

LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 1416 Pecan Avenue

SUMMARY OF REQUEST: Addition

APPLICANT: Angie Lauer

The application was continued from September for the following: 1) Simplify the massing of the left side elevation addition, 2) Simplify the rear connection on the left side so it is more a part of the yard.

Details of Proposed Request

Existing Context

The existing structure is a one story Bungalow constructed in 1929. Exterior features include Craftsman details such as eave brackets, full front porch and tapered columns.

Project

The project is an addition that ties into the ridge line and extends the height 3'-4". The addition starts at the middle of the house. New materials and roof trim will match the house. Front concrete steps will be replaced with wood steps. The revised plans include a simplified roof design on the left side and the removal of the rear connection on the left side.

Policy & Design Guidelines for Roof Form and Materials, page 6.10

1. Use roof forms, such as gable or hipped or combinations of forms in the design of new residential buildings that relate to existing surrounding examples.
2. Consider employing roof dormers if they are commonly used in nearby historic houses. The style of the dormer should relate to the style of the house.
3. Reflect the pitch and gable orientation of surrounding historic buildings in the design of a new dwelling.
4. Proportionally, the new roof should not overwhelm the structure or be out of scale for the style of the house.
5. Use eave design and materials that complement those frequently found in the block where the new building is being constructed.
6. Match new roof materials with materials used in the context of the new building.

Policy & Design Guidelines for Additions, page 7.2

7. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
8. Limit the size of the addition so that it does not visually overpower the existing building.
9. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
10. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
11. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.

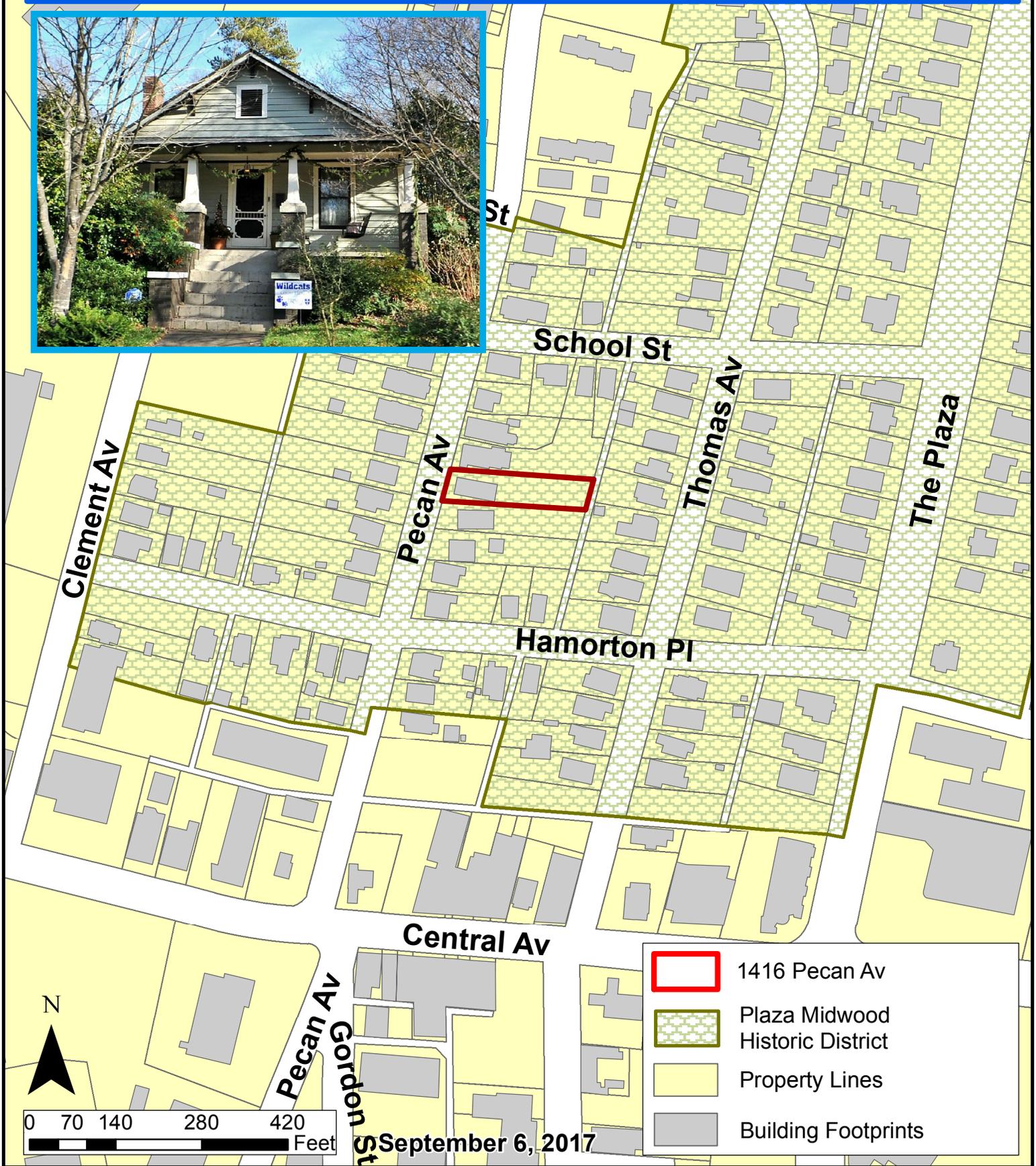
12. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria		Page #
Setback	in relationship to setback of immediate surroundings	6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings	6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district	6.4
Massing	the relationship of the buildings various parts to each other	6.5
Height and Width	the relationship to height and width of buildings in the project surroundings	6.6
Scale	the relationship of the building to those around it and the human form	6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings	6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings	6.9
Roof Form and Materials	as it relates to other buildings in project surroundings	6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building	6.11
Doors and Windows	the placement, style and materials of these components	6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.	6.14
Materials	proper historic materials or approved substitutes	6.15
Size	the relationship of the project to its site	6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections	6.12
Context	the overall relationship of the project to its surroundings.	6.1-16
Landscaping	a tool to soften and blend the project with the district	8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis -The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-481
HISTORIC DISTRICT: PLAZA MIDWOOD
ADDITION

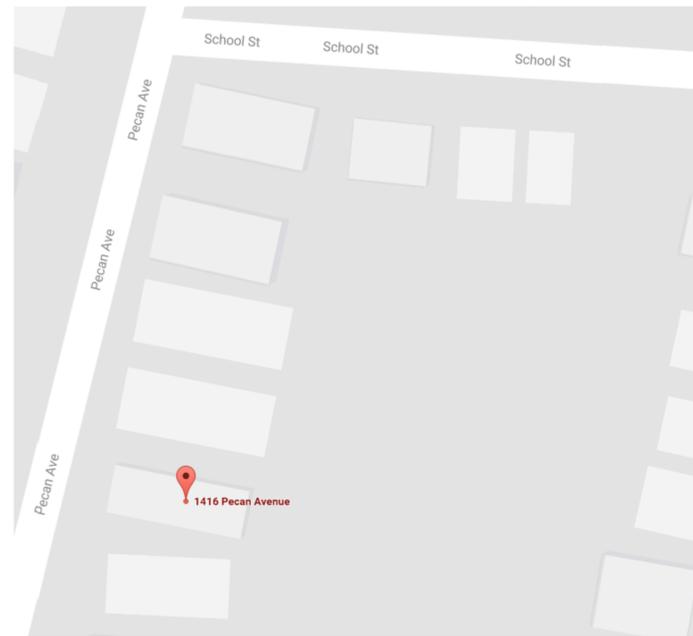


	1416 Pecan Av
	Plaza Midwood Historic District
	Property Lines
	Building Footprints

September 6, 2017

**THIS APPLICATION WAS CONTINUED
FROM SEPTEMBER FOR**

- **SIMPLIFY THE MASSING OF THE
LEFT SIDE ELEVATION ADDITION**
- **SIMPLIFY THE REAR
CONNECTION ON THE LEFT SIDE
SO IT IS MORE A PART OF THE
YARD**



