
LOCAL HISTORIC DISTRICT: Fourth Ward

PROPERTY ADDRESS: 416 North Poplar Street

SUMMARY OF REQUEST: Tree removal

APPLICANT/OWNER: Charles Holtzclaw

Details of Proposed Request

Existing Conditions

The property is the site of a single family house with a large, mature tree in the front yard on the right side and a smaller maturing tree on the left side in the front yard.

Project

The applicant is requesting removal of the tree on the right side.

Policy & Design Guidelines – Trees, page 8.5

1. Retain existing trees that define the district’s character.
2. When tree removal is needed (due to disease or other reasons) or desired, a certified arborist must be consulted and the written recommendation must be provided to the HDC before removal is granted. This guideline includes trees in front, side and rear yards.
3. Trees less than six inches in diameter may be removed in front, side and rear yards with administrative approval.
4. Identify and take care to protect significant existing trees and other plantings when constructing new buildings, additions or site structures such as garages.
5. New construction that impacts healthy trees must be reviewed by the HDC. Unhealthy mature trees are reviewed by HDC staff. Replacement trees may be required.
6. The HDC may require the planting of additional trees to replace a mature canopy that is removed.

Staff Analysis

The Commission shall determine if the tree should be removed and new tree(s) planted, if possible.

Charlotte Historic District Commission Case 2017-564
HISTORIC DISTRICT: FOURTH WARD
TREE REMOVAL



-  416 N Poplar St
-  Fourth Ward Historic District
-  Property Lines
-  Building Footprints

0 70 140 280 420 Feet

September 28, 2017



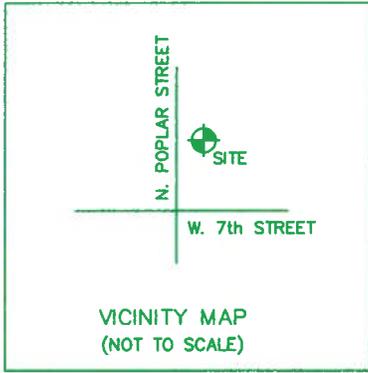
416



I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED RECORDED IN BOOK 19395, PAGE 782; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION AS SHOWN ON PLAT; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600). THIS 19th DAY OF NOVEMBER, 2014.

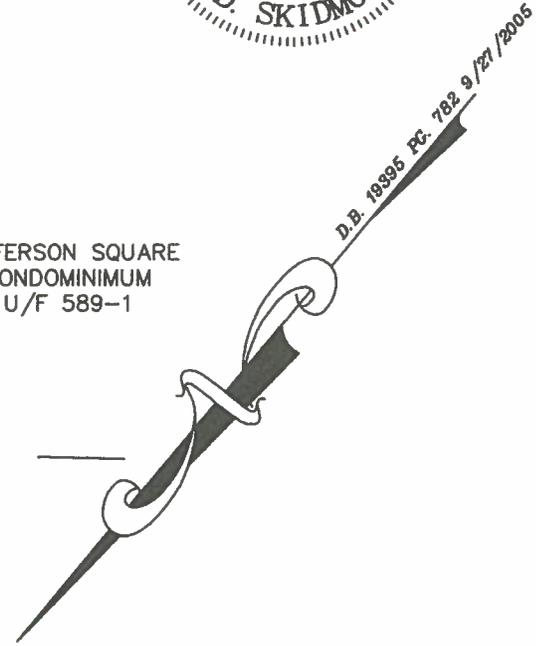
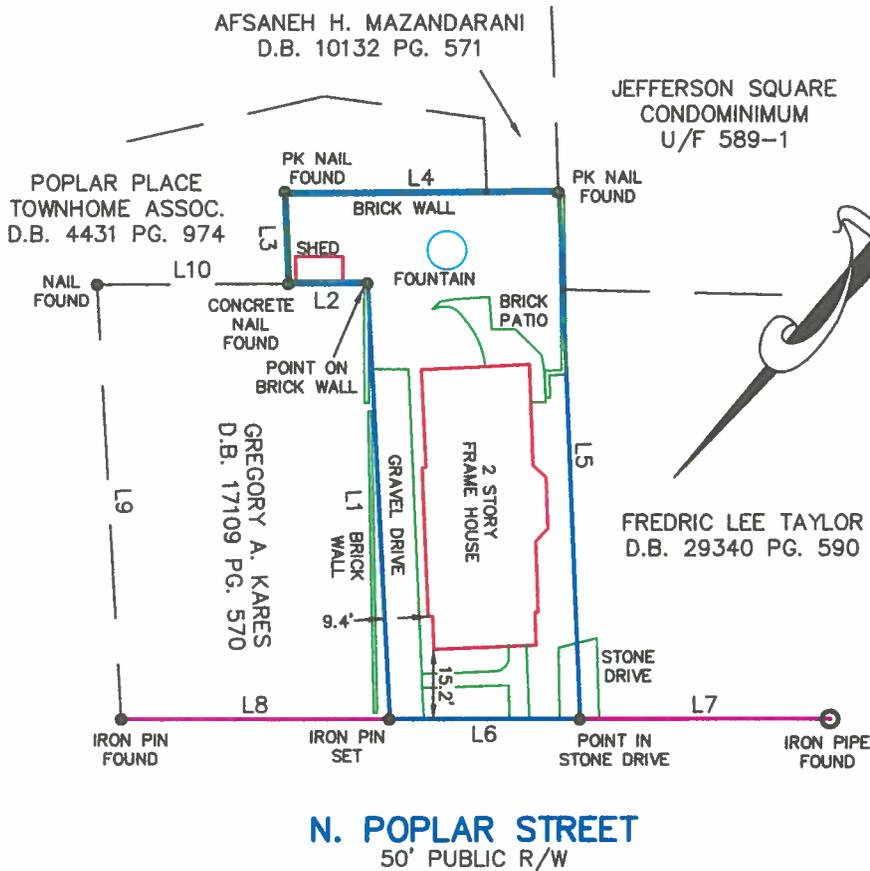
Handwritten Signature

