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**LOCAL HISTORIC DISTRICT:** Dilworth

**PROPERTY ADDRESS:** 1123 Berkeley Avenue (Lot 1, part of lot 2 and 13, block 32)

**SUMMARY OF REQUEST:** New Construction/garage

**APPLICANT/OWNER:** Angie Lauer, applicant

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**Details of Proposed Request**

*Existing Context*

The site is a vacant parcel. Plans for a new two story house were approved February 10, 2016 (COA# 2015-280). The current applicant is submitting new plans for a single family house. Existing homes on the block are 1 to 2.5 stories and range in height from 22' to 37'. The property has been surveyed for recordation as a separate parcel.

*Project*

The project is a two story single family house and detached garage. The front setback is approximately 47 feet from ROW. Building materials are brick and wood lap siding with wood trim, cedar shake roof and copper gutters and downspouts. The applicant is requesting 10" cementitious board on the fascia. Total height from finished floor is approximately 31'-7". The two car garage is one story with materials to match the house.

**Policy & Design Guidelines for New Construction, page 6.1**

Charlotte's historic districts' distinctive character is derived not only from architectural style but also from the nature of the street created by building setback, spacing, mass and height as well as the landscape quality. This street character and the surrounding properties are considered to be the context for any new building. As such, the block in which the new site is located should be carefully studied when designing a new infill dwelling. This context should include both sides of the subject street.

The Charlotte Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building.

The criteria in this section are all important when considering whether a proposed new building design is appropriate and compatible. All criteria should be taken into consideration in the design process with the goal to ensure that the new design respects its historic neighboring buildings.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

*All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.*

**Staff Analysis** - The Commission will determine if the proposal meets the guidelines for new construction.

*Charlotte Historic District Commission Case 2017-626*  
**HISTORIC DISTRICT: DILWORTH**  
**NEW CONSTRUCTION**





**CHARLOTTE HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** 2015-280

**DATE:** February 15, 2016

**ADDRESS OF PROPERTY:** 1325 Dilworth Road (Lot 1, part of lot 2 and 13, block 32)

**HISTORIC DISTRICT:** Dilworth

**TAX PARCEL NUMBER:** 12310203

**OWNER(S):** Kenneth Coe

**DETAILS OF APPROVED PROJECT:** The project is a new single family house and detached garage. The front setback is approximately 43' from the right of way. Materials include wood siding and trim, brick and copper. Windows are wood STDL windows with aluminum cladding. Height is approximately 29' from finished floor to ridge. The detached garage is one story with details to match the house. Tree removal and new landscaping are detailed on the site plan.

The project was approved by the HDC February 10, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.**

Chairman

Staff

APPROVED  
 Charlotte  
 Historic District  
 Commission  
 Certificate of Appropriateness  
 # 2015-280



1 Front Perspective  
 A2.4 NOT TO SCALE

Private Residence  
 420 South Summit Avenue  
 Charlotte, NC

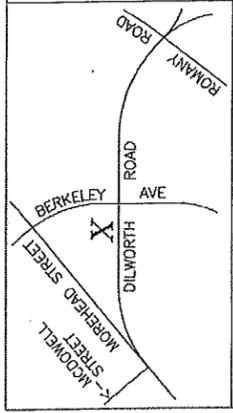
PRELIMINARY

DonDuffy  
 Architecture

301 Providence Rd  
 Charlotte, NC 28207  
 (p) 704 - 358 - 1878  
 (f) 704 - 358 - 1721  
 www.donduffyarchitecture.com

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- Date: 2/1/2016
- Revisions:
- Drawn By:
- Sheet: A2.4  
 Private Residence

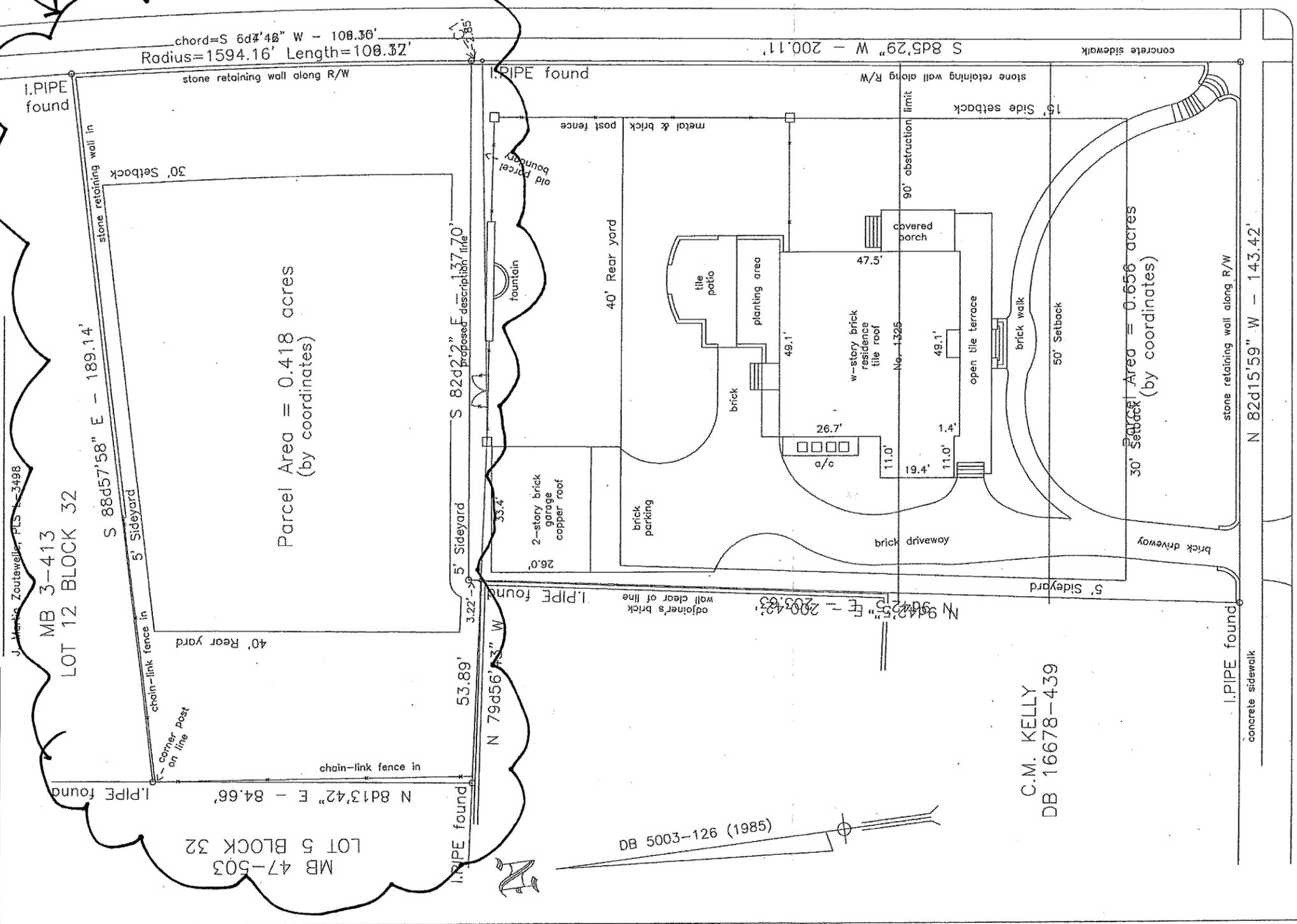


I certify that this map was drawn under my supervision from an actual survey made under my supervision (record description recorded in Deed Book or Map Book as shown); that the boundaries not surveyed are indicated as drawn from information in Deed Books and Map Books as shown; that the ratio of precision is better than 1:10,000; and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 58.1600). This 1st day of March, 2010.

This survey does not benefit from a complete examination of title.

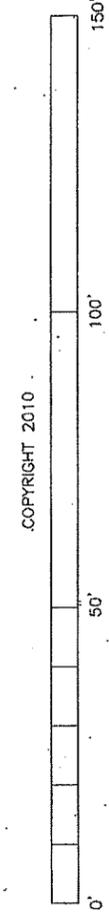
Lot intended for new 2-story single-family residence

C1: Radius=1594.16' Length=2.85'  
 chord=S 8d2'24" W - 2.85'



C.M. KELLY  
 DB 16678-439

**DILWORTH ROAD 80' Public R/W**



PHYSICAL SURVEY OF  
 LOT 1, part of LOT 2 & LOT 13 - BLOCK 32 of DILWORTH  
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C.

certified to:

**KENNETH S. COE & RUSH D. COE**  
 Description Taken From Map Book 3-10 & Deed Book 5003-126  
 Scale 1" = 30'

J. Martin Zoutewelle, PLS L-3498, 2136 Malvern Road, Charlotte, NC 28207



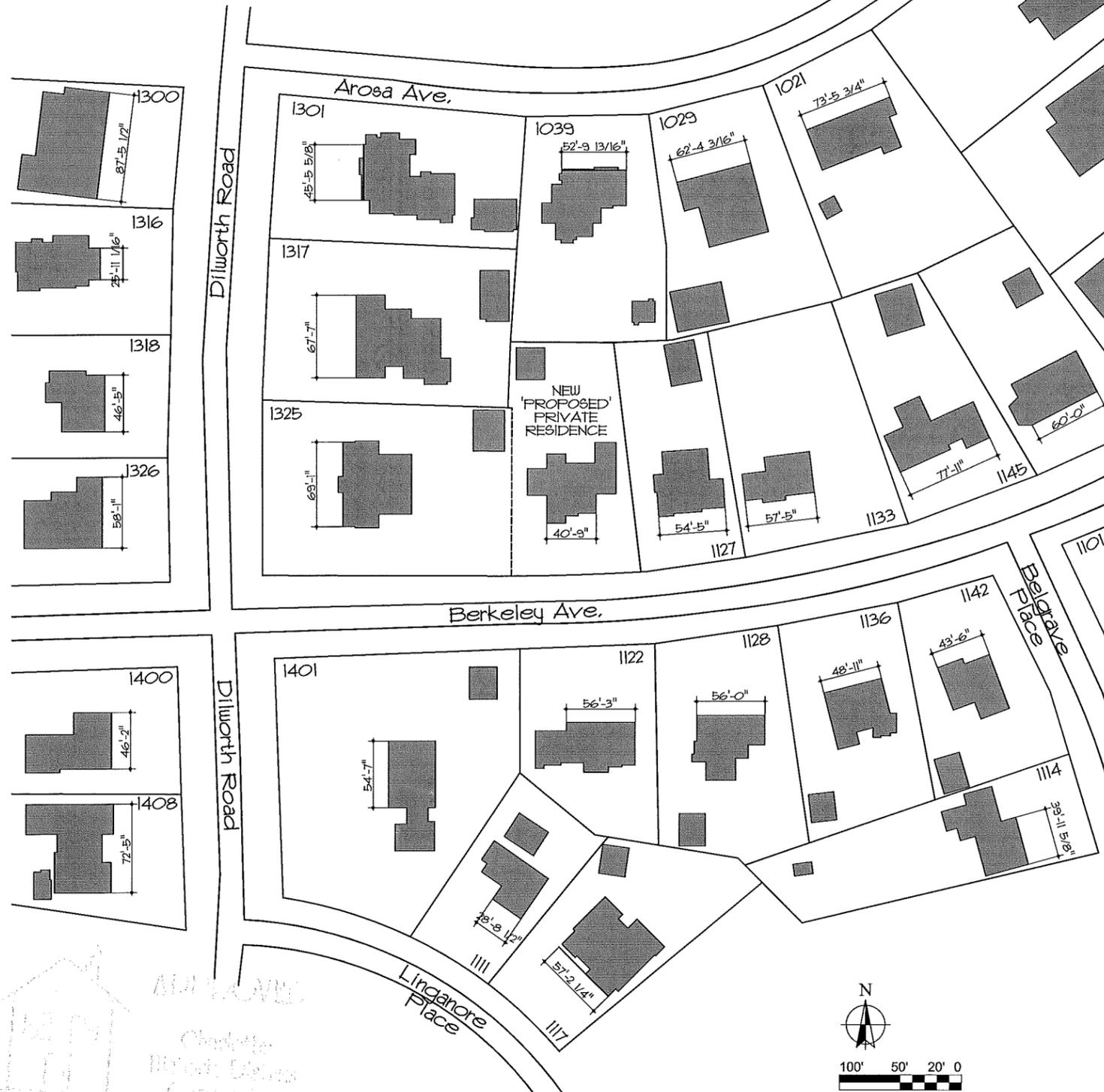
2015-250

**ALLOWABLE 'PERMEABLE' CALCULATIONS**

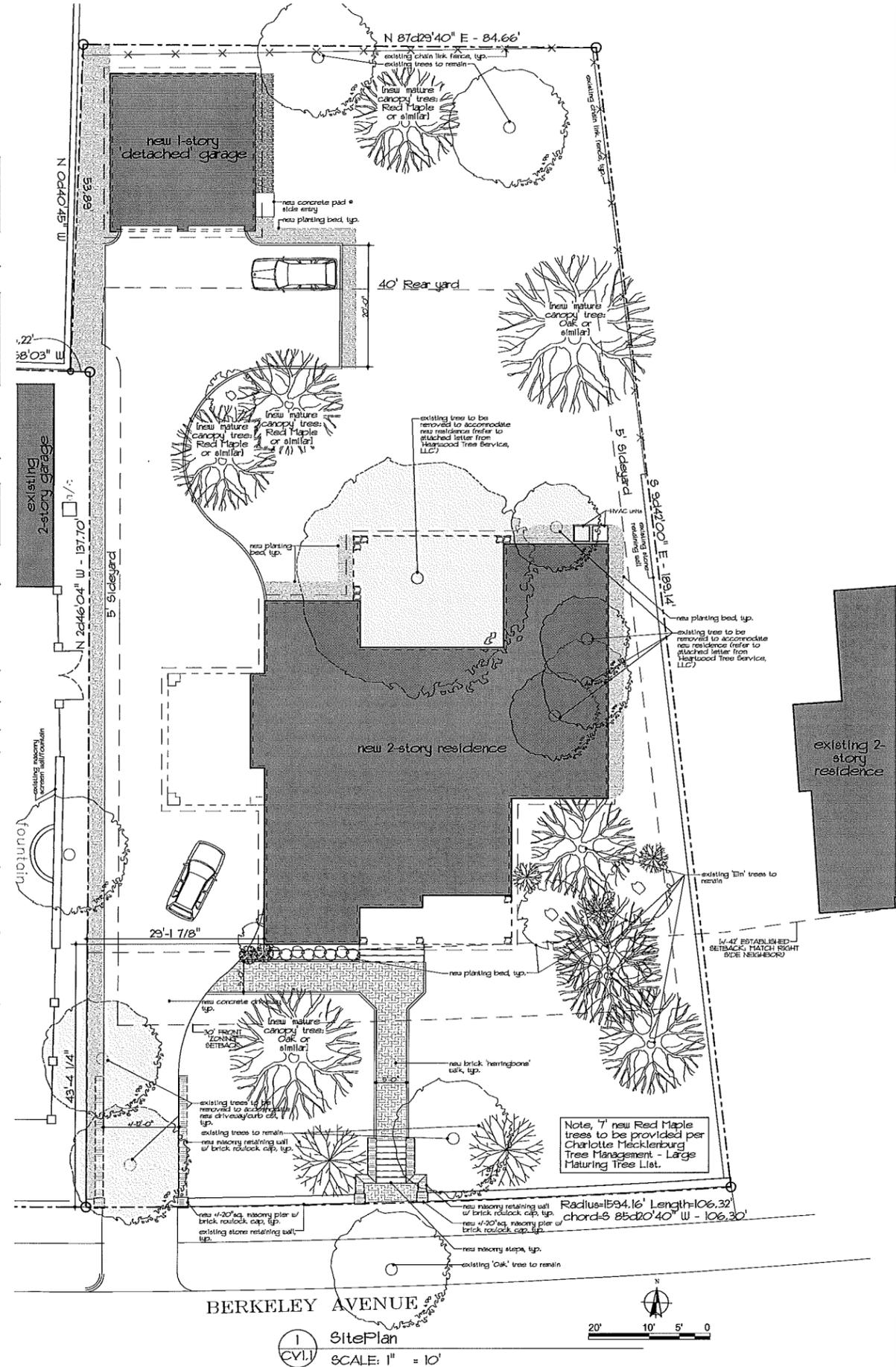
- TOTAL REAR YARD AREA OF 'NEW' HOUSE: 7,246 S.F.
- [ALLOWABLE 'PERMEABLE' AREA = 1/2 OF TOTAL REAR YARD AREA OF 'NEW' HOUSE: 3,624 S.F.]
- 'NEW' GARAGE (IMPERMEABLE AREA): 624 S.F.
- 'NEW' DRIVEWAY (IMPERMEABLE AREA): 1,302 S.F.
- TOTAL 'NEW' IMPERMEABLE AREA REAR YARD AREA OF 'NEW' HOUSE: 1,926 S.F.

**SQUARE FOOTAGE CALCULATIONS**

- FIRST FLOOR ('NEW' HOUSE HEATED S.F.): 2,667
- (SQUARE FOOTAGE CALCS TAKEN FROM EXTERIOR FACE OF MASONRY/SHEATHING)



*Handwritten notes:*  
Charlotte  
11/10/16  
Commission  
2015-250



**Coe Residence**  
Part of Lot 13 - Block 32 Dilworth Road  
Charlotte, NC

PRELIMINARY

**DonDuffy**  
Architecture

301 Providence Rd  
Charlotte, NC 28207  
(p) 704 - 358 - 1878  
(f) 704 - 358 - 1721  
www.donduffyarchitecture.com

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- Date: 2/11/2016
- Revisions:
- Drawn By: KCM
- Sheet: **CV1.1**  
Coe Residence

Coe Residence  
 Part of Lot 13 - Block 32 Dilworth Road  
 Charlotte, NC

PRELIMINARY

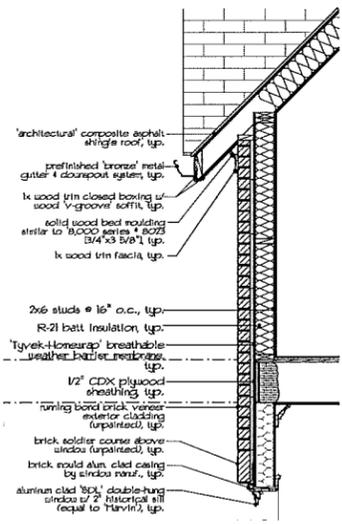
Don Duffy  
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Date: 2/1/2016  
 Revisions:  
 Drawn By: KCM  
 Sheet: A2.1  
 Coe Residence



2 Left Side Elevation  
 SCALE: 1/4" = 1'-0"



3 Section Thru Boxing  
 SCALE: 1/2" = 1'-0"

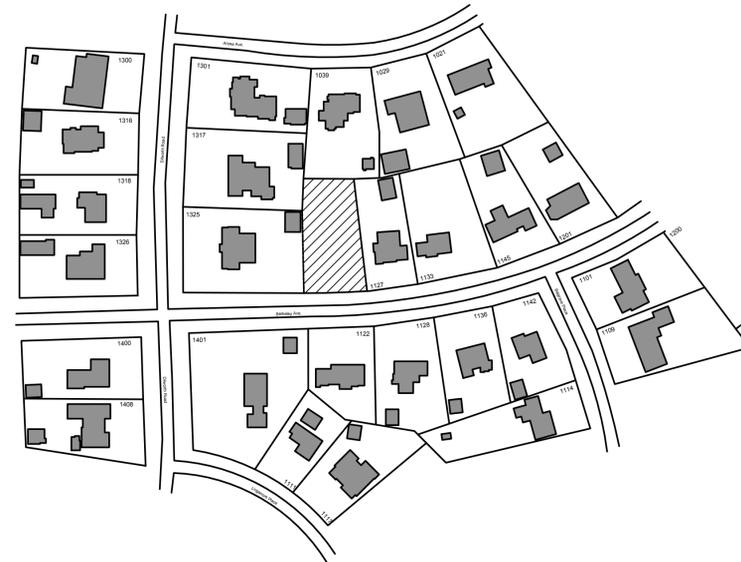


1 Front Elevation  
 SCALE: 1/4" = 1'-0"

Charlotte  
 Historic District  
 Commission  
 Certificate of Appropriateness  
 # 2015-280