VICINITY MAP

INDEX OF DRAWINGS

- A-0 Cover Sheet
- A-1 Existing & Proposed Site Plan
- A-1.1 Building height Survey
- A-2 Existing Plans
- A-3 Existing Roof Plan
- A-4 Existing Elevations
- A-5 Existing Elevations
- A-6 Proposed Foundation Plan
- A-7 Proposed First Floor Plan
- A-8 Proposed Second Floor Plan
- A-9 Proposed Roof Plan
- A-10 Proposed Elevations
- A-10.1 Proposed Elevation With Existing Profile
- A-11 Proposed Elevations
- A-11.1 Proposed Elevations With Existing Profile
- A-12 Building Sections



COA # HDC
ZONING - R5

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

COVER SHEET

A-0

OF THIRTEEN



FRONT OF HOUSE



FRONT PORCH OF HOUSE



FRONT OF HOUSE



FRONT OF HOUSE AS SEEN FROM PECAN AVENUE



LEFT OF HOUSE



LEFT NEIGHBORS HOUSE WITH FRONT LEFT CORNER OF SUBJECT HOUSE



FRONT LEFT OF SUBJECT HOUSE ALSO SHOWING LEFT NEIGHBORS FRONT PORCH TAKEN FROM THE REAR OF PROPERTY DRIVEWAY VIEW TOWARDS STREET



FRONT RIGHT CORNER OF HOUSE



FRONT RIGHT CORNER OF HOUSE ALSO SHOWING RIGHT NEIGHBOR'S HOUSE



REAR OF HOUSE



REAR YARD PATIO



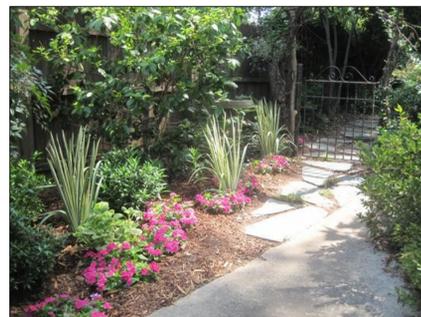
REAR OF HOUSE ALONG WITH REAR PATIO



WINDOW DETAIL



REAR YARD SHOWING ARBOR



REAR YARD SHOWING FENCE GATE



REAR YARD SHOWING ARBOR AND OAK TREE



1425 PECAN AVENUE



1421 PECAN AVENUE



1417 PECAN AVENUE



1409 PECAN AVENUE



1405 PECAN AVENUE



1432 PECAN AVENUE



1428 PECAN AVENUE



1424 PECAN AVENUE



1420 PECAN AVENUE
LEFT NEIGHBOR'S HOUSE
ALSO SHOWING SUBJECT HOUSE



1412 PECAN AVENUE
RIGHT NEIGHBOR'S HOUSE



1412 PECAN AVENUE



1408 PECAN AVENUE



1408 PECAN AVENUE



1404 PECAN AVENUE



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MAIN & SIDE GABLES AT
DIFFERENT RIDGE HEIGHT



② ARIEL IMAGE OF SUBJECT HOUSE FROM LEFT SIDE
N.T.S



① ARIEL IMAGE OF SUBJECT HOUSE FROM FRONT
N.T.S

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PROJECT #: 15081
ISSUED: 6 SEPT 2017
REVISIONS:

ARIEL IMAGES
OF EXISTING

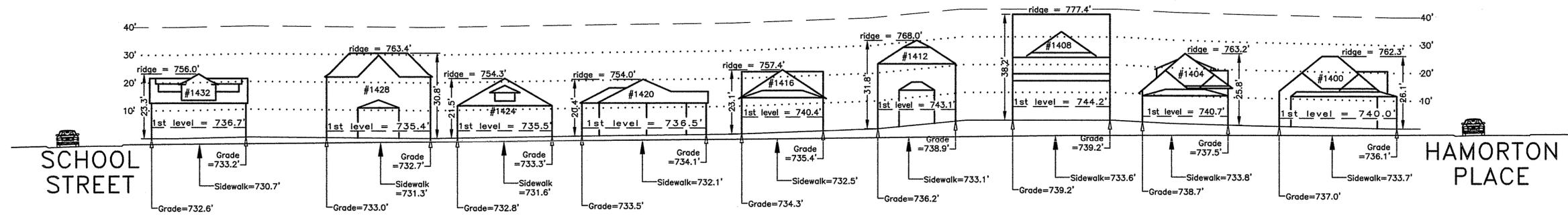
A-0.3
OF THIRTEEN

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 28th day of August, 2017.



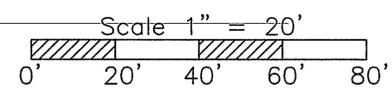
A.G.Z.
 Andrew G. Zoutewelle
 Professional Land Surveyor
 NC License No. L-3098



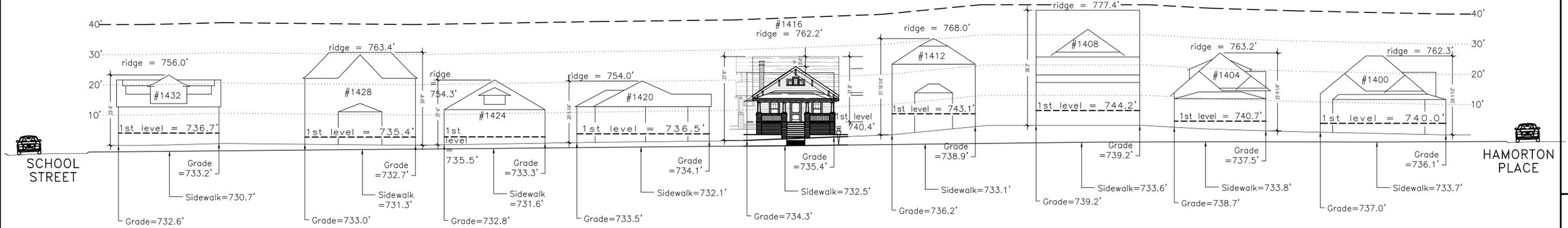
P E C A N A V E N U E

A.G. ZOUTEWELLE
SURVEYORS
 1418 East Fifth St. Charlotte, NC 28204
 Phone: 704-372-9444 Fax: 704-372-9555
 Firm Licensure Number C-1054

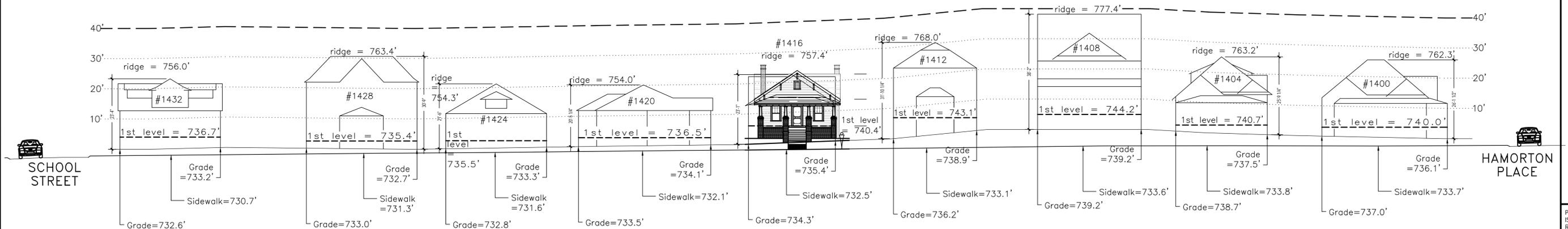
Copyright 2017
 Building Heights Sketch of
1400 BLOCK of PECAN AVENUE
FACING EAST - EVEN SIDE
 CHARLOTTE, MECKLENBURG COUNTY, N.C.
 for Charlotte-Mecklenburg Planning Department
 August 17, 2017



