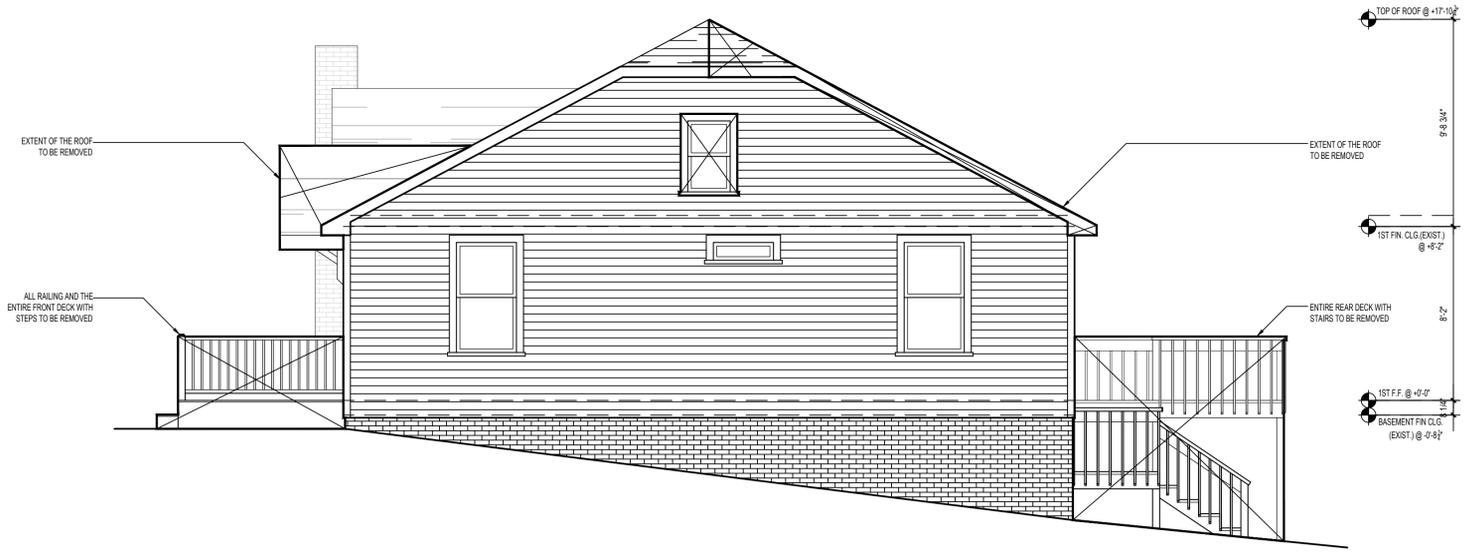
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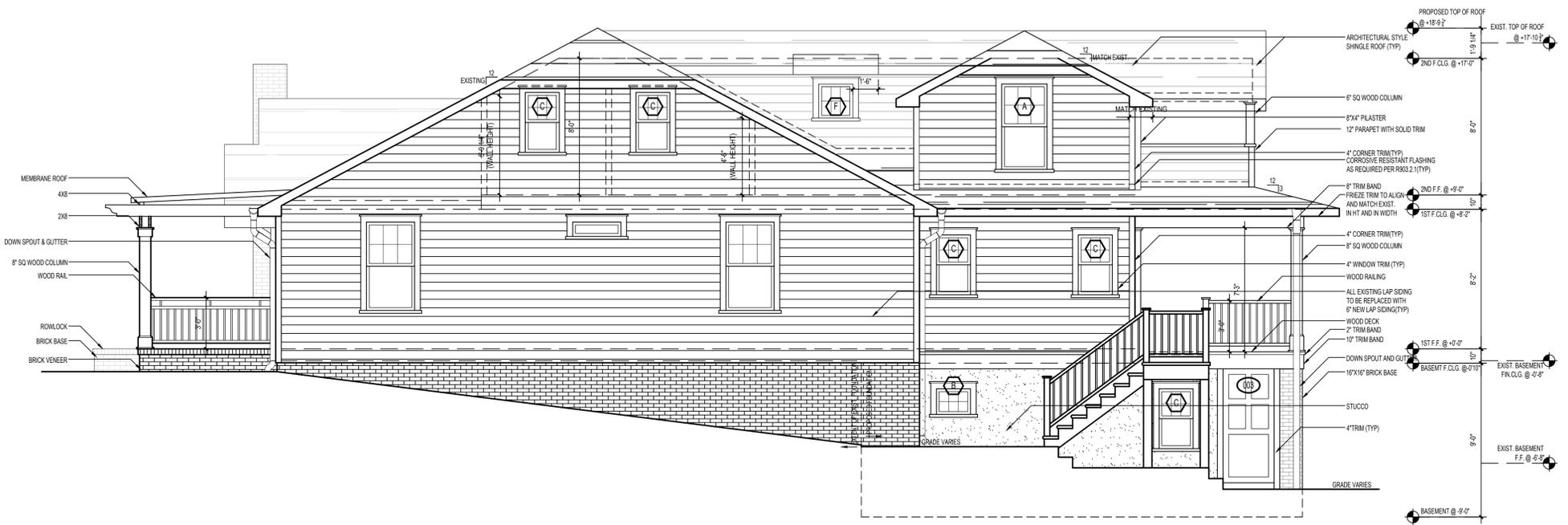
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**1 EXISTING RIGHT ELEVATION**  
1/4" = 1'-0"

