
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 605 Berkeley Avenue

SUMMARY OF REQUEST: Additions

APPLICANT: John Fryday

Details of Proposed Request

Existing Conditions

The existing structure is a one story ranch style home constructed in 1942. Exterior features include a brick façade, twin dormers and a small front porch/stoop. Adjacent houses are 1 and 1.5 stories.

Project

The project is the replacement of the two front dormers and addition of a third in the center, front porch columns, gabled porch roof and rear addition including a deck. Materials include wood siding, wood columns, wood windows and trim, and new brick soldier courses and sills. The front porch dimensions would remain.

Design Guidelines – Porches, page 6.14

1. Include a porch in the design of new residential construction when the majority of surrounding existing houses also contain a porch.
2. Design new porches to complement the size, proportion, placement and rhythm of existing historic porches within its context.
3. Ensure that the new porch is compatible with the overall architectural vocabulary/style of the new building.
4. Porches shall have a minimum depth of 8 feet.
5. Substitute materials are not allowed for front porch floors. Frame porches shall have tongue and groove floors laid perpendicular to front elevation of house.

Design Guidelines - Additions, page 7.2

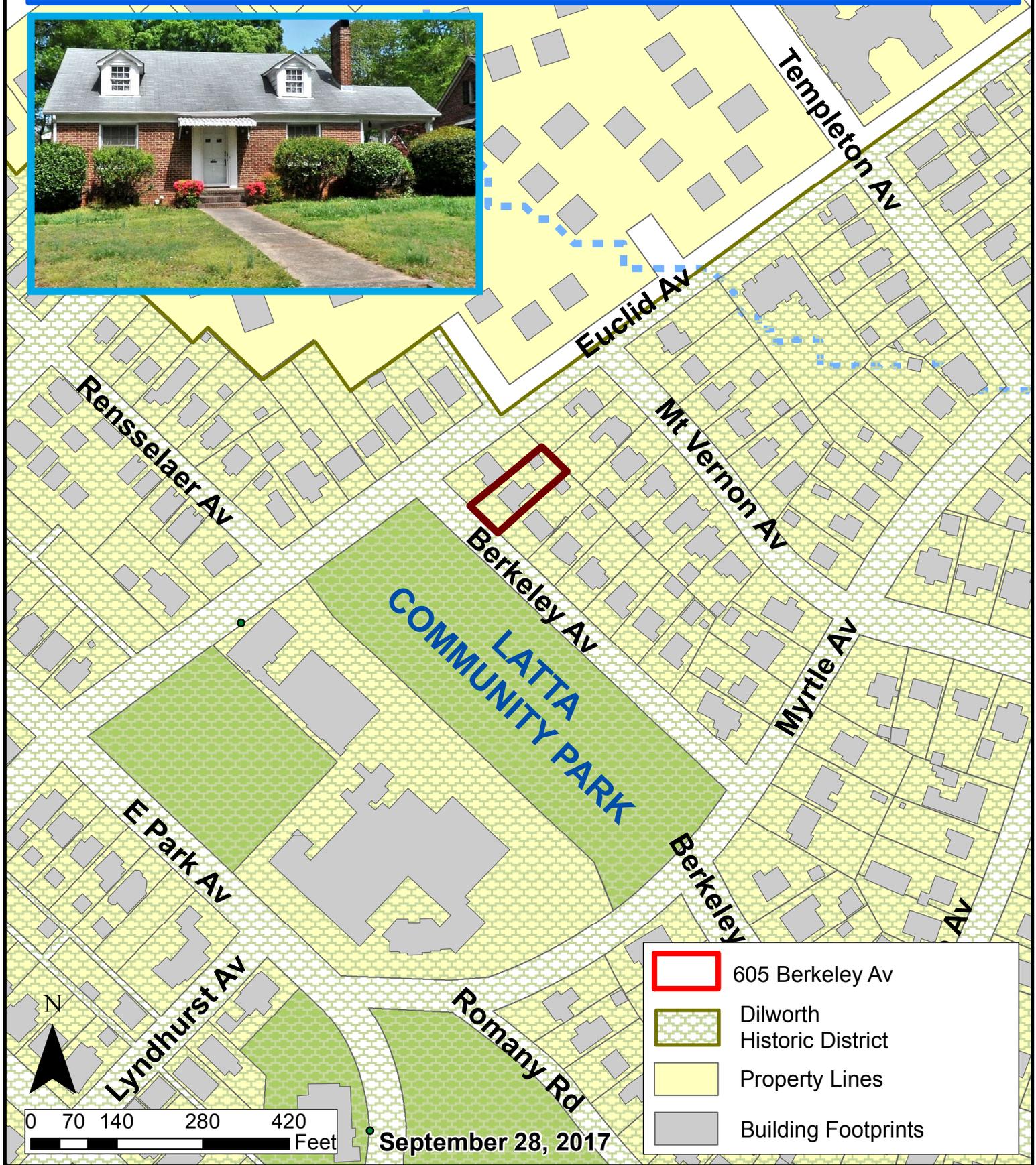
1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street façade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