General Notes:
 1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearward or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
 2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



2 PROPOSED STREET SCAPE
1/16" = 1'-0"



1 EXISTING STREET SCAPE
1/16" = 1'-0"

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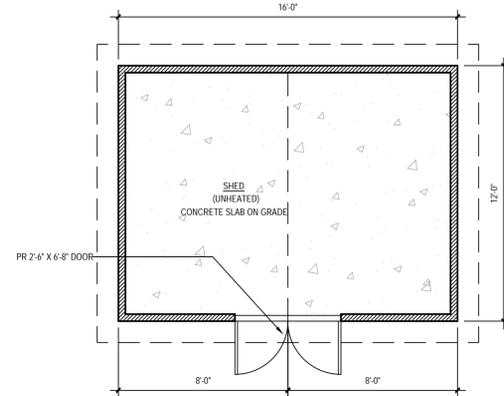
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ISSUED: 21 SEPT 2017
REVISIONS:

BUILDING HEIGHT SURVEY

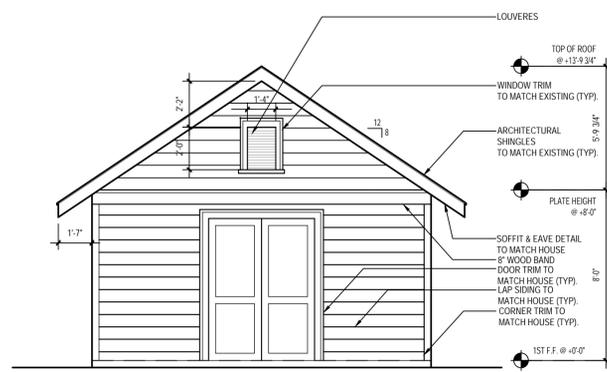
A-1.1
OF THIRTEEN

RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA	1404
PROPOSED HEATED AREA OF GARAGE	
PROPOSED UNHEATED	
SIDE PORCH	83
UNHEATED SHED	192
POOL	0
PATIO	0
SHOP	0
TOTAL	275
REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	7397
CONCRETE PATIO	674
SHED FOOTPRINT	568
IMPERVIOUS AREA AT REAR YARD	
TOTAL AREA	1242
TOTAL PERMEABLE AREA	83%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE	11326
FOOTPRINT OF HOUSE	2063
FOOTPRINT OF SHOP	0
FOOTPRINT OF SHED	192
TOTAL AREA	2255
PERCENTAGE OF OPEN SPACE	80%