VICINITY MAP

INDEX OF DRAWINGS

- A-0 Cover Sheet
- A-0.1 Street Comparison
- A-1.0 Existing Site Plan
- A-1.1 Proposed Site Plan
- A-2.0 Proposed Foundation Plan
- A-2.1 Proposed First Floor Plan
- A-2.2 Proposed Second Floor Plan
- A-2.3 Proposed Roof Plan
- A-3.0 Proposed Front Elevation
- A-3.1 Proposed Right Elevation
- A-3.2 Proposed Rear Elevation
- A-3.3 Proposed Left Elevation
- A-4.0 Wall Sections & Details
- A-4.1 Wall Sections & Details
- A-4.2 Waterproofing Detail
- A-5.0 First Floor Lighting Layout (N/A)
- A-5.1 Second Floor Lighting Layout (N/A)
- A-6.0 Garage Plans
- A-6.1 Garage Elevations



NOTE:  
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

COVER SHEET

**A-0**

OF: FOURTEEN



1325 DILWORTH ROAD



1123 BERKELEY AVENUE  
SUBJECT PROPERTY



1127 BERKELEY AVENUE



1122 BERKELEY AVENUE



1133 BERKELEY AVENUE



1128 BERKELEY AVENUE



1145 BERKELEY AVENUE



1136 BERKELEY AVENUE



1142 BERKELEY AVENUE



1201 BERKELEY AVENUE

SIMILAR CHARACTERISTICS ON BERKELEY:

1. RESIDENCES OF 1128, 1133, 1136 BERKELEY AVENUE ALL HAVE SIMILAR DECORATIVE GUTTERS, DOWNSPOUTS & COLLECTOR HEADS.
2. 1136 BERKELEY HAS A LIME WASH FINISH.
3. 1133 HAS A MIX OF MATERIALS & IS PAINTED

ADDITIONAL PROPERTIES RELEVANT TO PROJECT:

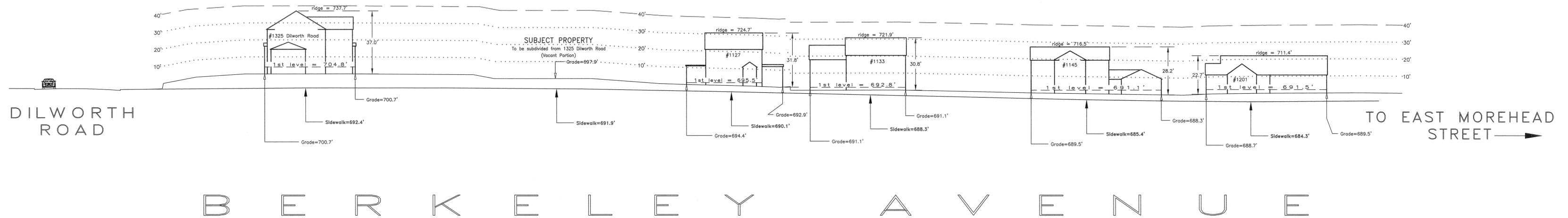
1. BERKELEY AVENUE
  - 1.1. 1001 - PAINTED BRICK
  - 1.2. 921 - ENGAGED DORMERS
  - 1.3. 900 - PAINTED BRICK
  - 1.4. 815 - PAINTED BRICK
  - 1.5. 814 - 2-STORY LAP SIDING - NO BAND
  - 1.6. 717 - 2-STORY LAP SIDING - NO BAND
  - 1.7. 700 - PAINTED BRICK
2. MT. VERNON AVENUE
  - 2.1. 1000 - LIME WASHED BRICK
  - 2.2. 918 - PAINTED BRICK
  - 2.3. 907 - 2-STORY LAP SIDING - NO BAND
  - 2.4. 808 - 2-STORY LAP SIDING - NO BAND
3. DILWORTH ROAD
  - 3.1. 1210 - PAINTED BRICK
4. E. MOREHEAD STREET
  - 4.1. 1122 - 2-STORY LAP SIDING - NO BAND

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 31<sup>st</sup> day of December, 2015.

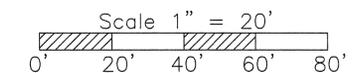


*A.G.Z.*  
Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098

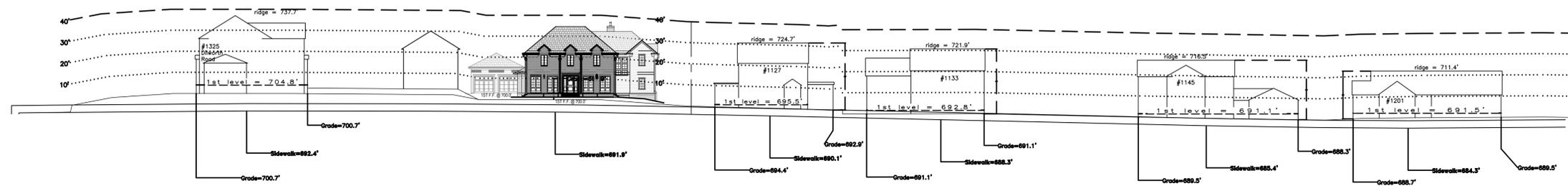


**A.G. ZOUTEWELLE**  
**SURVEYORS**  
 1418 East Fifth St. Charlotte, NC 28204  
 Phone: 704-372-9444 Fax: 704-372-9555  
 Firm Licensure Number C-1054

Copyright 2015  
 Building Heights Sketch of  
**1100 BLOCK of BERKELEY AVENUE**  
 FACING NORTH - ODD SIDE  
 CHARLOTTE, MECKLENBURG COUNTY, N.C.  
 for Charlotte-Mecklenburg Planning Department  
 December 31, 2015



General Notes:  
 1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.  
 2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



B E R K E L E Y A V E N U E

2 STREET SCAPE  
N.T.S.



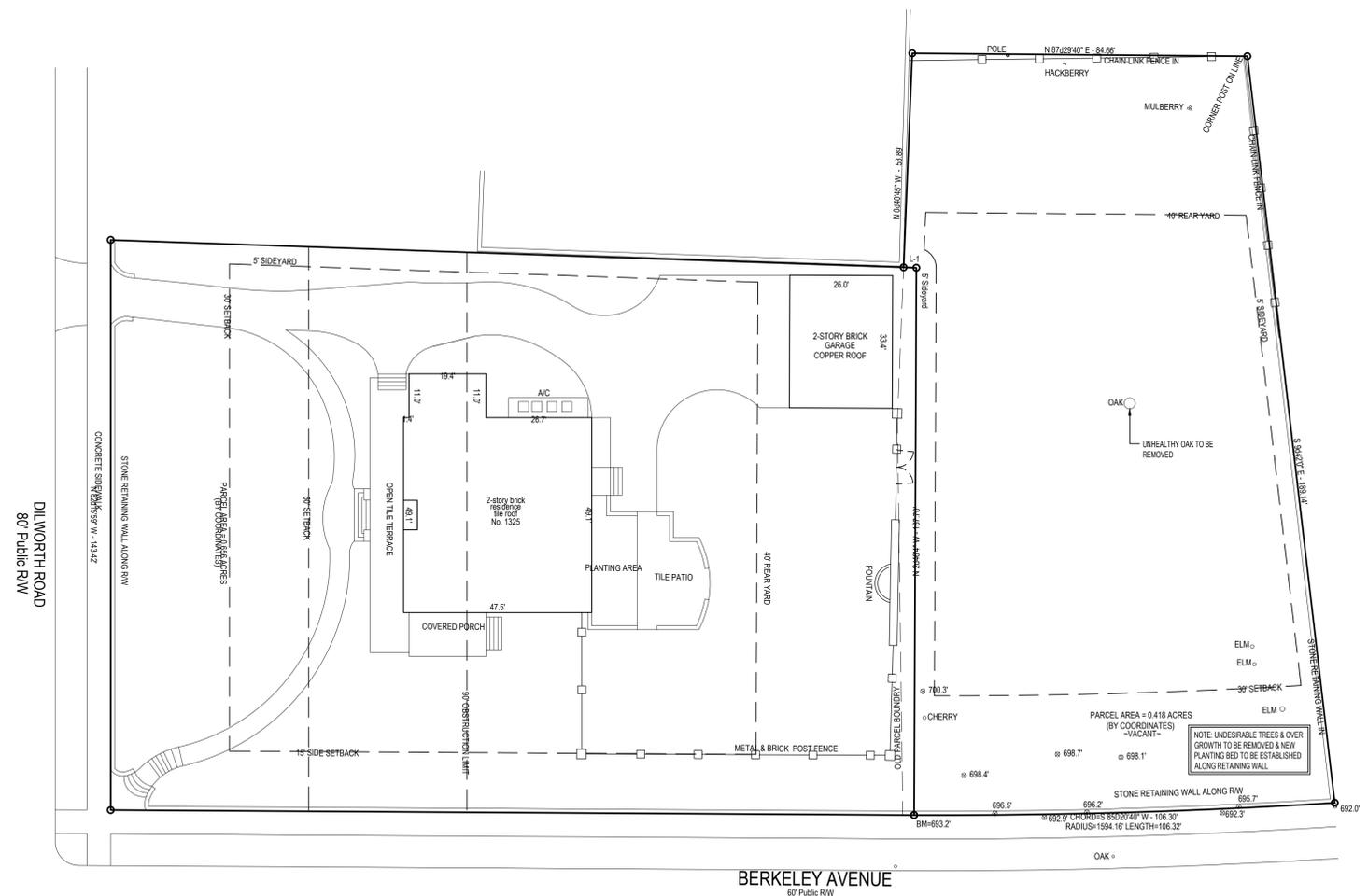
Heartwood Tree Service, LLC.  
P.O. Box 246881  
Charlotte, NC 28224  
Office: 704-525-3066  
Fax: 704-521-8831

Good Morning Rush,  
It was a pleasure seeing you and Ken last week. While I appreciate your wish to extend the life of the large Willow Oak in the center of the back lot, I could offer little more than perhaps the piece of mind that it's not a threat to your home but it could hit the garage which is no small thing. We've done pruning and fertilization to the tree over the years and my notes show that in 2009 that the tree was in decline then and I recommended not investing in it any further. It appears that this summer's drought and heat have pushed it past the tipping point. There's significant die back throughout the crown and off color leaders apparent on the back side. My recommendation would be to remove the tree before it falls on it's own and causes any damage. Feel free to call with any questions or concerns.