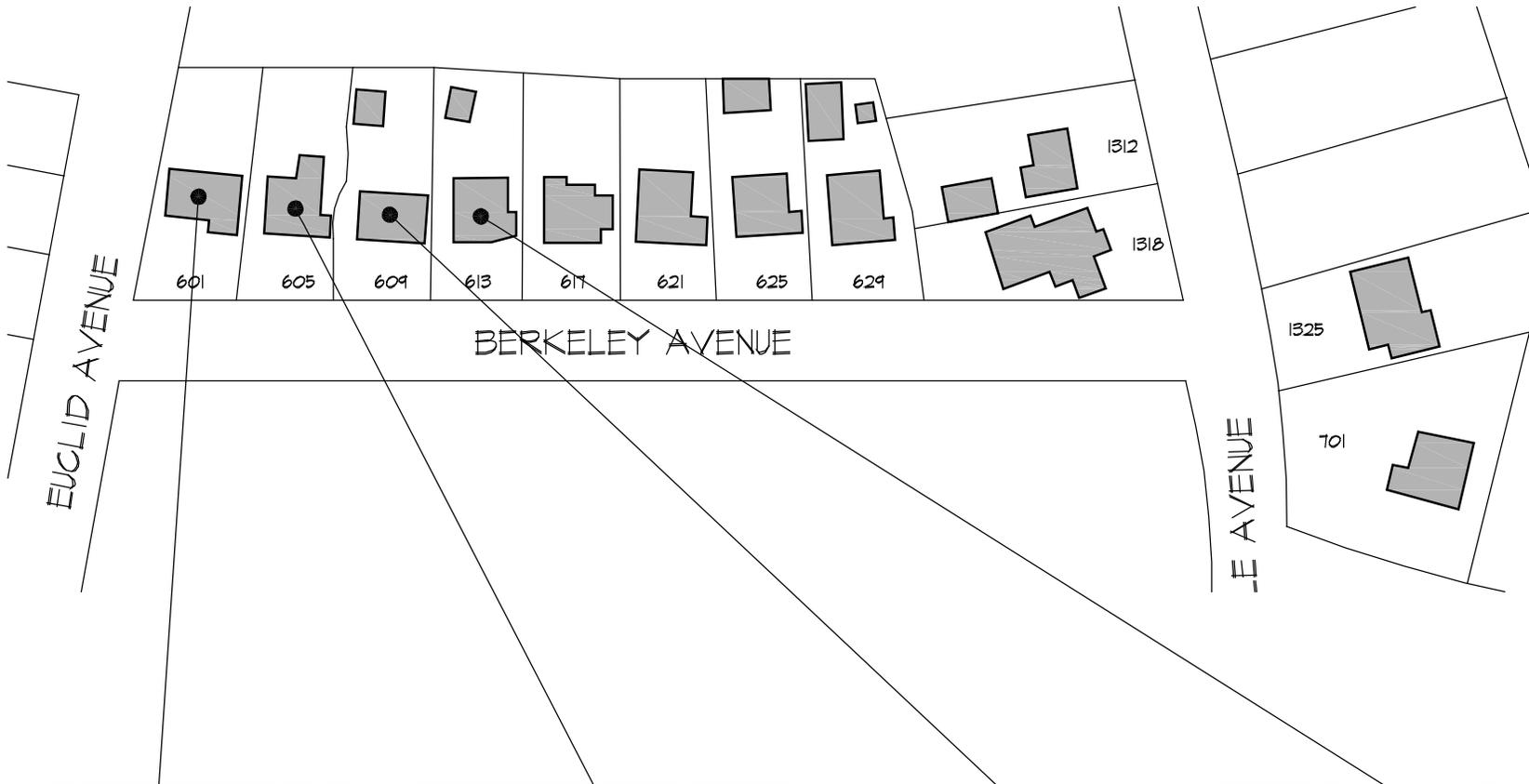
All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis - The Commission will determine if the porch addition meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-573
HISTORIC DISTRICT: DILWORTH
ADDITION





601 BERKELEY AVENUE



605 BERKELEY AVENUE



609 BERKELEY AVENUE



613 BERKELEY AVENUE



118 East Kingston Avenue
 Suite 20
 Charlotte, NC 28205
 Tel: 704-372-0001
 Fax: 704-372-2517
 www.fryday-doyne.com

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PROJECT NAME:

**MORRISON
 RESIDENCE
 605 BERKELEY
 AVENUE
 CHARLOTTE, NC
 28205**

DATE: 10/2/2017

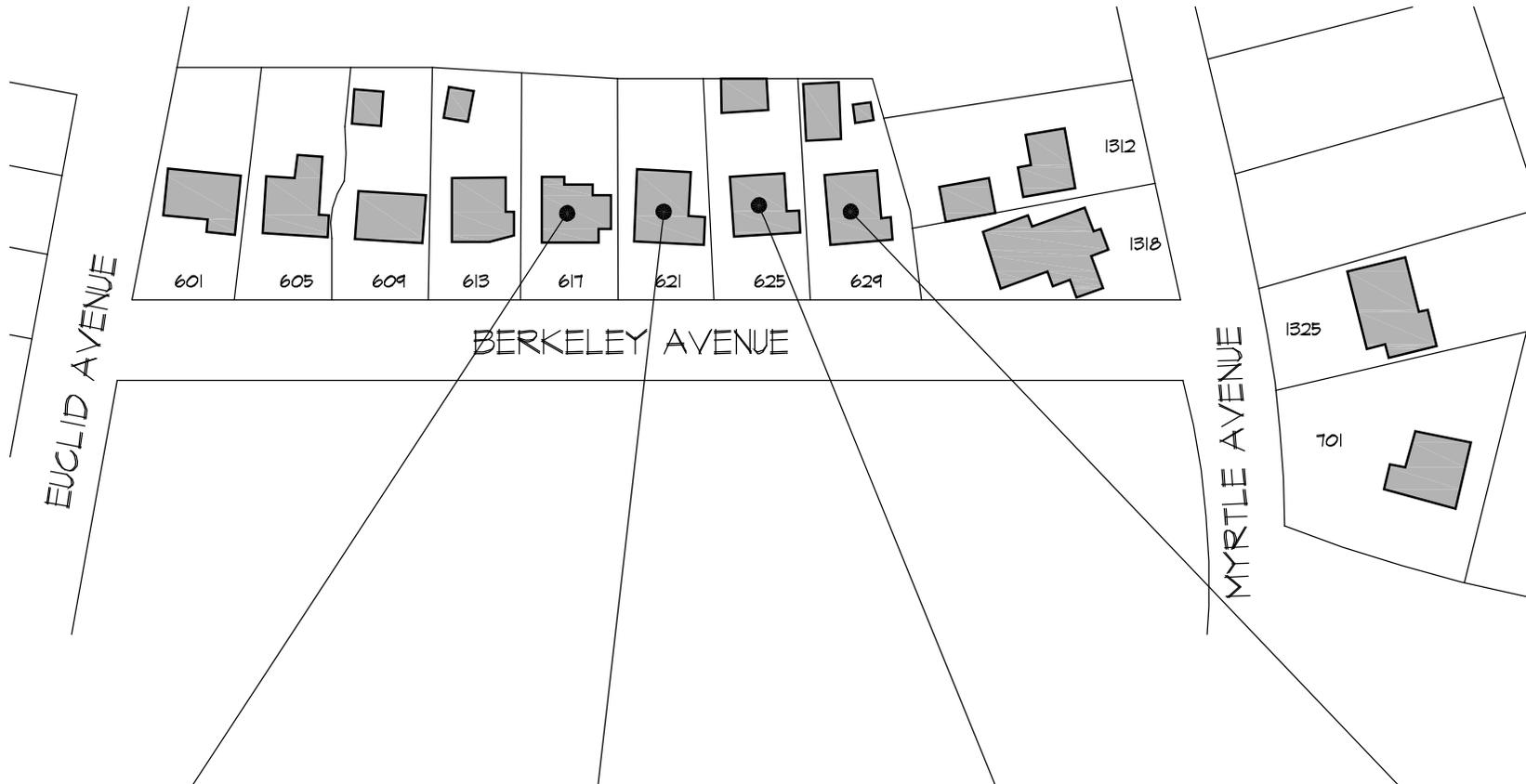
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SHEET TITLE:

**BERKELEY
 AVENUE
 RESIDENCE
 PHOTOS**

SHEET NUMBER:

HDC - 5



617 BERKELEY AVENUE



621 BERKELEY AVENUE



625 BERKELEY AVENUE



629 BERKELEY AVENUE

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CHARLOTTE, NC
28205**

DATE: 10/2/2017

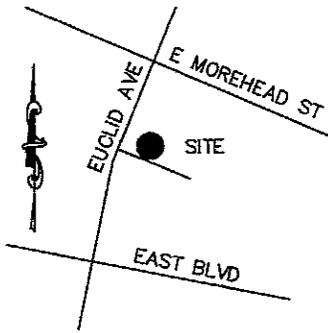
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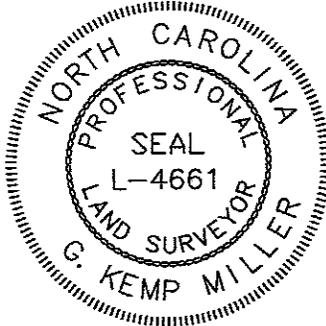
**BERKELEY
AVENUE
RESIDENCE
PHOTOS**

SHEET NUMBER:

HDC - 6

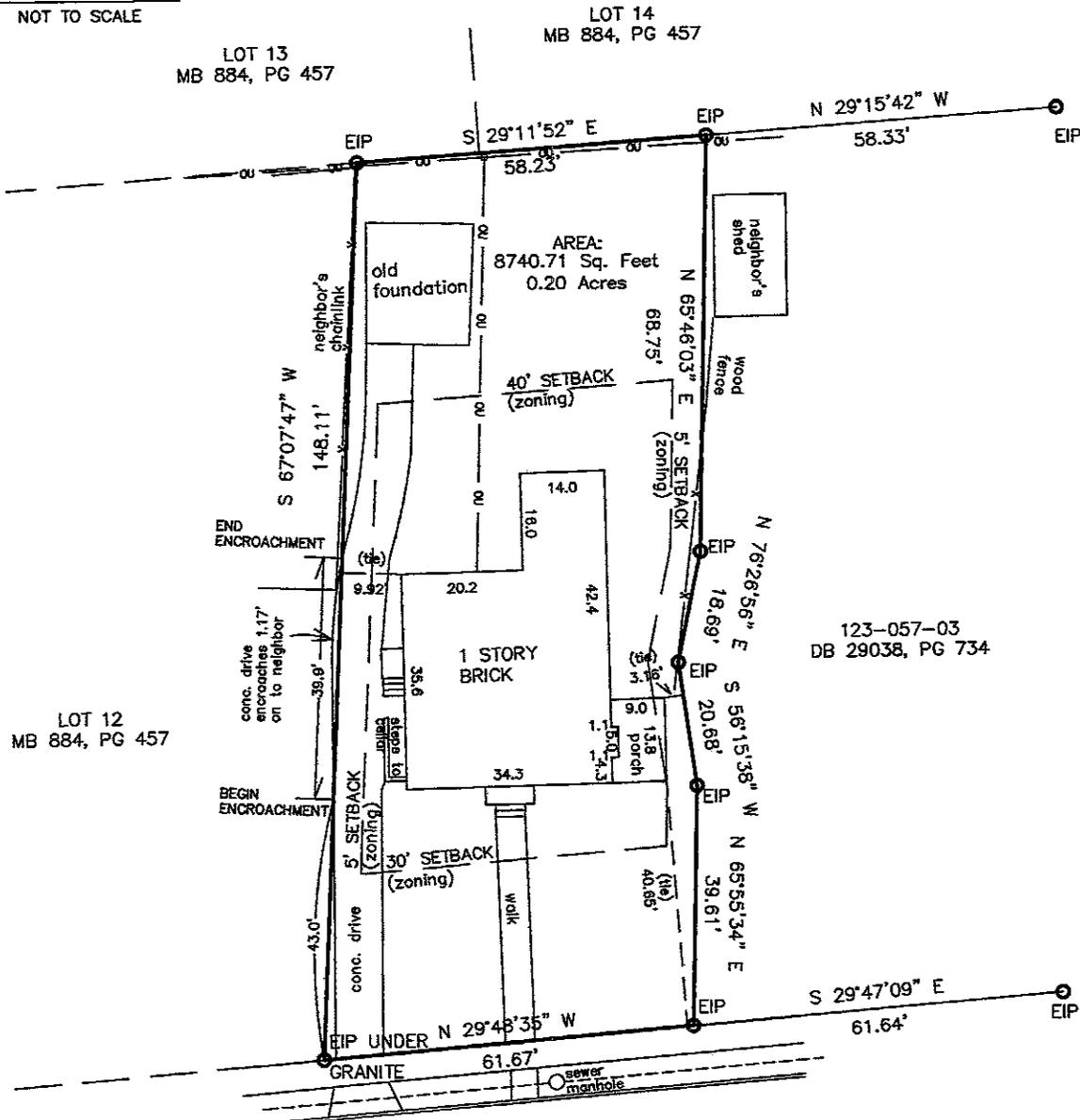


LOCATION MAP
NOT TO SCALE



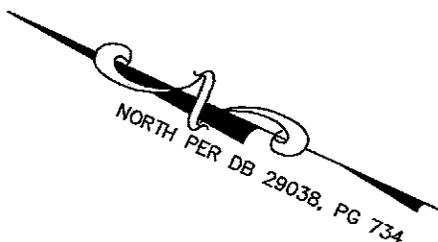
I certify that this survey was completed under my direct supervision (as recorded in DB 1075, PG 309); the lines not surveyed were drawn from the deeds referenced on the adjoining lots; that the ratio of precision is 1:39421; and that this map meets the requirement of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56. 1600).
This 14th day of July, 2017.

G. Kemp Miller
G. KEMP MILLER, PLS, CFS
7330 E. Lakeside Dr.
Charlotte, NC 28215
704-535-0287
704-577-6516



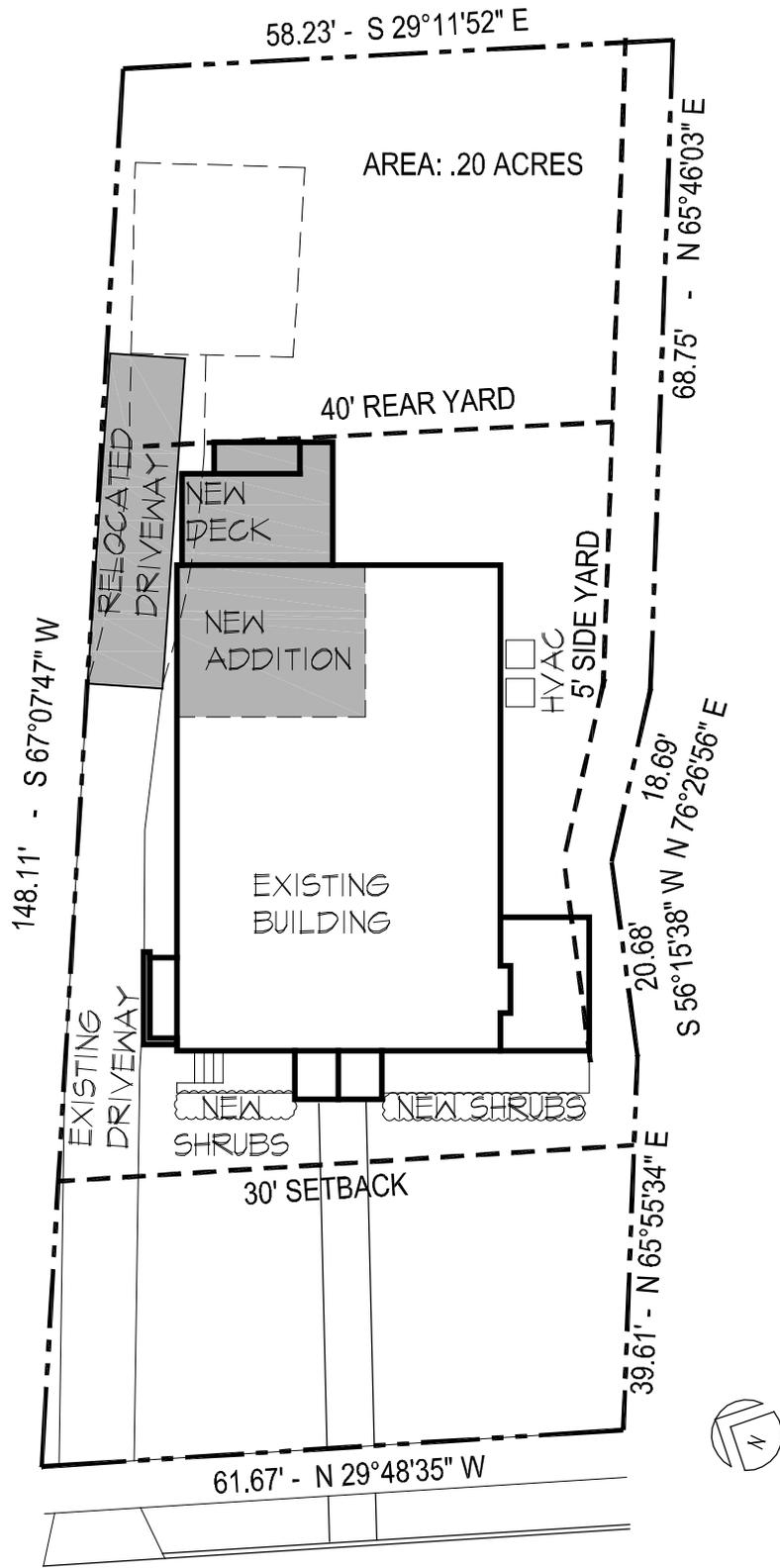
NOTES:

1. NO NCGS MONUMENT FOUND WITHIN 2000'
2. PROPERTY MAY BE SUBJECT TO OTHER COVENANTS, RESTRICTIONS, EASEMENTS, BUILDING SETBACKS, OR RIGHTS-OF-WAY THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
3. PROPERTY CURRENTLY ZONED: R-4
4. EIP = EXISTING IRON PIN
UP = UTILITY POLE
— ow — = OVERHEAD UTILITY
5. THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA PANEL 3710454300L, DATED 9/2/15.



PHYSICAL SURVEY OF
LOT 11, BLOCK 24 of DILWORTH
less and except that portion recorded in DB 6006, PG 992
PROPERTY OF PAUL COOPER MORRISON, JR.

SCALE: 1"=30' CHARLOTTE, MECKLENBURG CO., NC DATE: 7/14/2017
AS RECORDED IN: MB 884, PG PG 457 PID# 123-057-02
FILE # 02862_Morrison 605 BERKELEY AVE. EOC >=1:10,000



BERKELEY AVE
50' PUBLIC RIGHT OF WAY



118 EAST KINGSTON AVENUE
Suite 20
Charlotte, NC 28203
Tel: 704-372-0001
Fax: 704-372-2517
www.fryday-doyne.com

PROJECT NAME:
MORRISON RESIDENCE
605 BERKELEY AVENUE
CHARLOTTE, NC 28203

DATE: 10/2/2017
REVISION:
DETAIL:
DRAWN BY:

SHEET NO:
HDC - 9

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PROJECT NAME:

**MORRISON
RESIDENCE
605 BERKELEY
AVENUE
CHARLOTTE, NC
28203**

DATE: 10/2/2011

DRAWN BY: JCL

SHEET TITLE:

**EXISTING
ELEVATIONS**

SHEET NUMBER:

HDC - 1



SCALE: 1/8" = 1'-0"

REAR ELEVATION 02



SCALE: 1/8" = 1'-0"

FRONT ELEVATION 01

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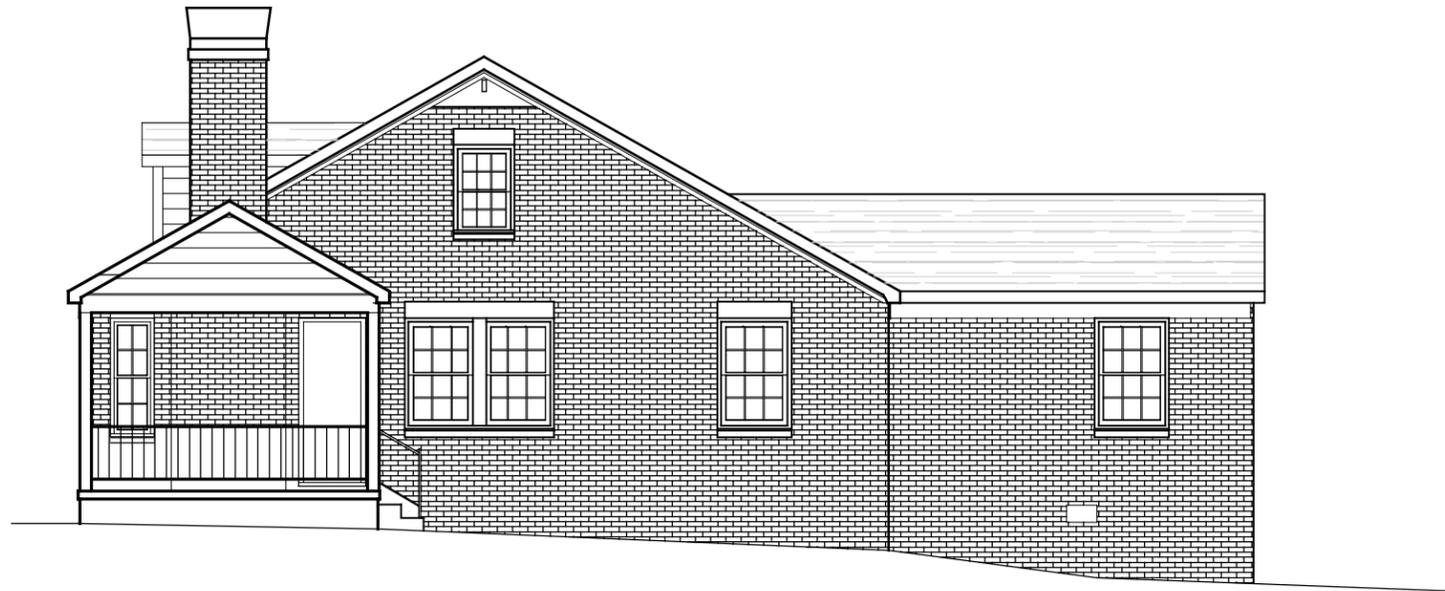
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SHEET TITLE:

**EXISTING
ELEVATIONS**

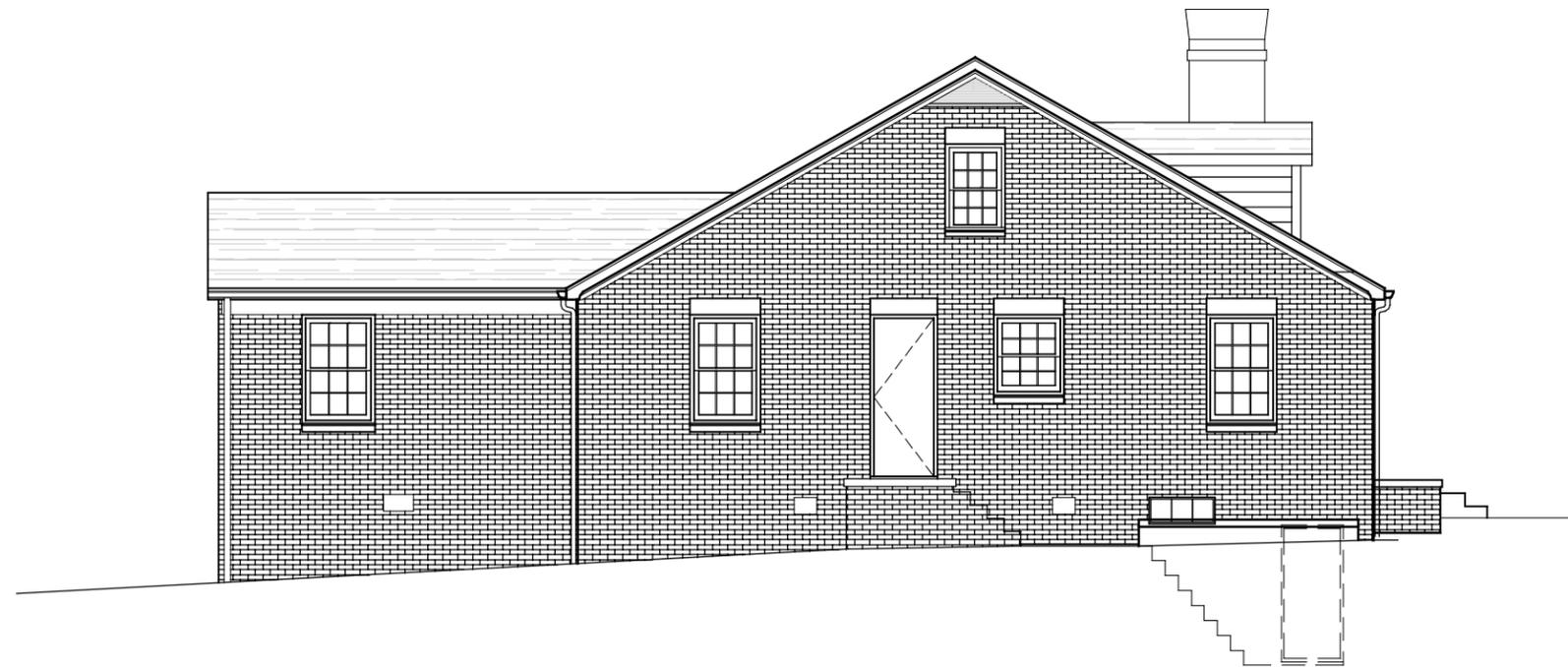
SHEET NUMBER:

HDC-2



SCALE: 1/8" = 1'-0"

RIGHT ELEVATION 02



SCALE: 1/8" = 1'-0"