SIGNED JOHN D. SKIDMORE III, NCPLS L-3837

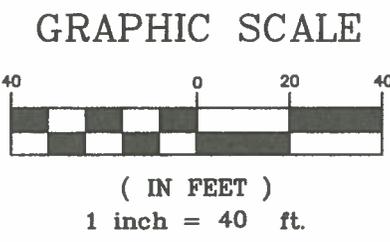


NOTES:

- AREA BY COORDINATE METHOD
- THIS IS A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET
- THIS MAP IS NOT INTENDED TO MEET G.S. 47-30 AND IS NOT TO BE RECORDED AS A PLAT
- SUBJECT PROPERTY MAY BE SUBJECT TO RECORDED OR UNRECORDED EASEMENTS, RIGHT OF WAYS, SETBACKS AND/OR RESTRICTIVE COVENANTS NOT SHOWN HEREON



LINE TABLE		
LINE	LENGTH	BEARING
L1	94.13	S42°53'16"E
L2	17.00	N49°51'10"E
L3	19.79	S42°22'06"E
L4	59.10	S50°12'30"W
L5	113.70	N42°17'04"W
L6	41.07	N50°06'37"E
L7	54.00	S50°06'37"W
L8	57.84	N50°06'37"E
L9	93.89	S43°10'06"E
L10	41.29	S49°51'10"W



LEGEND

- R/W = RIGHT OF WAY
- = CORNER AS DESCRIBED
 - = IRON PIPE
 - ⊙ = COMPUTED POINT
 - ⊕ = UTILITY POLE
 - ⊠ = CONCRETE MONUMENT
 - ⊗ = SANITARY SEWER MANHOLE
 - ⊘ = STORM DRAIN MANHOLE
- (Blue) — PROPERTY LINE
 - (Black) — ADJOINER LINE
 - (Pink) — RIGHT OF WAY
 - (Light Blue) — SEWER EASEMENT
 - (Light Blue) — STORM DRAIN EASEMENT
 - (Dashed) — SETBACK LINE

PHYSICAL SURVEY 416 N. POPLAR STREET 0.12 ACRE CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA	SURVEY DATE 11/18/2014	D.B. 19395 PG. 782
	TAX No. 07802220	DRAWN BY: JDS
	MAP BOOK PAGE	DRAWING 14-300.DWG
TO BE DEEDED TO:	JACLYN TIMMINS SKIDMORE SURVEYING, INC. LICENSE NO. C-1876 5347 HIGHWAY 74 WEST MONROE, N.C. 704-289-4855	