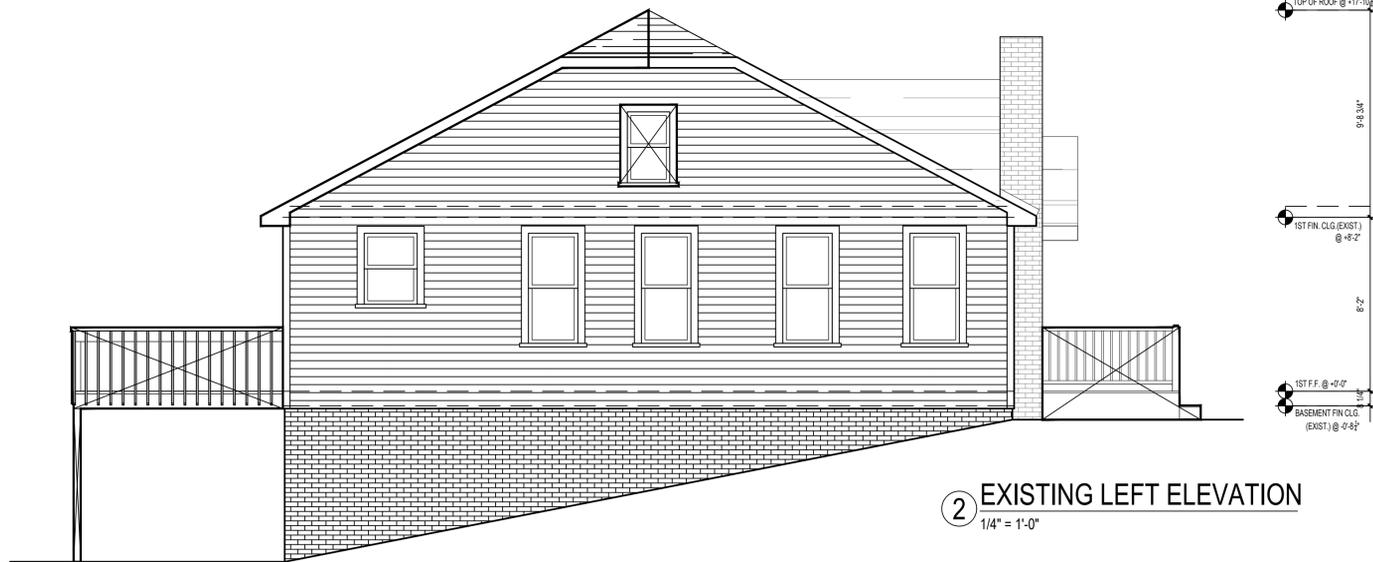


**1 PROPOSED RIGHT ELEVATION**  
1/4" = 1'-0"

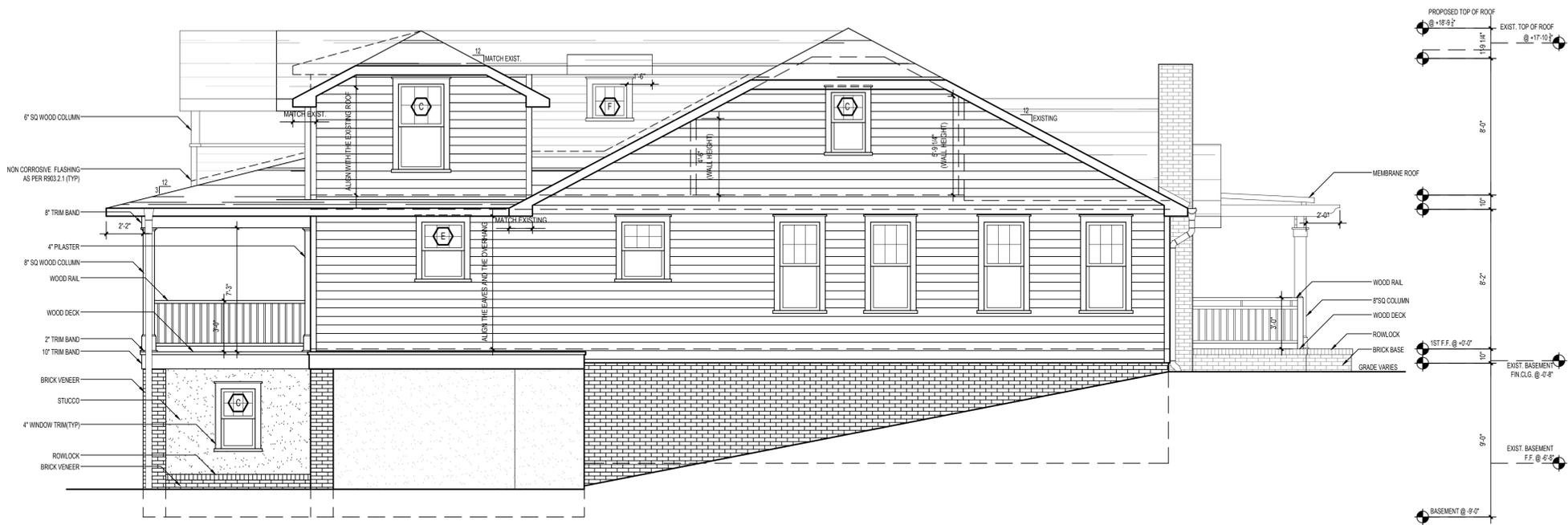
KEY:  
WALL TO BE REMOVED [Hatched Box]  
ITEM TO BE REMOVED [X]