Thank you for your consideration,

Patrick George, Proprietor  
Heartwood Tree Service LLC.  
"Helping trees outlive humans."

LETTER PROVIDED AT FEBRUARY 10, 2016 MEETING (HDC 2015-280) WITH REGARDS TO OAK TREE AND ITS REMOVAL.



1 EXISTING SITE PLAN  
1" = 20'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-8" FROM FRAMING.
17. ALL FASCIAS TO BE 10"
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
- 1.1 EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.1.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
- 2.1 ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.1.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
- 6.1 EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- 7.1 EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
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Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17057  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED SITE PLAN

**A-1.0**  
OF: FOURTEEN



**3 PARTIAL STREETSCAPE**  
1" = 20'-0"



**4 RIGHT SIDE ELEVATION WITH GARAGE**  
1" = 20'-0"

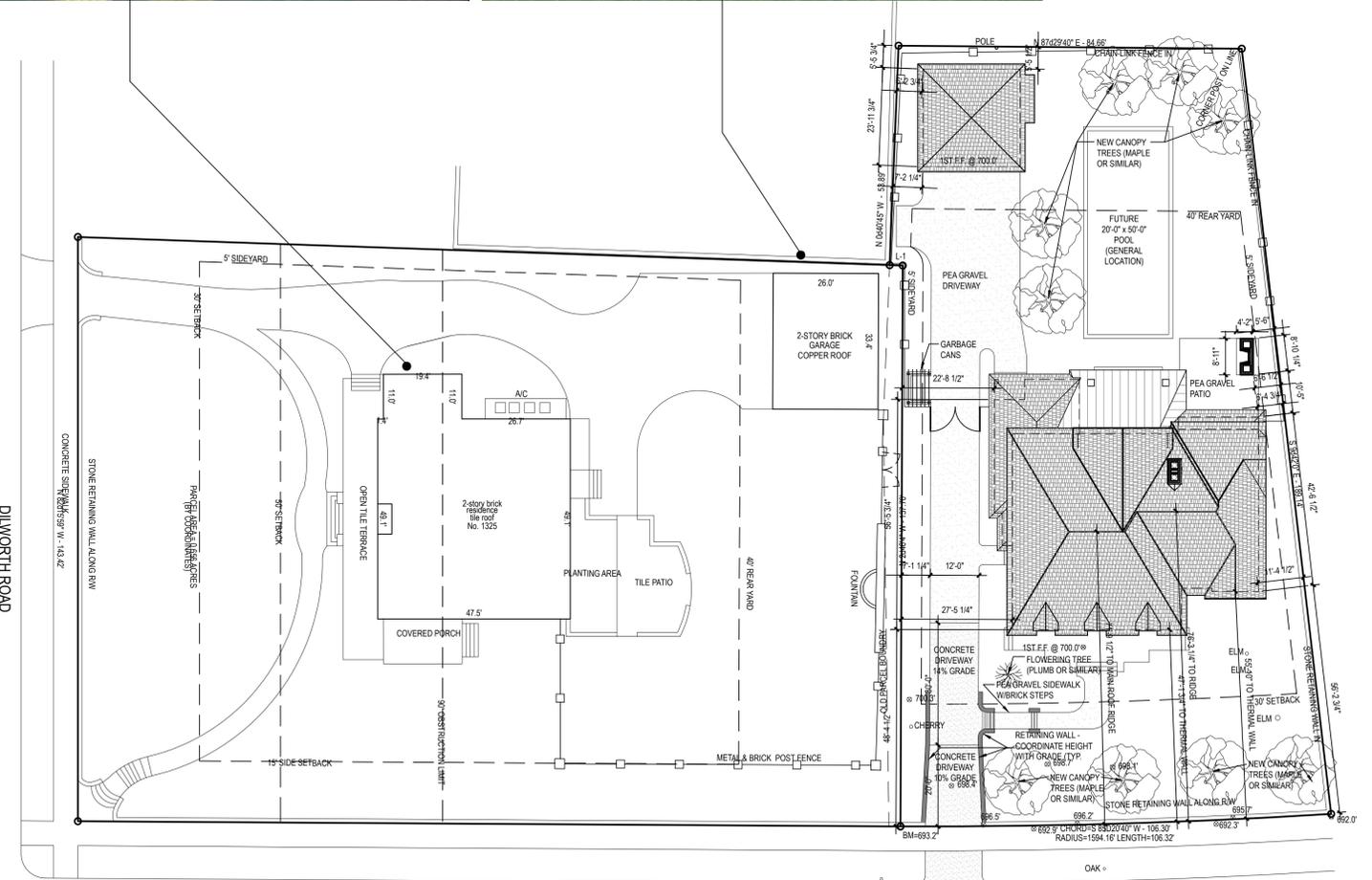
- GENERAL NOTES:**
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  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.
  - ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS OR PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 1'-8" FROM FRAMING
  - ALL FASCIAS TO BE 10"
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
  - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
  - R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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  - GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

- NOTE:**
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RESIDENCE CALCULATIONS	
TOTAL EXISTING HEATED AREA	0
TOTAL PROPOSED HEATED AREA	5,555
PROPOSED UNHEATED	
REAR PORCH	356
REAR ENTRY	38
SIDE ENTRY	17
GARAGE	554
COVERED PATIO	216
TOTAL	1,181
REAR YARD CALCULATIONS	
EXISTING REAR YARD AREA	7,319
PROPOSED HOUSE ADDITION	0
GARAGE	554
COVERED PATIO	216
TOTAL	0
TOTAL AREA	770
PERCENTAGE OF OPEN SPACE	89%
PERMEABILITY CALCULATIONS	
TOTAL AREA OF SITE	18,174
FOOTPRINT OF HOUSE	3,815
FOOTPRINT OF GARAGE	792
TOTAL AREA	0
AREA OF IMPERVIOUS PAVING	821
TOTAL AREA	5,428
PERCENTAGE OF PERMEABLE	70%

**2 AREA CALCULATIONS**



**1 PROPOSED SITE PLAN**  
1" = 20'-0"

**NOTE:**

EXPOSED AGGREGATE: [Symbol]  
CONCRETE: [Symbol]  
PEA GRAVEL: [Symbol]  
RETAINING WALL: [Symbol]

**KEY:**  
WALL TO BE REMOVED: [Symbol]  
ITEM TO BE REMOVED: [Symbol]

**LEGEND:**  
BOUNDARY LINE: [Symbol]  
OVERHEAD UTILITIES: [Symbol]  
FENCE (TYPE NOTED): [Symbol]  
UTILITY POLE: [Symbol]  
RW: RIGHT OF WAY  
ESP: EDGE OF PAVEMENT  
CL: CENTERLINE

**NORTH**

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
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- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:**
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
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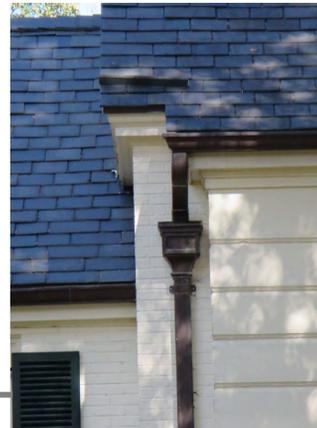
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④ 1133 BERKELEY AVENUE



③ 921 BERKELEY AVENUE



② 814 BERKELEY AVENUE



GRAPHIC SCALE 1/4" = 1'-0"



① PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



2 MODEL VIEW FROM SIDEWALK

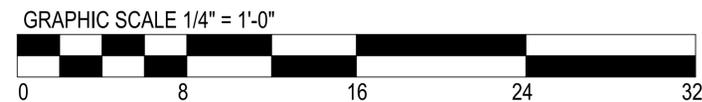
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1 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"

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Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED RIGHT ELEVATION  
**A-3.1**  
OF: FOURTEEN

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
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B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
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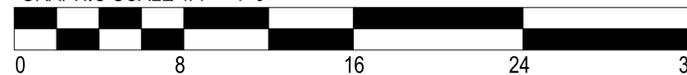
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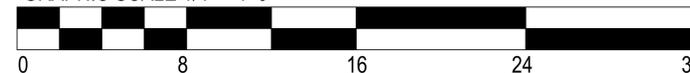
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- R311.7.7 HANDRAILS** - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
  - R311.7.7.1 HANDRAIL HEIGHT** - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
  - R312.2 GUARD HEIGHT** - GUARDS SHALL NOT BE LESS THAN 36 INCHES
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.3 OPENING LIMITATIONS** - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4  $\frac{1}{2}$  DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