LEFT ELEVATION 01

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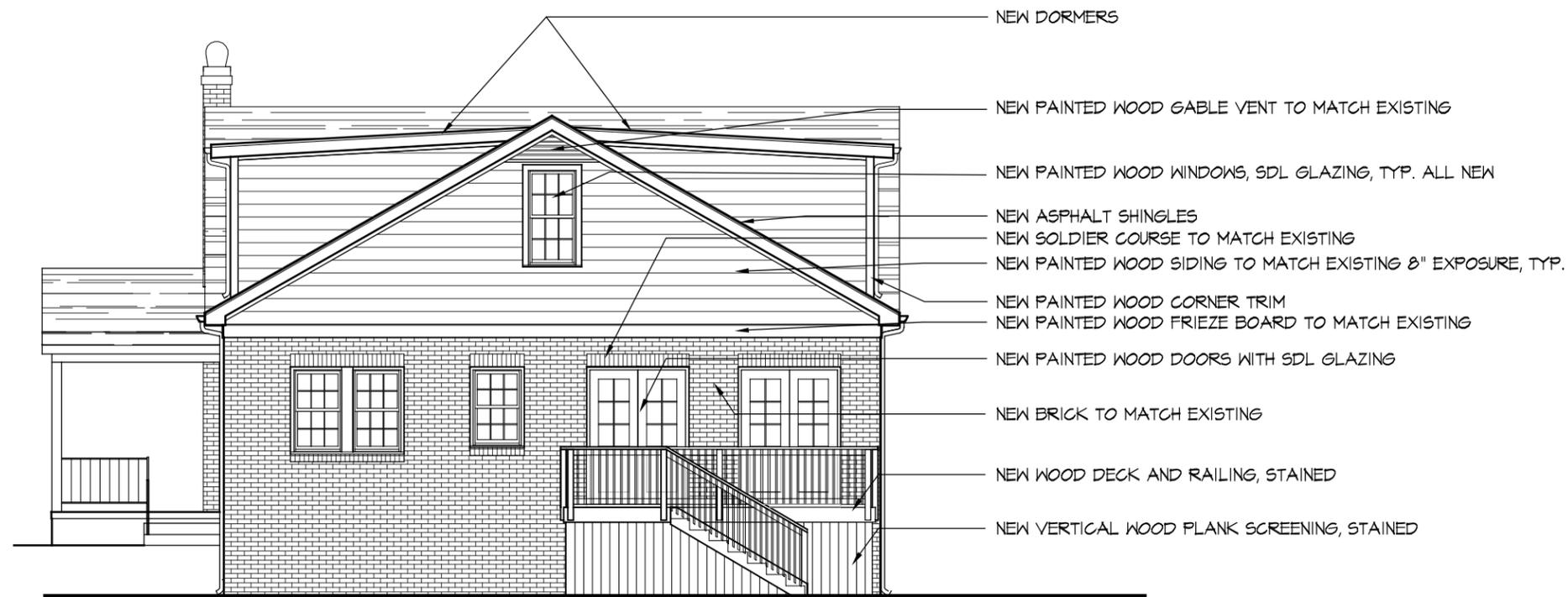
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SHEET TITLE:

**NEW
ELEVATIONS**

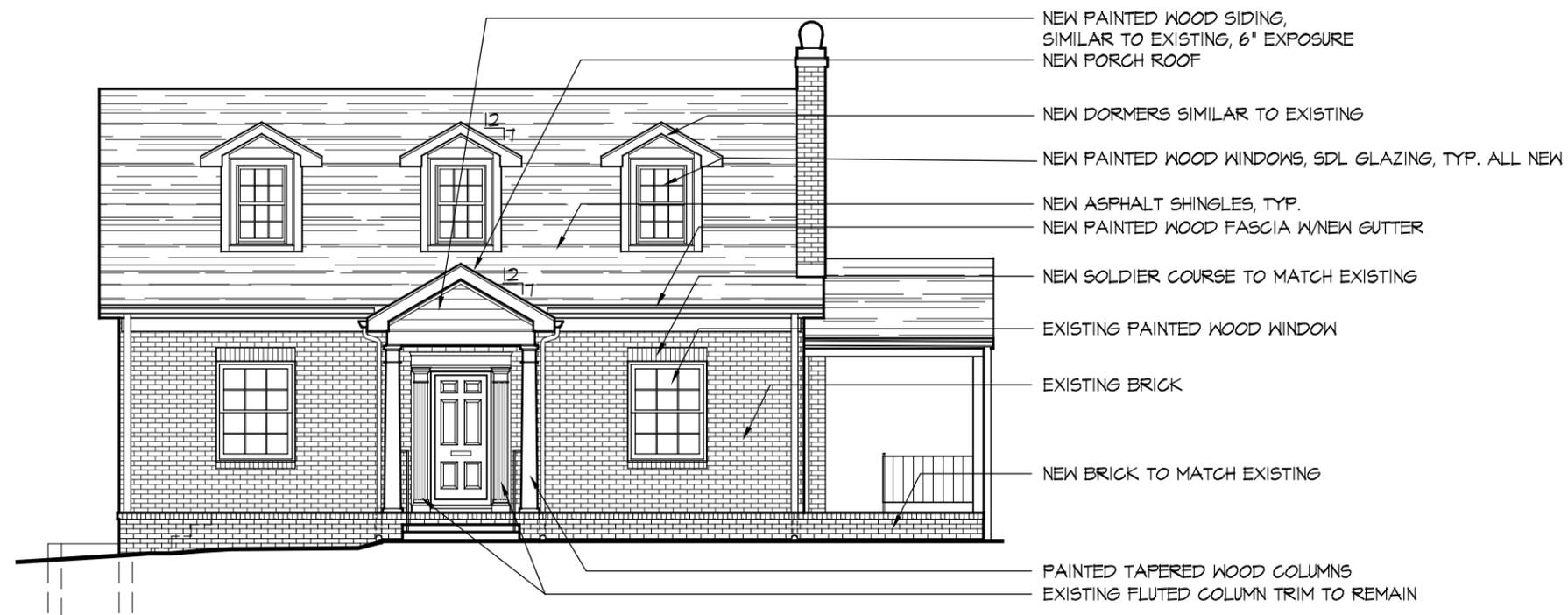
SHEET NUMBER:

HDC - 3



SCALE: 1/8" = 1'-0"

REAR ELEVATION 02



SCALE: 1/8" = 1'-0"

FRONT ELEVATION 01

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CHARLOTTE, NC 28203

DATE: 10/2/2011

DRAWN BY: JCL

SHEET TITLE:

NEW ELEVATIONS

SHEET NUMBER:

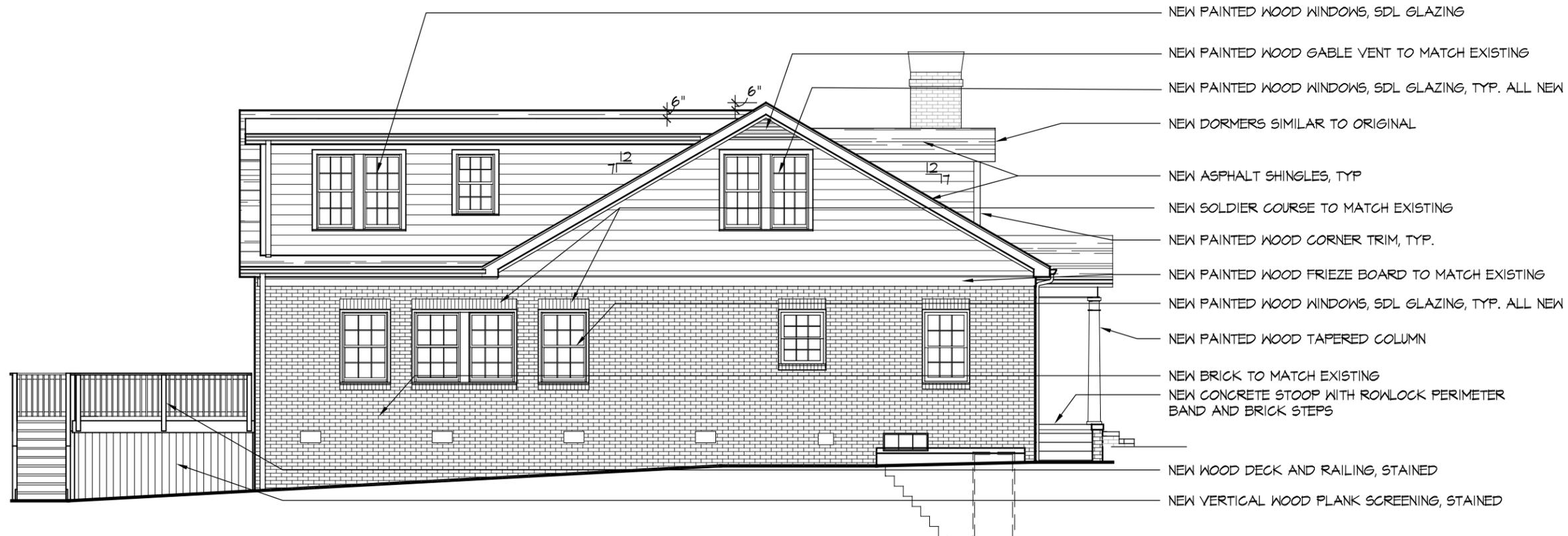
HDC-4



- NEW PAINTED WOOD GABLE VENT TO MATCH EXISTING
- NEW PAINTED WOOD WINDOWS, SDL GLAZING, TYP. ALL NEW
- NEW PAINTED WOOD SIDING TO MATCH EXISTING 8" EXPOSURE, TYP.
- NEW PAINTED WOOD WINDOWS, SDL GLAZING, TYP. ALL NEW
- NEW DORMERS
- NEW SOLDIER COURSE TO MATCH EXISTING
- NEW PAINTED WOOD CORNER TRIM
- NEW PAINTED WOOD FRIEZE BOARD TO MATCH EXISTING
- NEW PAINTED WOOD DOORS WITH SDL GLAZING
- NEW ROWLOCK WINDOW SILLS TO MATCH EXISTING, TYP.
- NEW WOOD DECK AND RAILING, STAINED
- EXISTING PORCH TO REMAIN
- NEW VERTICAL WOOD PLANK SCREENING, STAINED

SCALE: 1/8" = 1'-0"

RIGHT ELEVATION 02



- NEW PAINTED WOOD WINDOWS, SDL GLAZING
- NEW PAINTED WOOD GABLE VENT TO MATCH EXISTING
- NEW PAINTED WOOD WINDOWS, SDL GLAZING, TYP. ALL NEW
- NEW DORMERS SIMILAR TO ORIGINAL
- NEW ASPHALT SHINGLES, TYP
- NEW SOLDIER COURSE TO MATCH EXISTING
- NEW PAINTED WOOD CORNER TRIM, TYP.
- NEW PAINTED WOOD FRIEZE BOARD TO MATCH EXISTING
- NEW PAINTED WOOD WINDOWS, SDL GLAZING, TYP. ALL NEW
- NEW PAINTED WOOD TAPERED COLUMN
- NEW BRICK TO MATCH EXISTING
- NEW CONCRETE STOOP WITH ROWLOCK PERIMETER BAND AND BRICK STEPS
- NEW WOOD DECK AND RAILING, STAINED
- NEW VERTICAL WOOD PLANK SCREENING, STAINED

SCALE: 1/8" = 1'-0"

LEFT ELEVATION 01