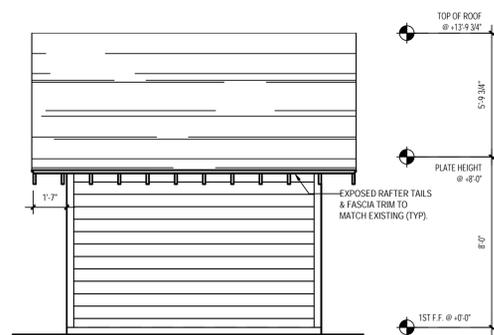
6 AREA CALCULATIONS



3 PROPOSED SHED PLAN
1/4" = 1'-0"

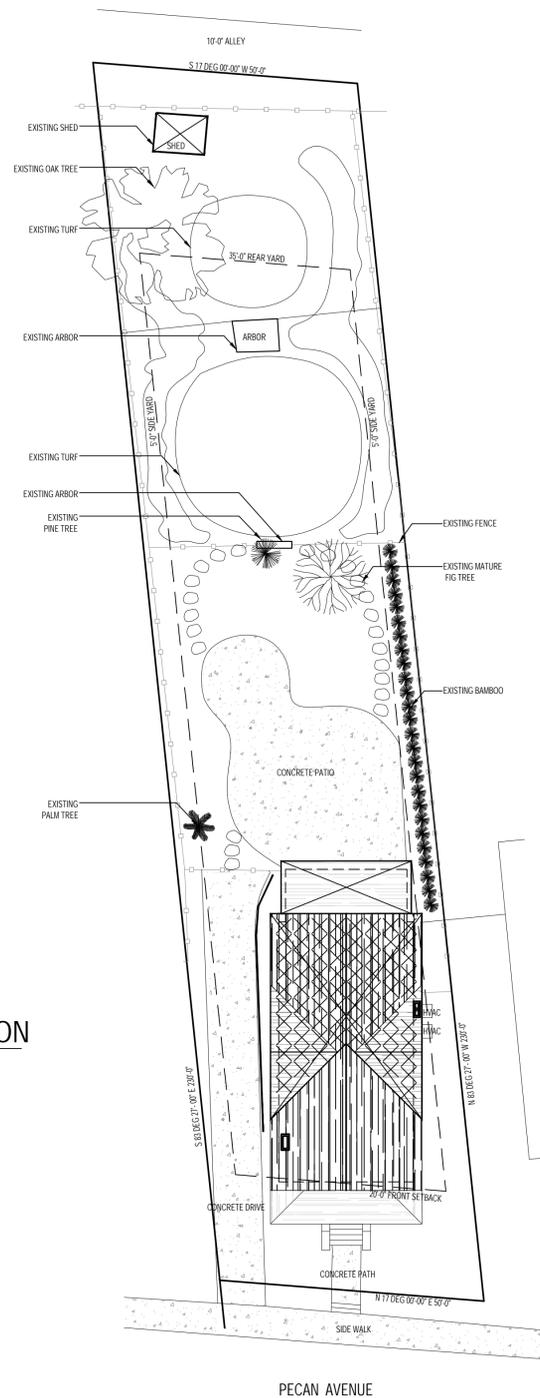


4 PROPOSED SHED HOUSE FACING (FRONT) ELEVATION
1/4" = 1'-0"

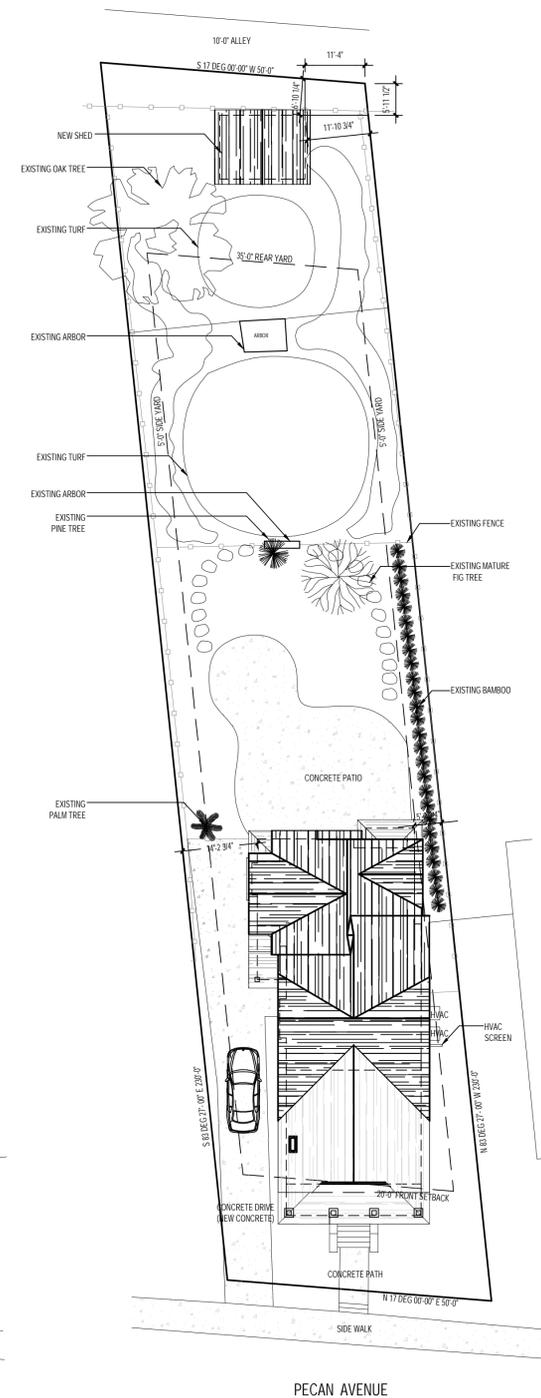


5 PROPOSED SHED TYPICAL SIDE ELEVATION
1/4" = 1'-0"

OCTOBER

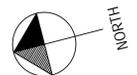


2 EXISTING SITE PLAN
1/16" = 1'-0"



1 PROPOSED SITE PLAN
1/16" = 1'-0"

KEY:
REMOVE WALL
REMOVE ITEM X



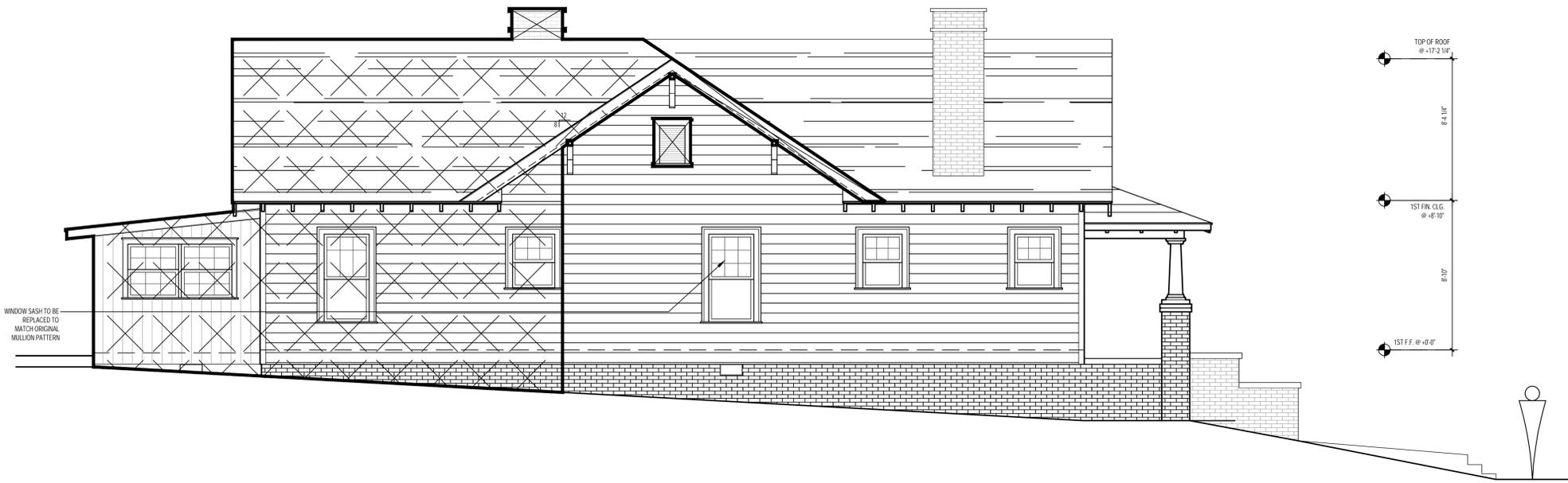
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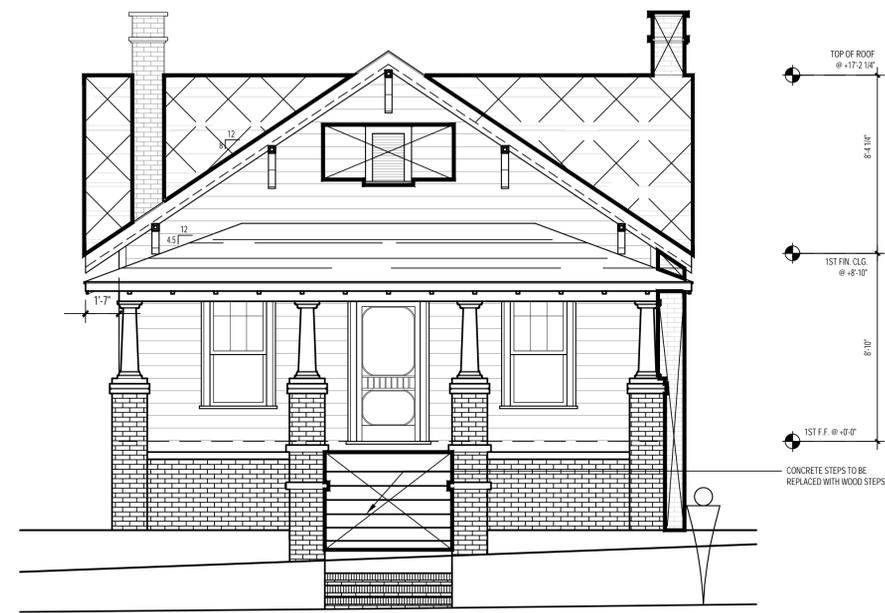
EXISTING SITE PLAN

A-1.0

OF: THIRTEEN



2 EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
6. ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 3/8"
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT
12. PROPOSED COLUMNS TO MATCH EXISTING U.N.O
13. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
16. ALL FASCIAS TO MATCH EXISTING U.N.O.
17. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
18. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/8" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

KEY
REMOVE WALL
REMOVE ITEM

Designed Exclusively For the:
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1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

EXISTING ELEVATIONS

A-4
OF THIRTEEN

SEPTEMBER



② PROPOSED LEFT ELEVATION SHOWING EXISTING PROFILE
1/4" = 1'-0"

GENERAL NOTES:

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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
- ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8"
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WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	FIRST FLOOR- MATCH EXIST SECOND FLOOR- 6'-6"	DOUBLE HUNG
B	2'-8" X 4'-6"	MATCH EXISTING	DOUBLE HUNG
C	2'-8" X 4'-6"	6'-6"	DOUBLE HUNG
D	3'-4" X 4'-0" W/ 2" X 4" ON EITHER SIDES	MATCH EXISTING	PICTURE WINDOW DOUBLE HUNG ON EITHER SIDE
E	3'-0" X 3'-6"	6'-6"	DOUBLE HUNG
F	2'-6" X 3'-10"	7'-6"	FIXED OR OPERABLE CASEMENT
G	2'-0" X 3'-0"	6'-6"	DOUBLE HUNG
H	2'-0" X 2'-4"	6'-6"	FIXED OR OPERABLE CASEMENT
I	2'-0" X 1'-6"	MATCH EXISTING	FIXED OR OPERABLE CASEMENT
J	1'-6" X 2'-0"	FIRST FLOOR-MATCH EXIST SECOND FLOOR-4'-0"	FIXED OR OPERABLE CASEMENT
K	1'-6" X 2'-4"	4'-9"	FIXED OR OPERABLE CASEMENT

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUNTING PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

* M.E. - MATCH EXISTING

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (LYP)



① PROPOSED FRONT ELEVATION WITH EXISTING PROFILE
1/4" = 1'-0"

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PROJECT #: 15081
ISSUED: 6 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-10.1
OF THIRTEEN

OCTOBER



2 PROPOSED LEFT ELEVATION SHOWING EXISTING PROFILE
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3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/2 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	FIRST FLOOR - MATCH EXIST SECOND FLOOR - 6'-6"	DOUBLE HUNG
B	2'-8" X 4'-6"	MATCH EXISTING	DOUBLE HUNG
C	2'-8" X 4'-6"	6'-6"	DOUBLE HUNG
D	3'-4" X 4'-0" W/ 2" X 4" ON EITHER SIDES	MATCH EXISTING	PICTURE WINDOW DOUBLE HUNG ON EITHER SIDE
E	3'-0" X 3'-6"	6'-6"	DOUBLE HUNG
F	2'-6" X 3'-10"	7'-6"	FIXED OR OPERABLE CASEMENT
G	2'-0" X 3'-0"	6'-6"	DOUBLE HUNG
H	2'-0" X 2'-4"	6'-6"	FIXED OR OPERABLE CASEMENT
I	3'-0" X 1'-6"	MATCH EXISTING	FIXED OR OPERABLE CASEMENT
J	1'-6" X 2'-0"	4'-0"	FIXED OR OPERABLE CASEMENT
K	1'-6" X 2'-4"	4'-0"	FIXED OR OPERABLE CASEMENT