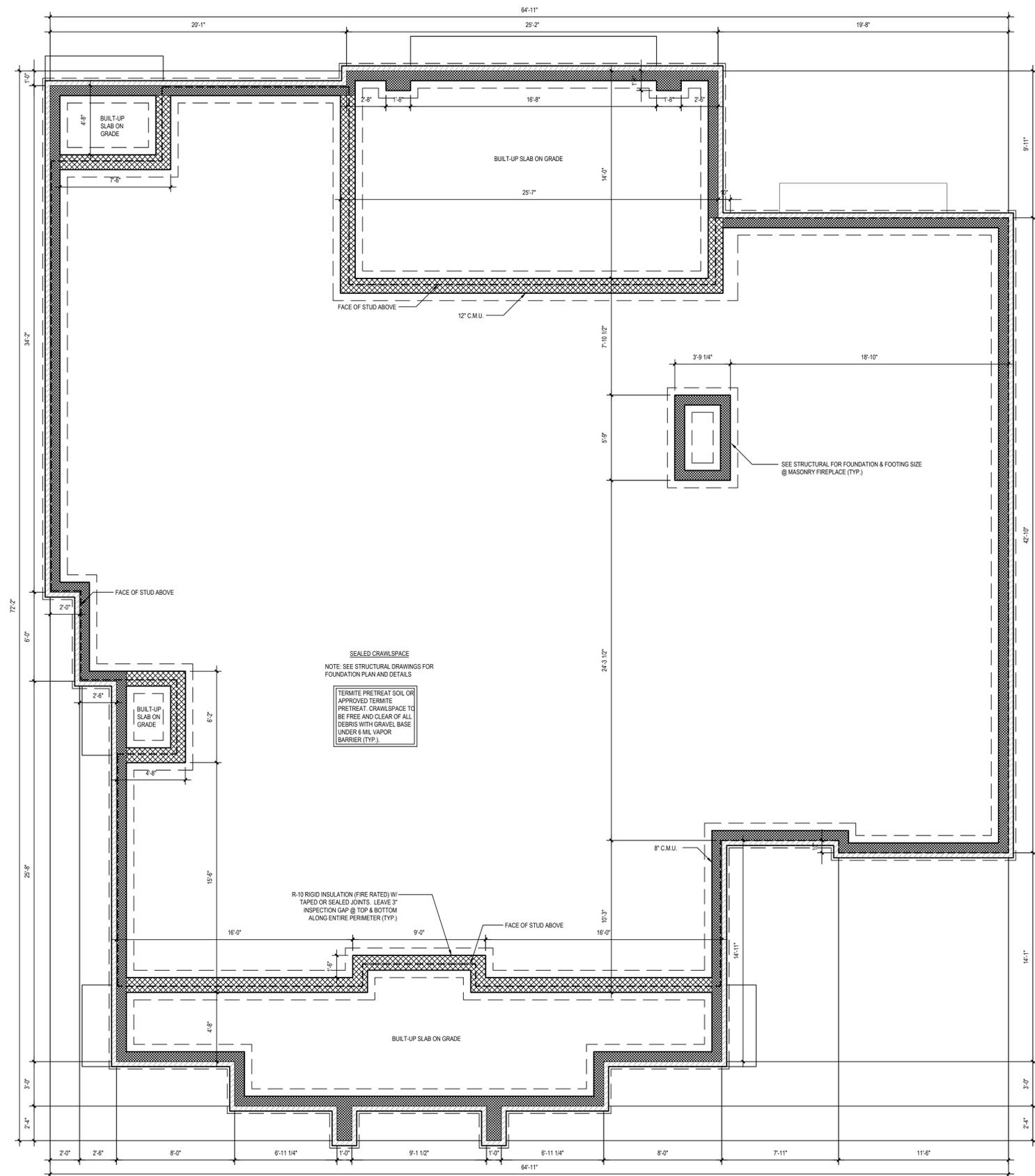
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GRAPHIC SCALE 1/4" = 1'-0"



1 PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



**SEALED CRAWLSPACE**  
NOTE: SEE STRUCTURAL DRAWINGS FOR FOUNDATION PLAN AND DETAILS

TERMITE PRETREAT SOIL OR APPROVED TERMITE PRETREAT. CRAWLSPACE TO BE FREE AND CLEAR OF ALL DEBRIS WITH GRAVEL BASE UNDER 6 MIL VAPOR BARRIER (TYP.)

R-10 RIGID INSULATION (FIRE RATED) WITH TAPED OR SEALED JOINTS. LEAVE 3\"/>

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8\"/>**
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36\"/>
  - ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29\"/>
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 1'-8\"/>
  - ALL FASCIAS TO BE 10\"/>
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT - SEE PLANS FOR CLEAR WIDTH.**
    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.**
    - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
  - R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.**
  - R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.**
  - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.**
  - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES**
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
  - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.**
    - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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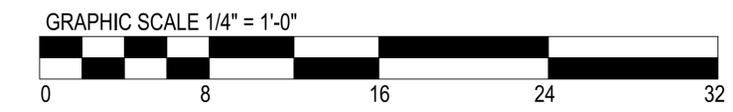
**FLOOR FINISH KEY:**

BLUE STONE		
TILE		
CONCRETE		
WOOD		

**NOTE:**

C.M.U.	
BRICK VENEER	
STUD WALL	
6\"/>	

NORTH



**1** PROPOSED FOUNDATION PLAN  
1/4" = 1'-0"

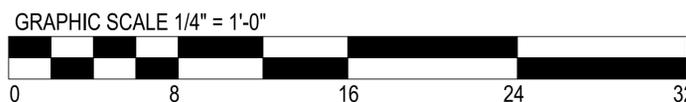
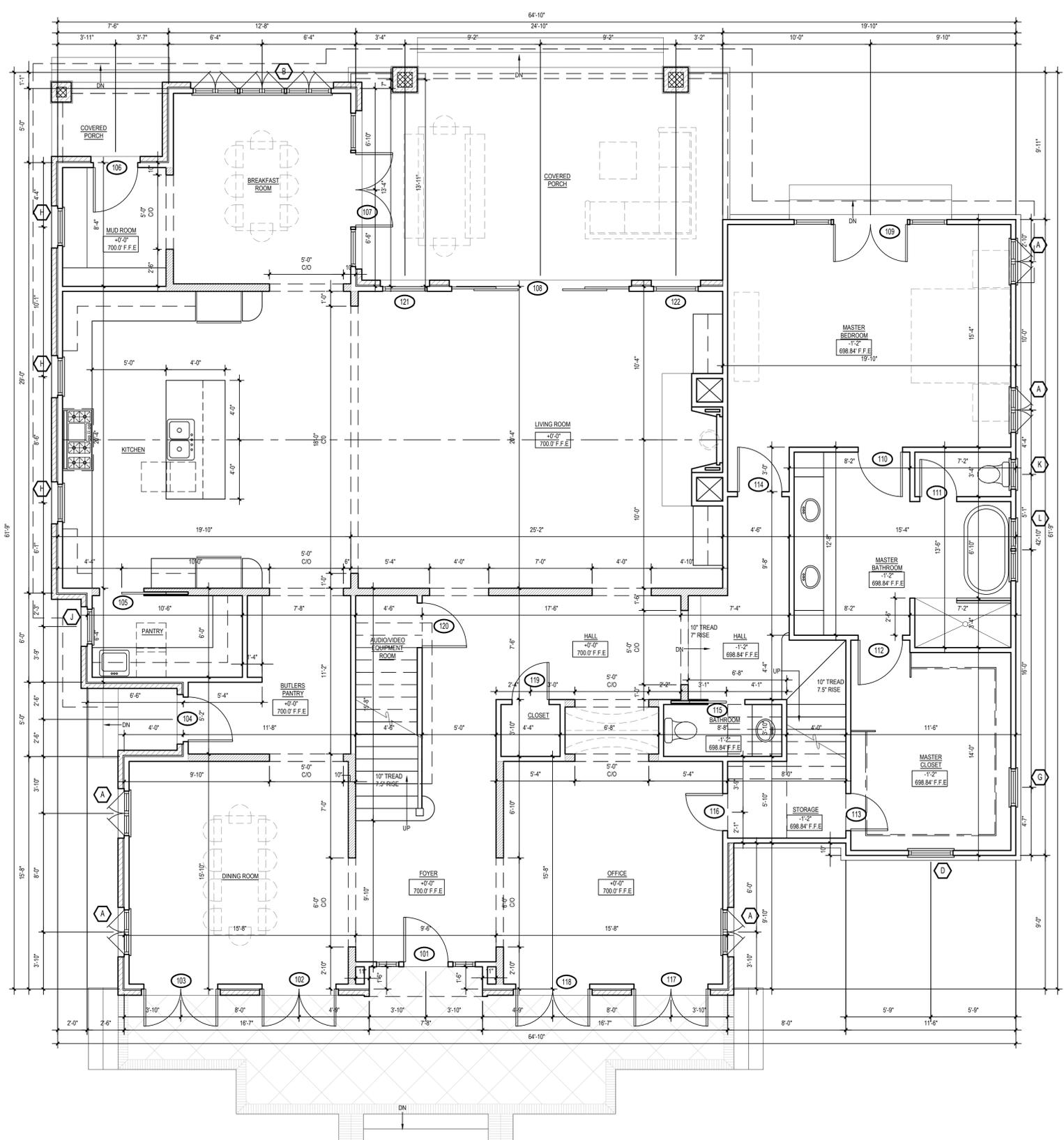
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Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED FOUNDATION PLAN  
**A-2.0**  
OF: FOURTEEN



**1** PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-2" (GUEST WING) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
  - WINDOW SIZING:
    - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
    - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
    - M.E. = MATCH EXISTING
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	3'-0" x 8'-0" WITH 18" SIDELIGHTS	FOYER
102	PR 2'-6" x 8'-0"	DINING ROOM EXTERIOR
103	PR 2'-6" x 8'-0"	DINING ROOM EXTERIOR
104	3'-0" x 8'-0"	BUTLERS PANTRY EXTERIOR
105	3'-0" x 8'-0" POCKET DOOR	PANTRY
106	3'-0" x 8'-0"	MUD ROOM EXTERIOR
107	PR 2'-6" x 8'-0" WITH 30" SIDELIGHT	BREAKFAST ROOM EXTERIOR
108	12'-0" x 8'-0" SLIDER	LIVING ROOM EXTERIOR
109	PR 2'-6" x 8'-0" WITH 30" SIDELIGHT	MASTER BEDROOM EXTERIOR
110	3'-0" x 8'-0"	MASTER BATHROOM
111	2'-6" x 8'-0"	MASTER BATHROOM
112	3'-0" x 8'-0"	MASTER CLOSET
113	2'-6" x BUILD TO FIT	STORAGE
114	3'-0" x 8'-0"	MASTER BEDROOM
115	2'-6" x 8'-0" POCKET	BATHROOM
116	2'-6" x BUILD TO FIT	STORAGE
117	PR 2'-6" x 8'-0"	OFFICE EXTERIOR
118	PR 2'-6" x 8'-0"	OFFICE EXTERIOR
119	2'-6" x 8'-0"	CLOSET
120	3'-0" x 8'-0"	AUDIO/VIDEO EQUIPMENT ROOM
121	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM
122	3'-0" x 8'-0" DOOR BLANK	LIVING ROOM

- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
  - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
  - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
  - FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
  - ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
  - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
  - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".**
  - ALL RISERS TO BE SOLID.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 29" IN HEIGHT.
  - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
  - ALL EAVES TO BE 1'-8" FROM FRAMING.
  - ALL FASCIAS TO BE 10"
  - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
  - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.**
    - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
  - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.**
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**FLOOR FINISH KEY:**

BLUE STONE		
TILE		
CONCRETE		
WOOD		

NOTE:

C.M.U.		
BRICK VENEER		
STUD WALL		
6" WALL		



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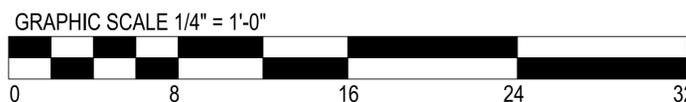
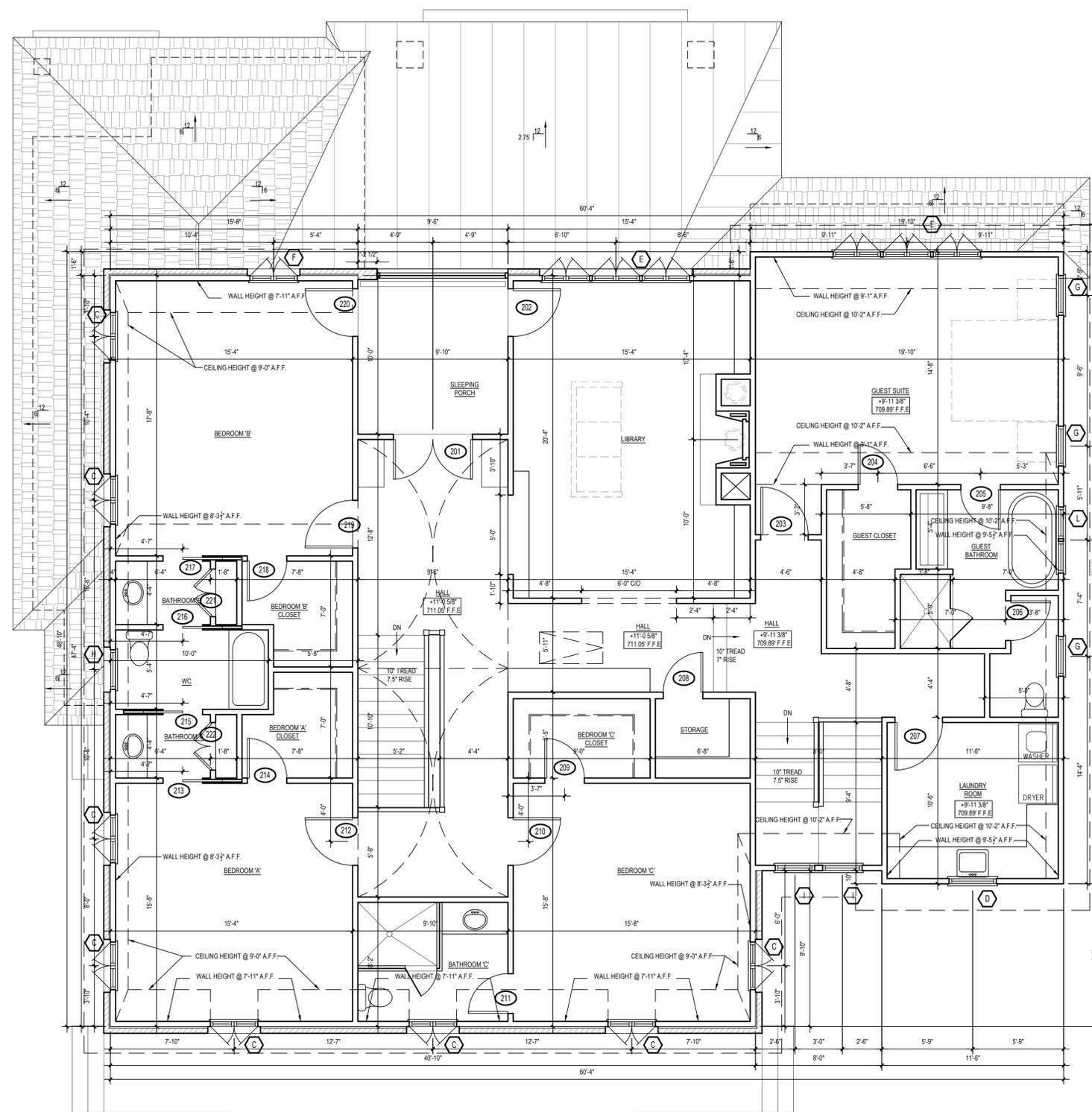
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HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED 1ST FLOOR PLAN  
**A-2.1**  
OF: FOURTEEN



**1** PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
B	TR 3'-0" X 6'-0"	8'-0"	FRENCH CASEMENT
C	3'-0" X 5'-0"	7'-0"	FRENCH CASEMENT
D	3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
E	TR 3'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-0" (LIBRARY)	FRENCH CASEMENT
F	3'-0" X 3'-6"	7'-0"	FRENCH CASEMENT
G	2'-6" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT
H	2'-6" X 4'-6"	8'-0" (1ST FLOOR) 7'-0" (2ND FLOOR)	CASEMENT
I	2'-6" X 2'-6"	SEE ELEVATION	FIXED
J	2'-4" X 4'-6"	8'-0" (1ST FLOOR)	CASEMENT
K	2'-0" X 5'-0"	8'-0"	CASEMENT
L	PR 2'-0" X 5'-0"	8'-0" (1ST FLOOR) 8'-2" (GUEST WING)	CASEMENT

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
  - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. **MUST** BE TEMPERED.
  - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
- WINDOW SIZING:**
- NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
  - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
  - M.E. = MATCH EXISTING.
  - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	PR 2'-6" x 7'-0"	HALL EXTERIOR
202	3'-0" x 7'-0"	LIBRARY EXTERIOR
203	3'-0" x 7'-0"	GUEST SUITE
204	2'-6" x 7'-0"	GUEST SUITE
205	2'-6" x 7'-0"	GUEST SUITE
206	2'-6" x 7'-0"	GUEST BATHROOM
207	3'-0" x 7'-0"	LAUNDRY
208	2'-6" x 7'-0"	STORAGE
209	2'-6" x 7'-0"	BEDROOM 'C' CLOSET
210	3'-6" x 7'-0"	BEDROOM 'C'
211	2'-6" x 7'-0"	BATHROOM 'C'
212	3'-0" x 7'-0"	BEDROOM 'A'
213	2'-6" x 7'-0"	BATHROOM 'A'
214	2'-6" x 7'-0"	BEDROOM 'A' CLOSET
215	2'-6" x 7'-0"	WC
216	2'-6" x 7'-0"	WC
217	2'-6" x 7'-0"	BATHROOM 'B'
218	2'-6" x 7'-0"	BEDROOM 'B' CLOSET
219	3'-0" x 7'-0"	BEDROOM 'B'
220	3'-0" x 7'-0"	BEDROOM 'B' EXTERIOR
221	PR 3'-0" x 7'-0"	BATHROOM 'B'
222	PR 3'-0" x 7'-0"	BATHROOM 'A'

- GENERAL NOTES:**
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  - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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  - FIRE BLOCK @ FLOOR & CEILING PER CODE.**
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  - ALL RISERS TO BE SQUARED.
  - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
  - RAILS TO BE 36" IN HEIGHT.
  - ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
  - NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 29" IN HEIGHT.
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**FLOOR FINISH KEY:**

BLUE STONE		
TILE		
CONCRETE		
WOOD		

- NOTE:
- |              |  |  |
|--------------|--|--|
| C.M.U.       |  |  |
| BRICK VENEER |  |  |
| STUD WALL    |  |  |
| 6" WALL      |  |  |
- NORTH



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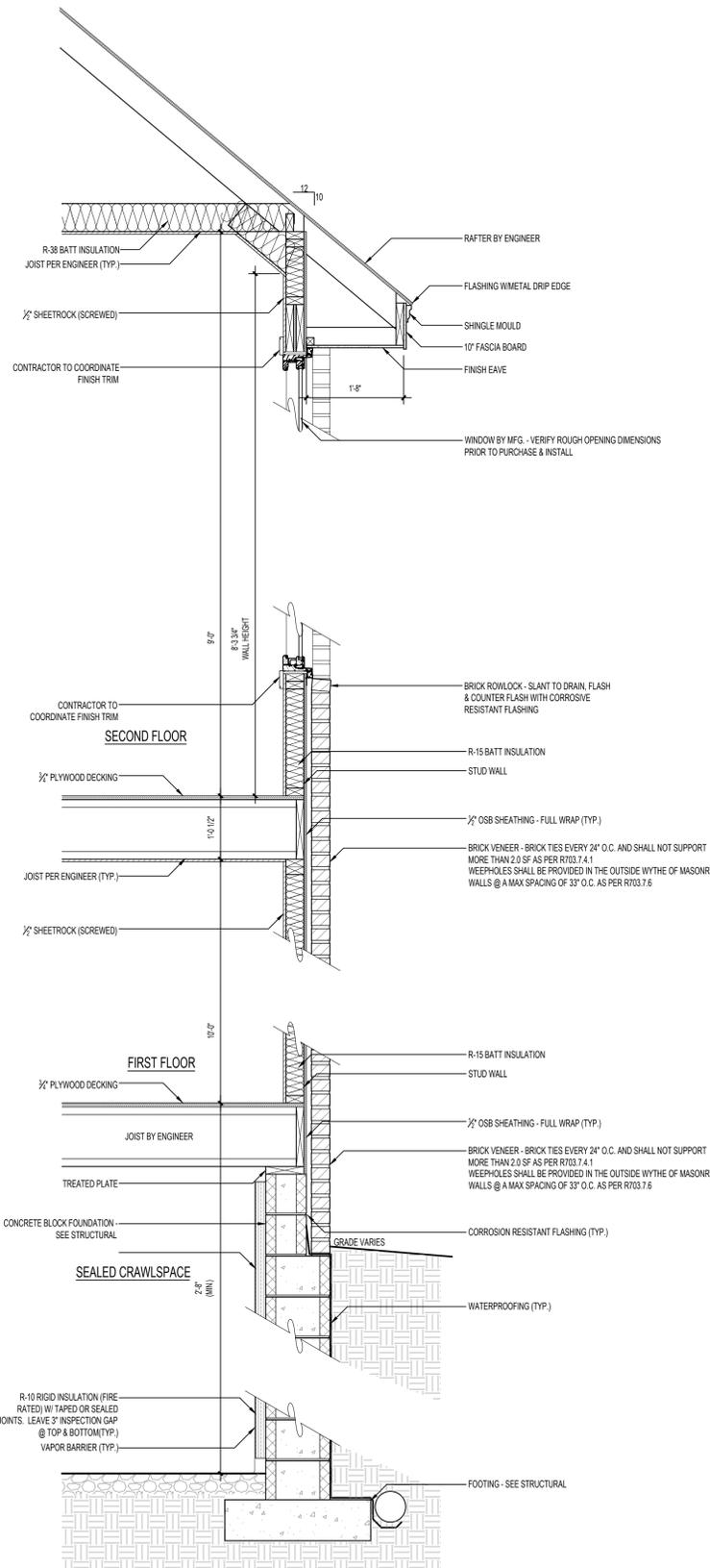
Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