| WINDOW SCHEDULE |               |                                |             |
|-----------------|---------------|--------------------------------|-------------|
| ID              | SIZE          | HEADER HEIGHT                  | TYPE        |
| A               | 2'-8" X 5'-0" | MATCH EXISTING - FF 6'-6" - SF | DOUBLE HUNG |
| B               | 2'-0" X 1'-6" | 7'-6"                          | CASEMENT    |
| C               | 2'-0" X 3'-6" | 8'-6"                          | DOUBLE HUNG |
| D               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| E               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |
| F               | 4'-6" X 2'-4" | 8'-6"                          | CASEMENT    |

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION** - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS** - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING.
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.



**2** EXISTING LEFT ELEVATION  
1/4" = 1'-0"



**1** PROPOSED LEFT ELEVATION  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF CONCRETE WALL & SLAB.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD & CONCRETE FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE** - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT
  - ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO MATCH THE EXISTING HOUSE.
  - ALL NEW FASCIAS MATCH EXISTING HOUSE.
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH** - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT** - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
    - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH** - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  - R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  - R311.7.7.1 HANDRAIL HEIGHT** - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  - R312.2 GUARD HEIGHT** - GUARDS SHALL NOT BE LESS THAN 36 INCHES
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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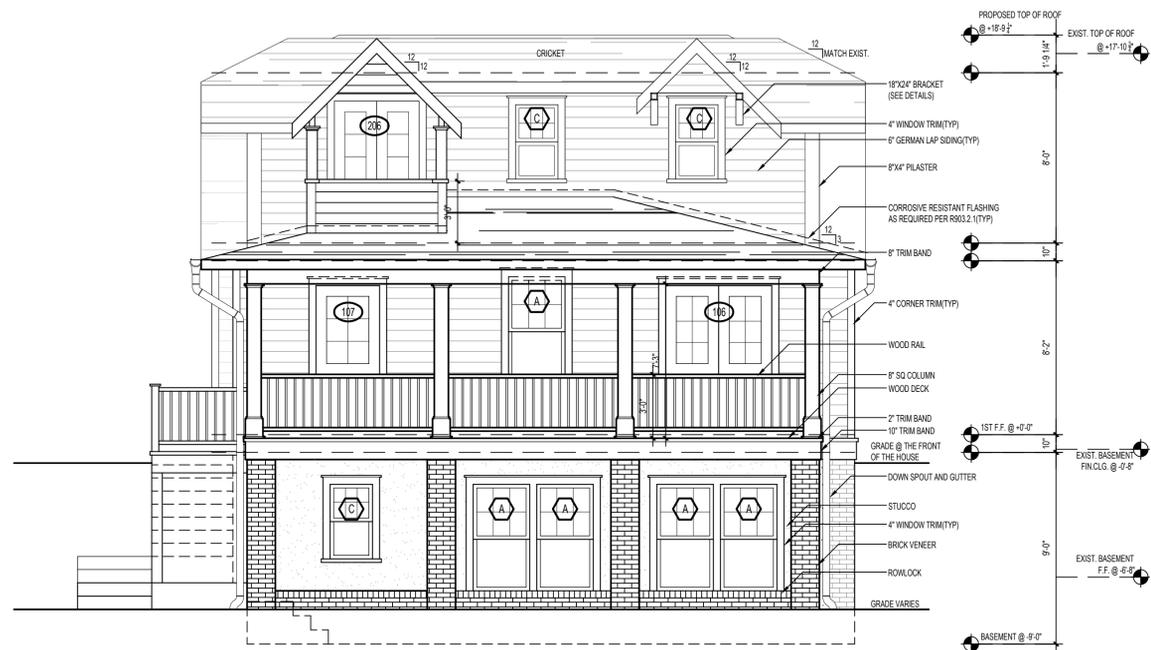
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**2 EXSITING REAR ELEVATION**  
1/4" = 1'-0"



**1 PROPOSED REAR ELEVATION**  
1/4" = 1'-0"

KEY:  
WALL TO BE REMOVED   
ITEM TO BE REMOVED