NOTE: MATCH TRIM DETAILS & WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

* M.E. - MATCH EXISTING

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (LVP)



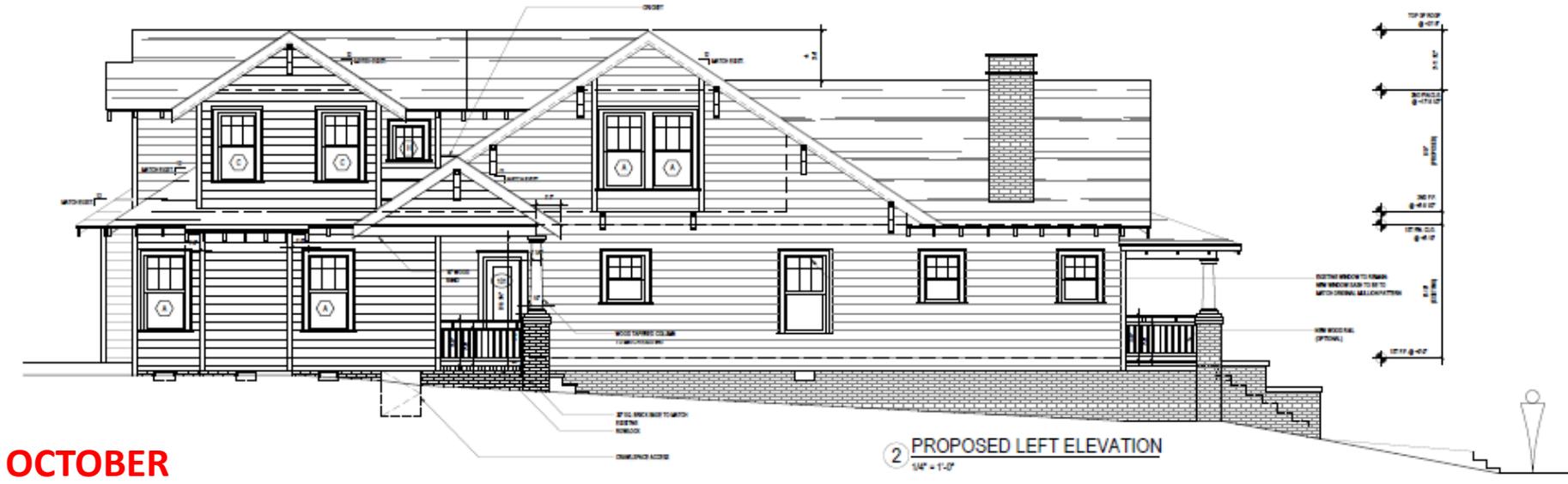
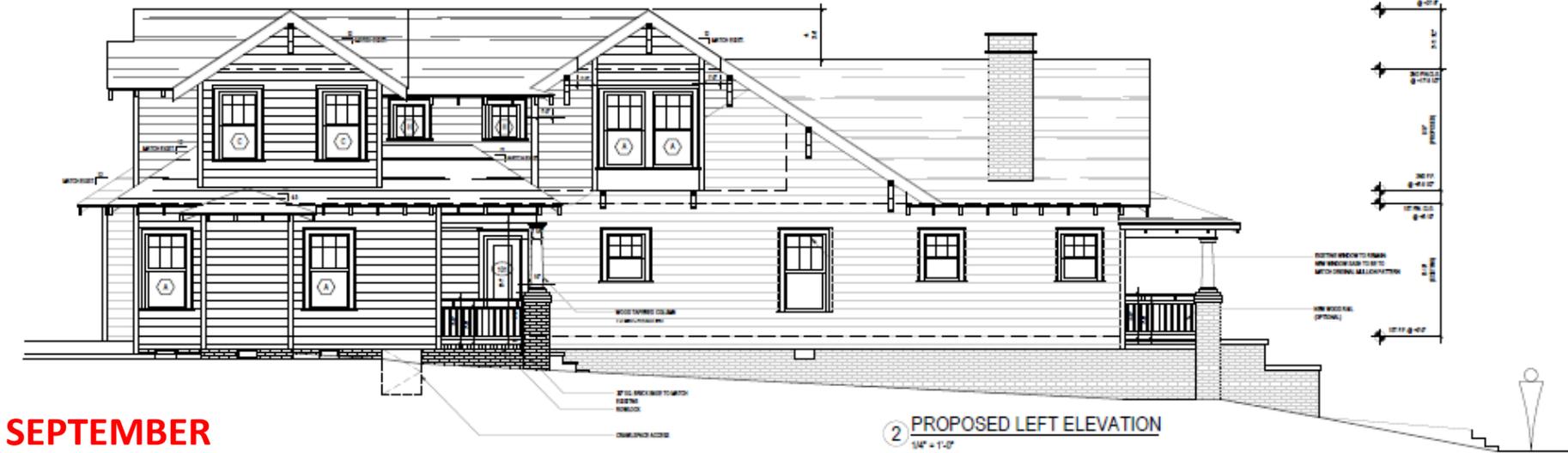
1 PROPOSED FRONT ELEVATION WITH EXISTING PROFILE
1/4" = 1'-0"

Designed Exclusively For the:
CARLISLE RESIDENCE
 1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-10.1
OF THIRTEEN



SEPTEMBER



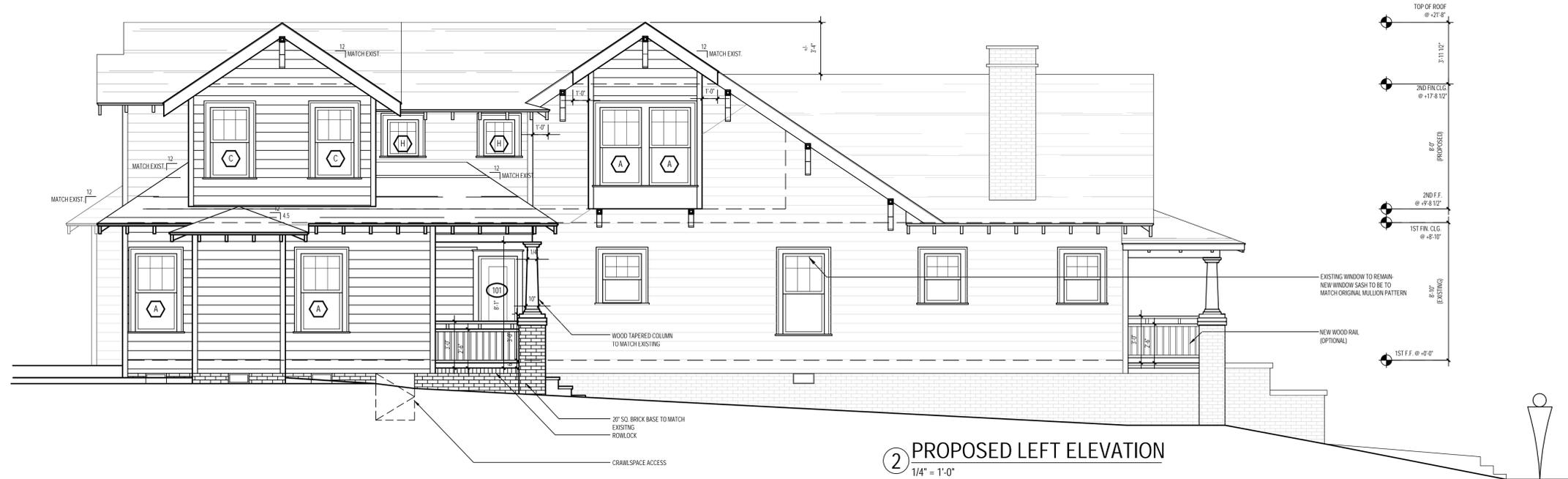
1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