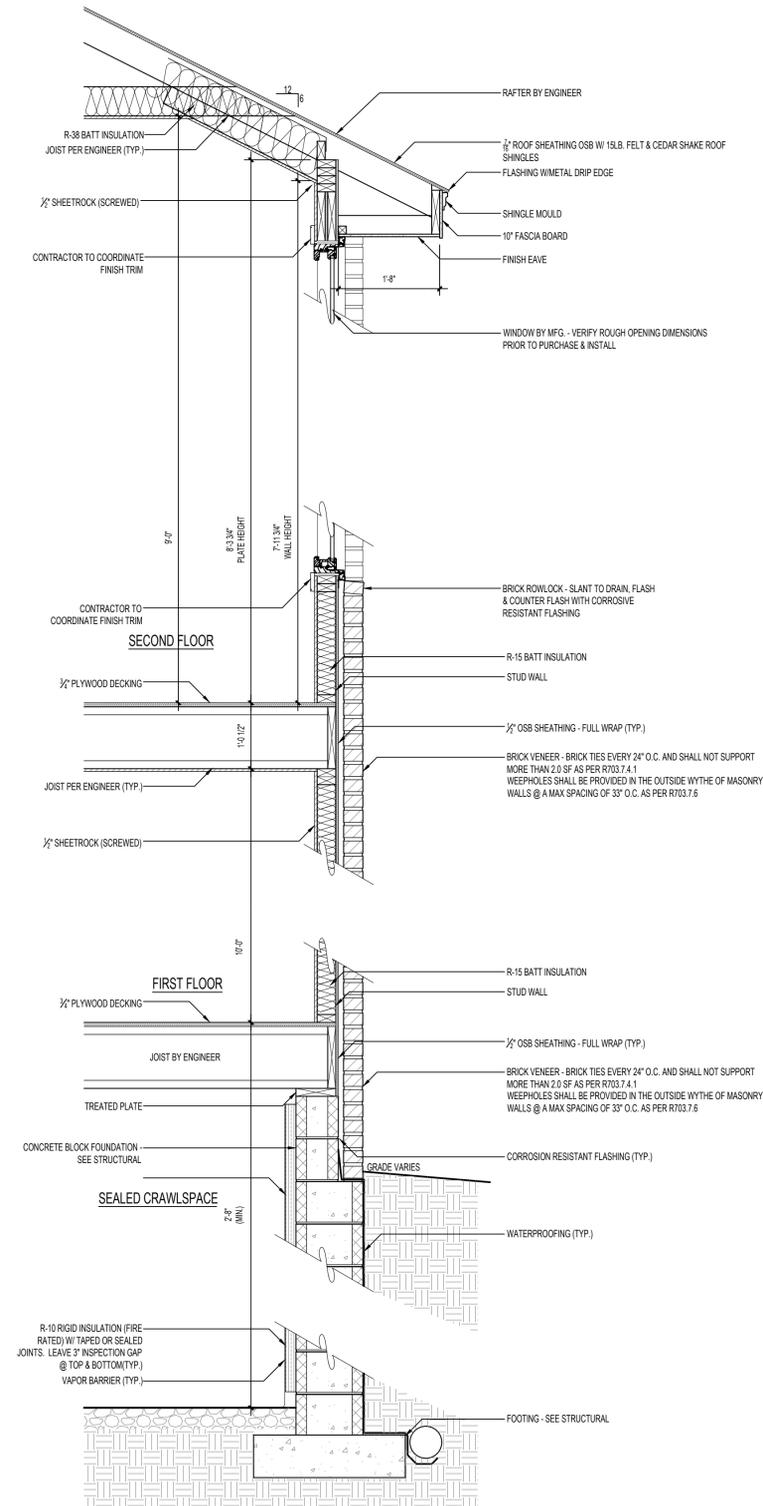
PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED 2ND FLOOR PLAN  
**A-2.2**  
OF: FOURTEEN





1 WALL SECTION @ LEFT & RIGHT  
3/4" = 1'-0"



1 WALL SECTION @ FRONT & REAR  
3/4" = 1'-0"

**GENERAL NOTES:**

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF C.M.U FOUNDATION WALL.
6. FIRE BLOCK @ FLOOR & CEILING PER CODE.
7. ALL DIMENSIONS ARE TO FACE OF STUD & C.M.U. FOUNDATION.
8. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
9. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
10. ALL RISERS TO BE SOLID.
11. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
12. RAILS TO BE 36" IN HEIGHT.
13. ALL EXTERIOR COLUMNS TO BE BRICK SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
14. NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 29" IN HEIGHT.
15. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
16. ALL EAVES TO BE 1'-8" FROM FRAMING.
17. ALL FASCIAS TO BE 10"
18. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
19. CONTINUOUS EAVE VENT U.N.O.

**STAIRS, RAILING & GUARD NOTES:**

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
- 1.1 EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
  - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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Designed Exclusively For the:

**BARTIS RESIDENCE**

1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

SECTIONS & DETAILS

**A-4.0**

OF: FOURTEEN

**GENERAL NOTES:**

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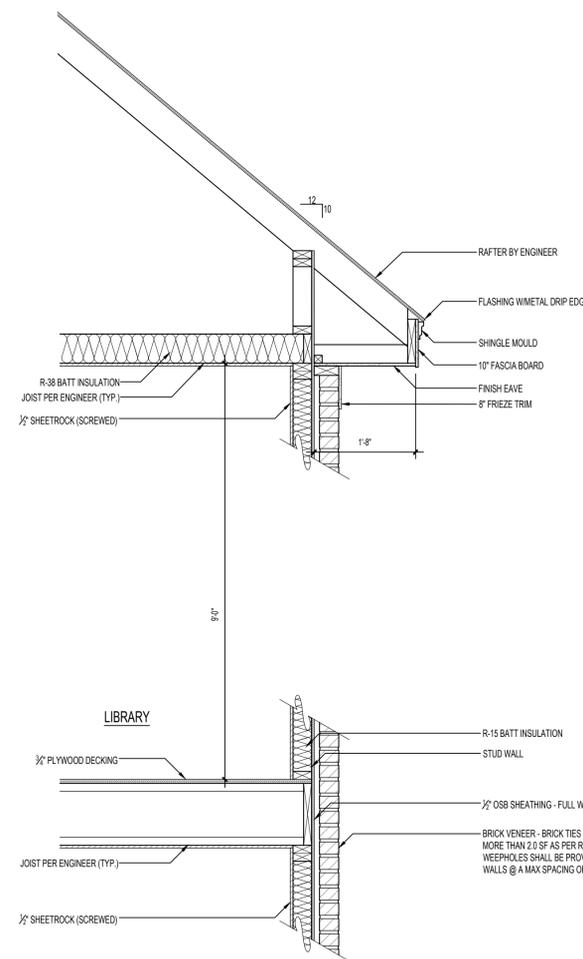
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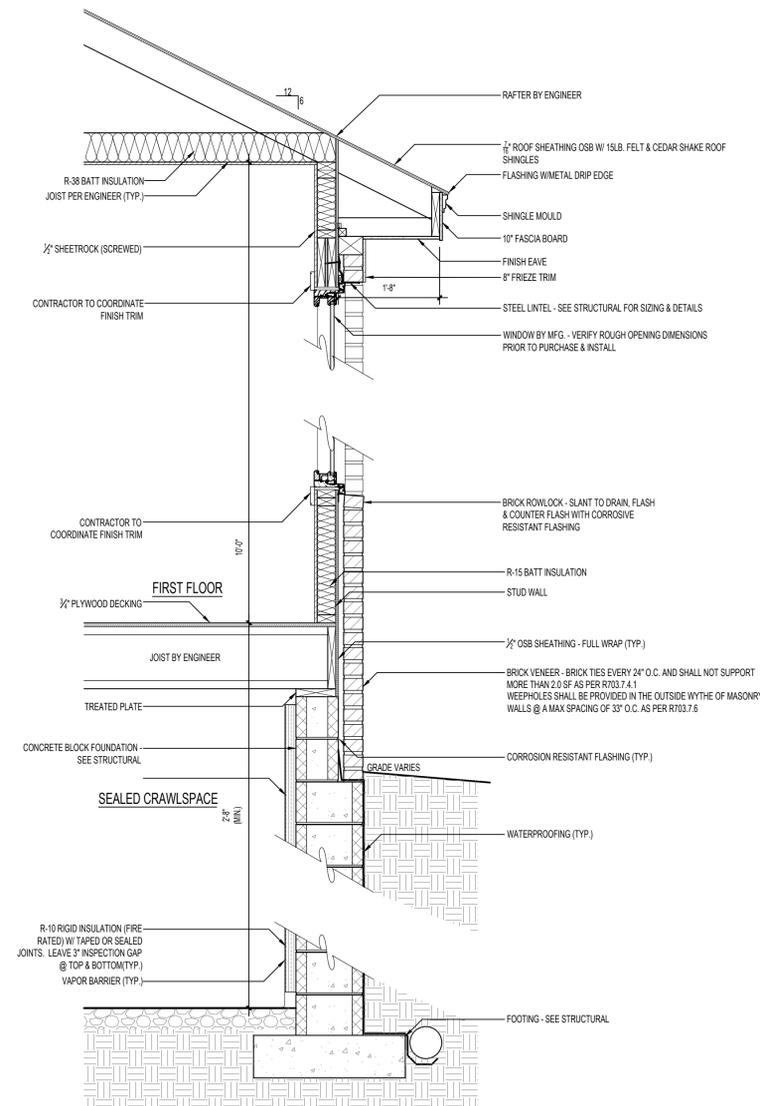
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2 WALL SECTION @ LIBRARY  
3/4" = 1'-0"



1 WALL SECTION @ KITCHEN  
3/4" = 1'-0"

Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17067  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