OCTOBER



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

SEPTEMBER



- GENERAL NOTES:**
- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 - FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
 - ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
 - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8"
 - ALL RISERS TO BE SOLID.
 - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT
 - PROPOSED COLUMNS TO MATCH EXISTING U.N.O
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
 - ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
 - ALL FASCIAS TO MATCH EXISTING U.N.O.
 - CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
 - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
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WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	FIRST FLOOR - MATCH EXIST SECOND FLOOR - 6'-6"	DOUBLE HUNG
B	2'-8" X 4'-6"	MATCH EXISTING	DOUBLE HUNG
C	2'-8" X 4'-6"	6'-6"	DOUBLE HUNG
D	3'-4" X 4'-0"	MATCH EXISTING	PICTURE WINDOW DOUBLE HUNG ON EITHER SIDE
E	3'-0" X 3'-6"	6'-6"	DOUBLE HUNG
F	2'-8" X 3'-10"	7'-6"	FIXED OR OPERABLE CASEMENT
G	2'-0" X 3'-0"	6'-6"	DOUBLE HUNG
H	2'-0" X 2'-4"	6'-6"	FIXED OR OPERABLE CASEMENT
I	2'-0" X 1'-6"	MATCH EXISTING	FIXED OR OPERABLE CASEMENT
J	1'-8" X 2'-0"	FIRST FLOOR - MATCH EXIST SECOND FLOOR - 4'-0"	FIXED OR OPERABLE CASEMENT
K	1'-8" X 2'-4"	4'-9"	FIXED OR OPERABLE CASEMENT

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

* M.E. - MATCH EXISTING

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (LVP)

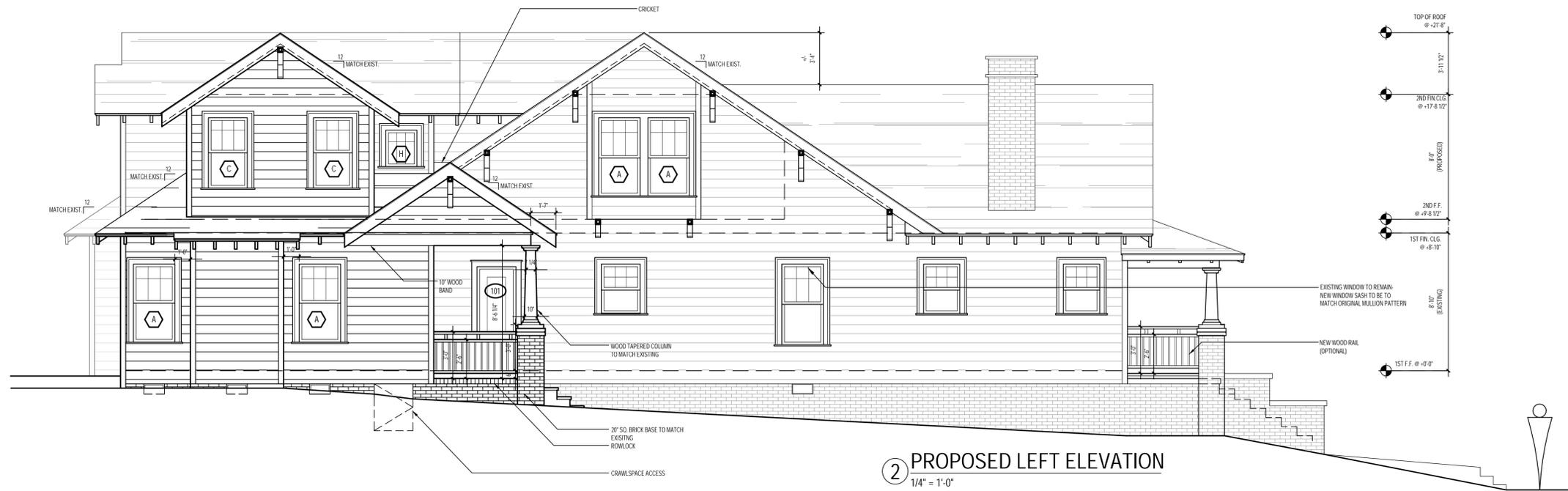
Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 6 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-10
OF THIRTEEN

OCTOBER



2 PROPOSED LEFT ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
6. ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8"
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT
12. PROPOSED COLUMNS TO MATCH EXISTING U.N.O
13. NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 29" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
16. ALL FASCIAS TO MATCH EXISTING U.N.O.
17. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
18. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
SYMBOL	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	FIRST FLOOR - MATCH EXIST SECOND FLOOR - 6'-6"	DOUBLE HUNG
B	2'-8" X 4'-6"	MATCH EXISTING	DOUBLE HUNG
C	2'-8" X 4'-6"	6'-6"	DOUBLE HUNG
D	3'-4" X 4'-0"	3'-4" X 4'-0"	PICTURE WINDOW DOUBLE HUNG ON EITHER SIDE
E	3'-0" X 3'-6"	6'-6"	DOUBLE HUNG
F	2'-6" X 3'-10"	7'-6"	FIXED OR OPERABLE CASEMENT
G	2'-0" X 3'-0"	6'-6"	DOUBLE HUNG
H	2'-0" X 2'-4"	6'-6"	FIXED OR OPERABLE CASEMENT
I	3'-0" X 1'-6"	MATCH EXISTING	FIXED OR OPERABLE CASEMENT
J	1'-4" X 2'-0"	4'-0"	FIXED OR OPERABLE CASEMENT
K	1'-4" X 2'-4"	4'-0"	FIXED OR OPERABLE CASEMENT

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* M.E. - MATCH EXISTING

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP)

Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

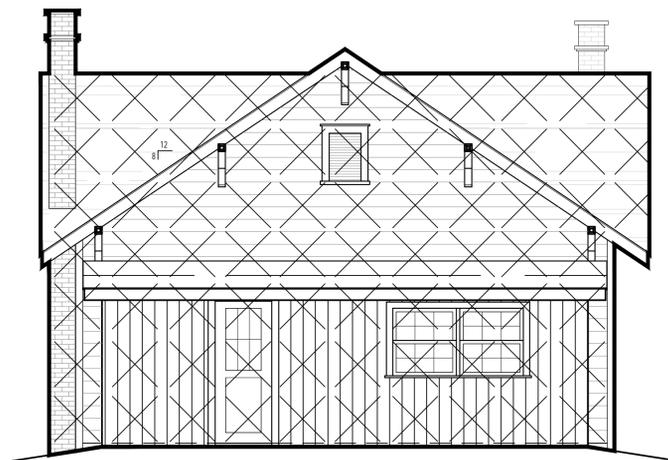
PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-10
OF THIRTEEN



② EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"



① EXISTING REAR ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
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KEY
REMOVE WALL 
REMOVE ITEM 

Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

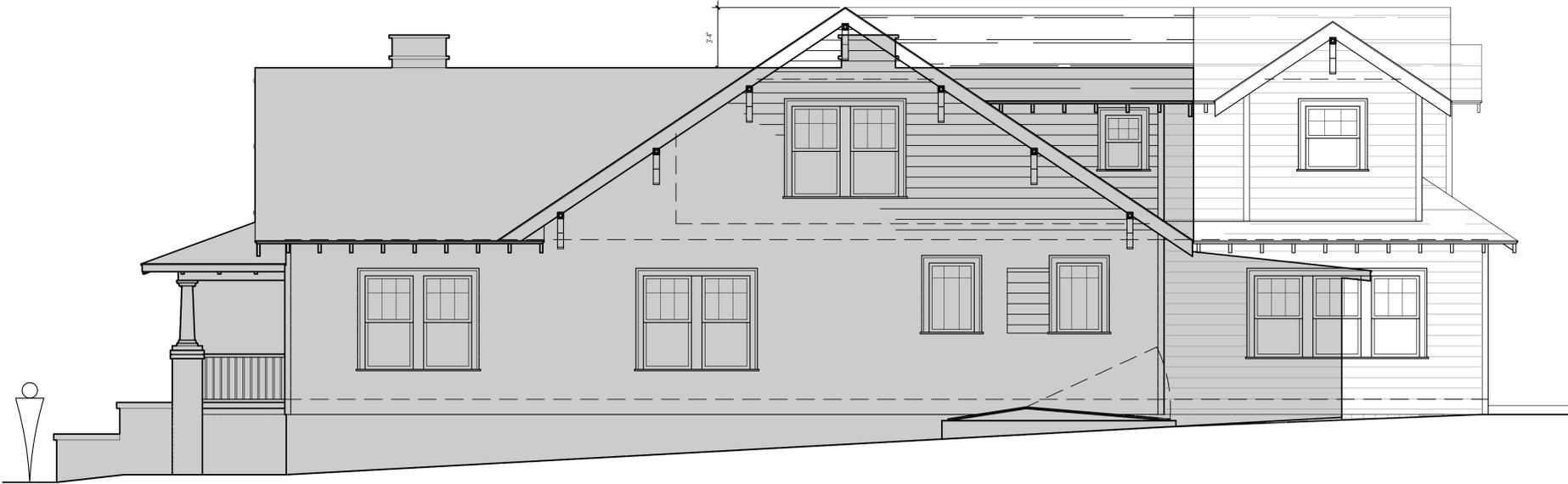
PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

EXISTING ELEVATIONS

A-5

OF THIRTEEN

SEPTEMBER



2 PROPOSED RIGHT ELEVATION WITH EXISTING PROFILE
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION WITH EXISTING PROFILE
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
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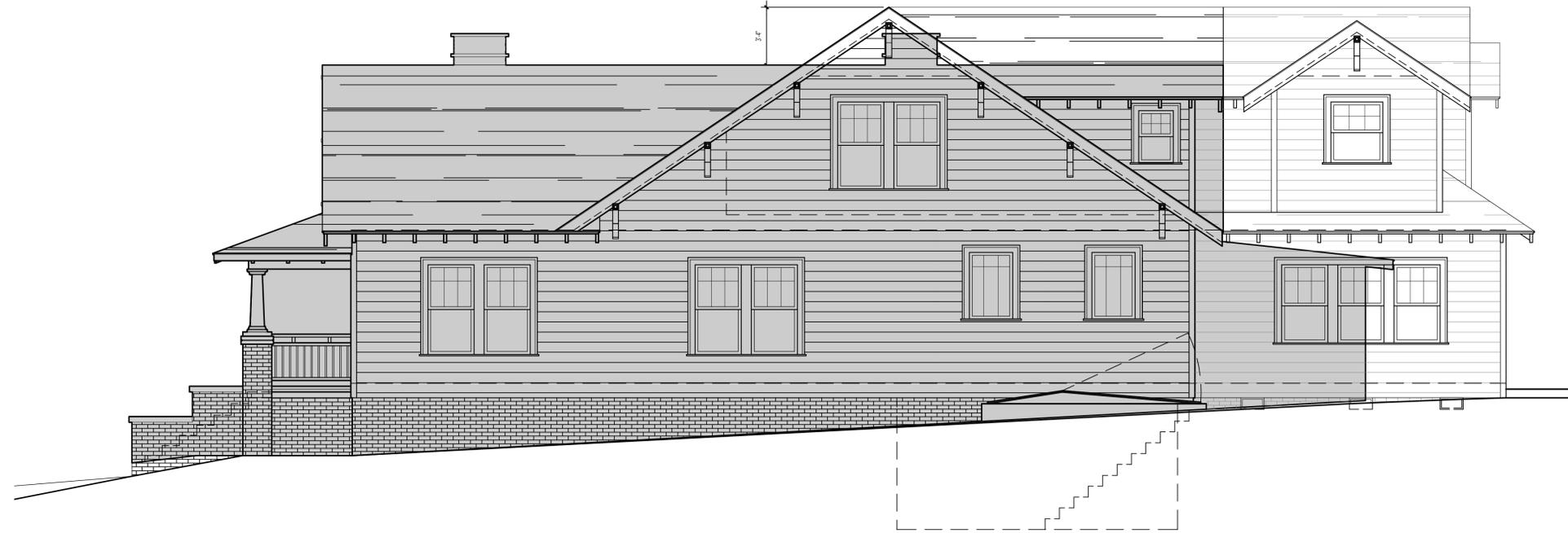
Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 6 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-11.1
OF THIRTEEN

OCTOBER



② PROPOSED RIGHT ELEVATION WITH EXISTING PROFILE
1/4" = 1'-0"



① PROPOSED REAR ELEVATION WITH EXISTING PROFILE
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
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12. PROPOSED COLUMNS TO MATCH EXISTING U.N.O
13. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
16. ALL FASCIAS TO MATCH EXISTING U.N.O.
17. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
18. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-11.1

OF THIRTEEN

SEPTEMBER



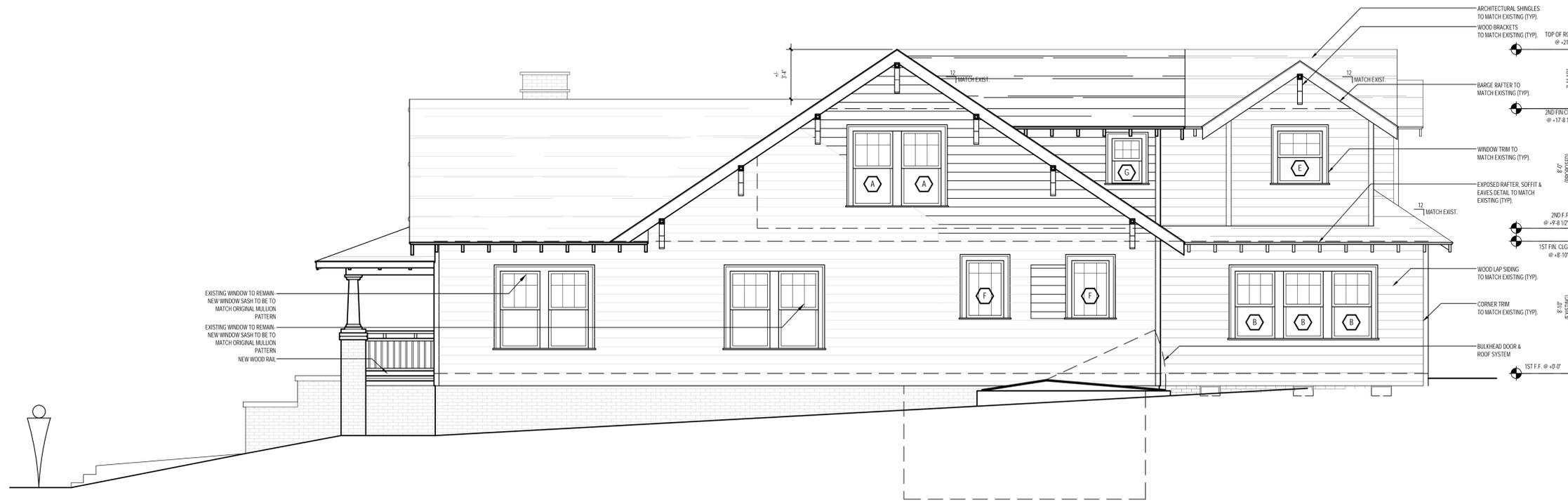
1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