SECTIONS & DETAILS

**A-4.1**

OF: FOURTEEN

**GENERAL NOTES:**

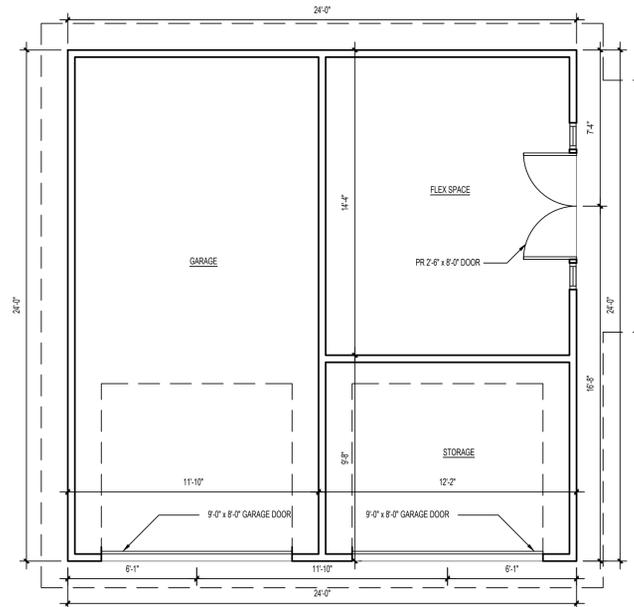
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**STAIRS, RAILING & GUARD NOTES:**

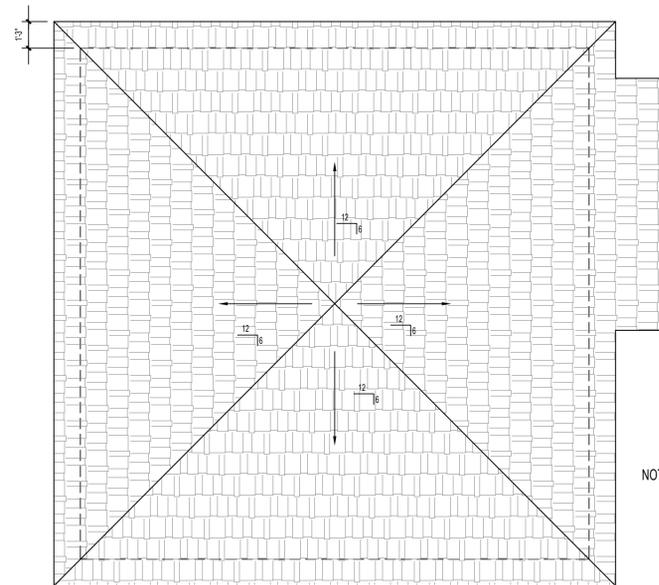
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**NOTE:**

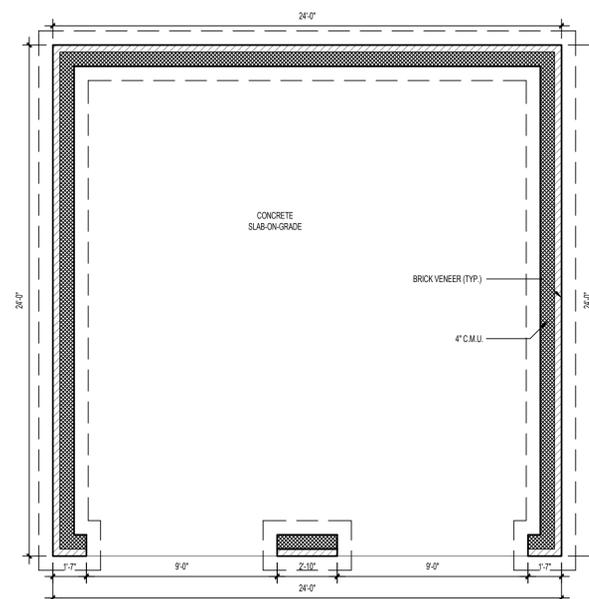
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**2** PROPOSED GARAGE PLAN  
1/4" = 1'-0"



**3** PROPOSED GARAGE PLAN  
1/4" = 1'-0"



**1** PROPOSED GARAGE FOUNDATION PLAN  
1/4" = 1'-0"



**NOTE:**

- 8" C.M.U. (hatched pattern)
- BRICK VENEER (diagonal lines)
- STUD WALL (solid line)

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Designed Exclusively For the:  
**BARTIS RESIDENCE**  
1123 Berkeley Ave, Charlotte, NC 28204

HDC MEETING DATE:  
NOVEMBER 2017

PROJECT #: 17057  
ISSUED: 20 OCTOBER 2017  
REVISIONS:

PROPOSED GARAGE PLANS

**A-6.0**

OF: FOURTEEN

**GENERAL NOTES:**

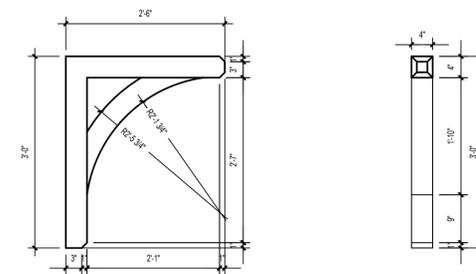
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**STAIRS, RAILING & GUARD NOTES:**

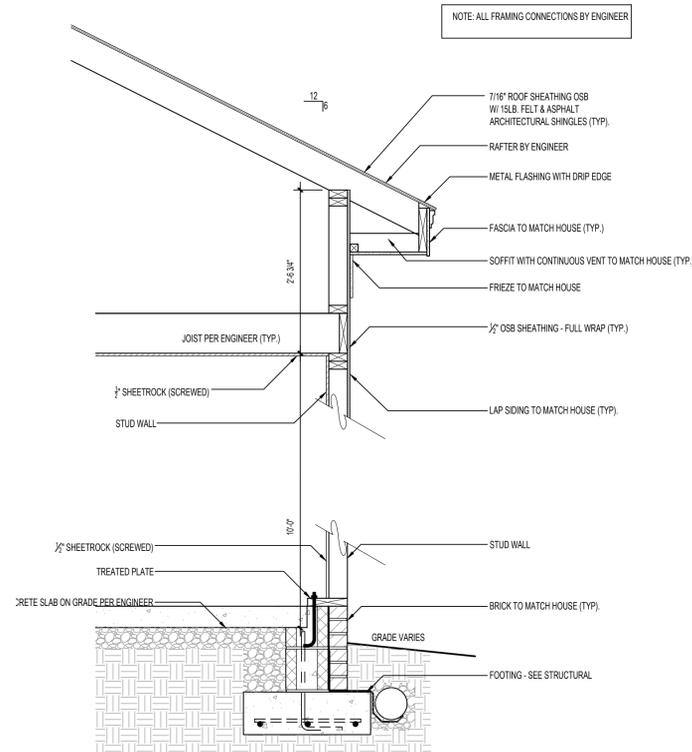
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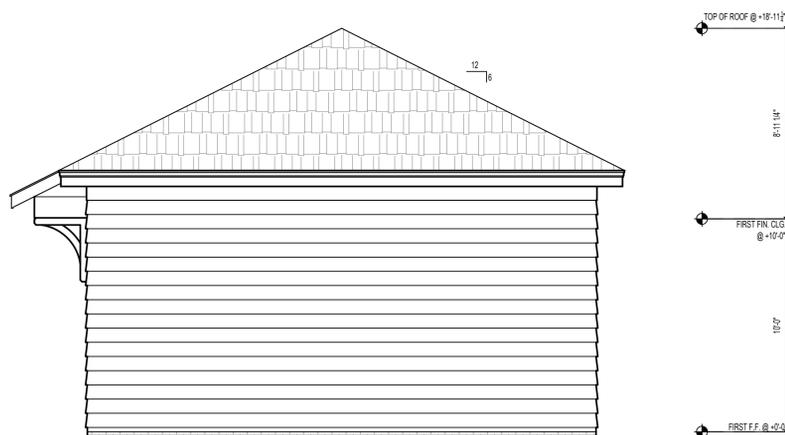
**4 BRACKET DETAIL**  
3/4" = 1'-0"



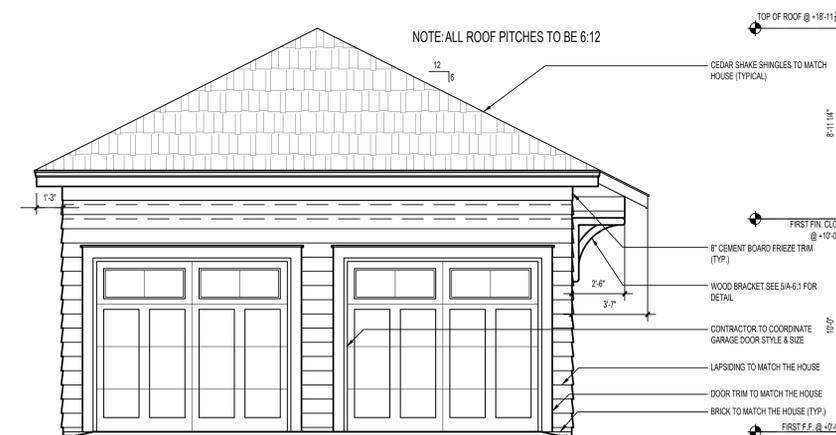
**4 TYPICAL WALL SECTION**  
3/4" = 1'-0"



**3 PROPOSED RIGHT ELEVATION**  
1/4" = 1'-0"



**2 PROPOSED REAR ELEVATION**  
1/4" = 1'-0"



**1 PROPOSED FRONT ELEVATION**  
1/4" = 1'-0"

NOTE: ALL FRAMING CONNECTIONS BY ENGINEER

NOTE: ALL ROOF PITCHES TO BE 6:12

1123 BERKELEY AVE

HDC OCTOBER 30, 2017

EXTERIOR EXAMPLES OF **REQUESTED** LIME WASHED BRICK, CEDAR SHAKE ROOF, ½ ROUND COPPER GUTTERS AND ROUND DOWNSPOUTS.



BASE COLOR OF BRICK TO BE OLD LOUISVILLE TUDOR



PUSH OUT FRENCH CASEMENT (PAINTED)



Style #TDL88  
8-lite Double

8 LITE  $\frac{3}{4}$  FRENCH DOORS (PAINTED)



CEDAR SHAKE ROOF