OCTOBER



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

SEPTEMBER



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

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1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	FIRST FLOOR - MATCH EXIST SECOND FLOOR - 6'-6"	DOUBLE HUNG
B	2'-8" X 4'-6"	MATCH EXISTING	DOUBLE HUNG
C	2'-6" X 4'-6"	6'-6"	DOUBLE HUNG
D	3'-4" X 4'-0" (WITH 2" X 4'-0" ON EITHER SIDES)	MATCH EXISTING	PICTURE WINDOW (DOUBLE HUNG ON EITHER SIDE)
E	3'-0" X 3'-6"	6'-6"	DOUBLE HUNG
F	2'-6" X 3'-10"	7'-6"	FIXED OR OPERABLE CASEMENT
G	2'-0" X 3'-0"	6'-6"	DOUBLE HUNG
H	2'-0" X 2'-4"	6'-6"	FIXED OR OPERABLE CASEMENT
I	2'-0" X 1'-6"	MATCH EXISTING	FIXED OR OPERABLE CASEMENT
J	1'-6" X 2'-0"	FIRST FLOOR - MATCH EXIST SECOND FLOOR - 4'-0"	FIXED OR OPERABLE CASEMENT
K	1'-8" X 2'-4"	4'-9"	FIXED OR OPERABLE CASEMENT

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

*M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP)

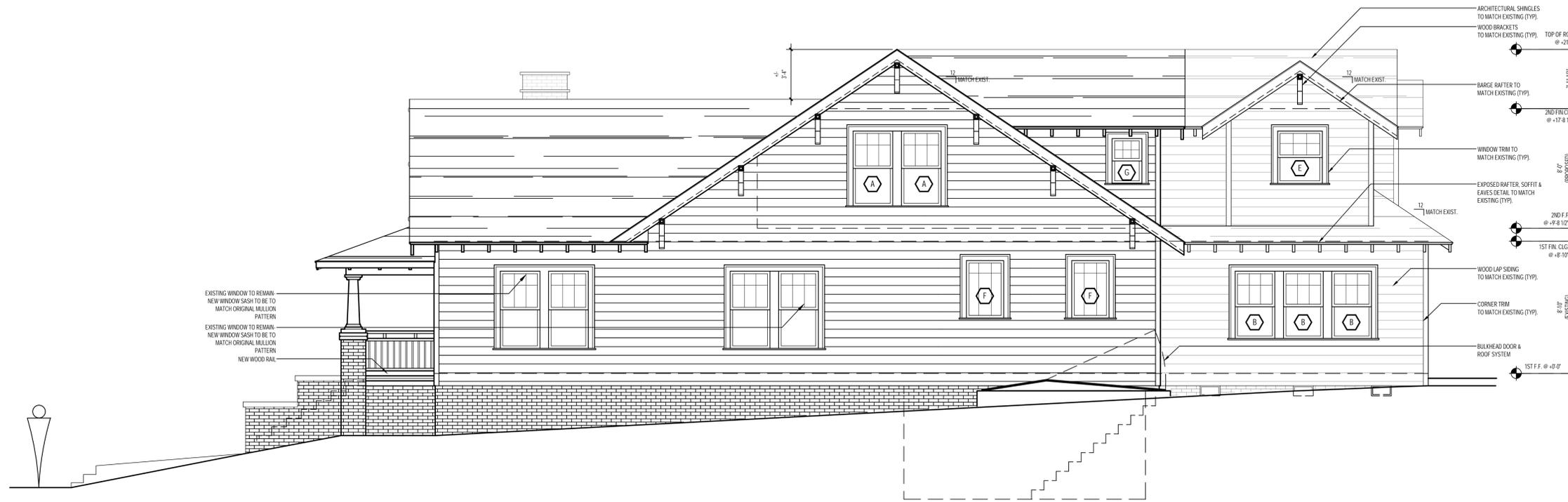
Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 6 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-11
OF THIRTEEN

OCTOBER



2 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

- ARCHITECTURAL SHINGLES TO MATCH EXISTING (TYP)
- WOOD BRACKETS TO MATCH EXISTING (TYP)
- TOP OF ROOF @ +21'-8"
- BARGE RAFTER TO MATCH EXISTING (TYP)
- 2ND FIN CLG @ +17'-8 1/2"
- WINDOW TRIM TO MATCH EXISTING (TYP)
- EXPOSED RAFTER, SOFFIT & EAVES DETAIL TO MATCH EXISTING (TYP)
- 2ND F.F. @ +8'-8 1/2"
- 1ST FIN CLG @ +8'-10"
- WOOD LAP SIDING TO MATCH EXISTING (TYP)
- CORNER TRIM TO MATCH EXISTING (TYP)
- BULKHEAD DOOR & ROOF SYSTEM
- 1ST F.F. @ +0'-0"

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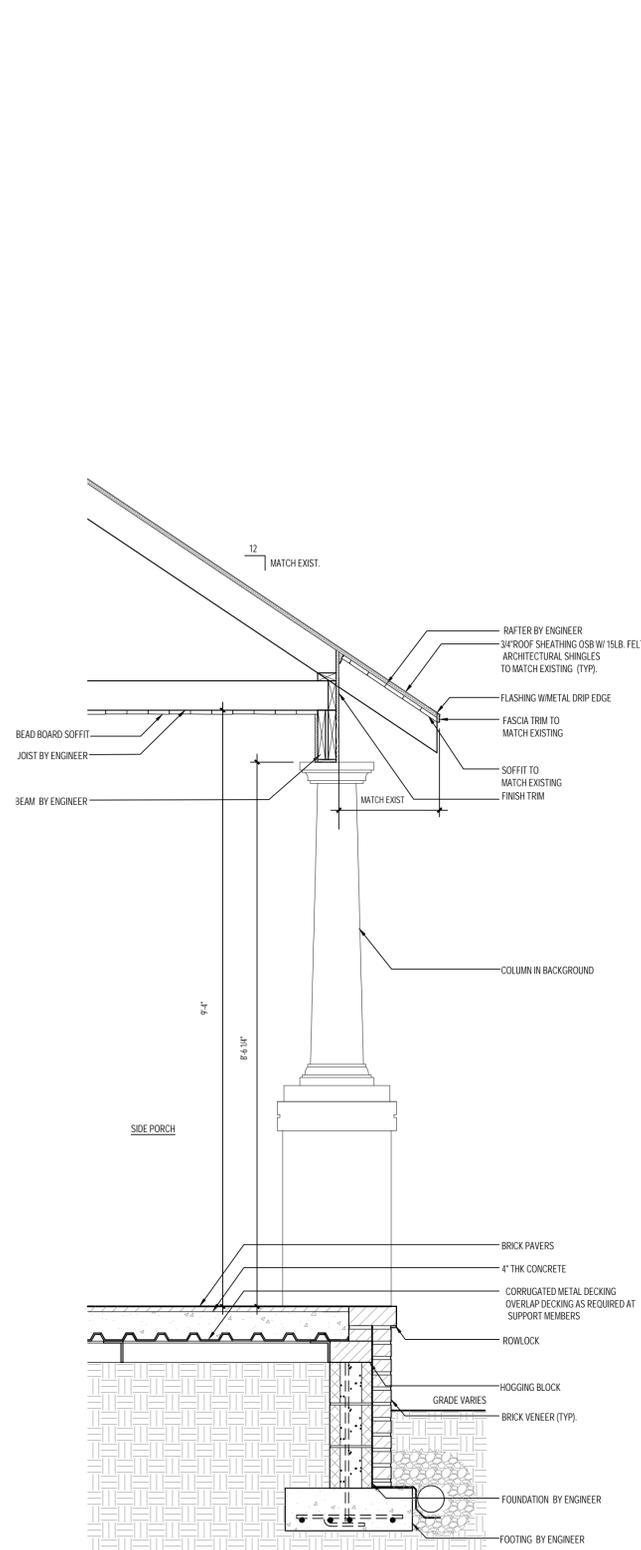
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Designed Exclusively For the:
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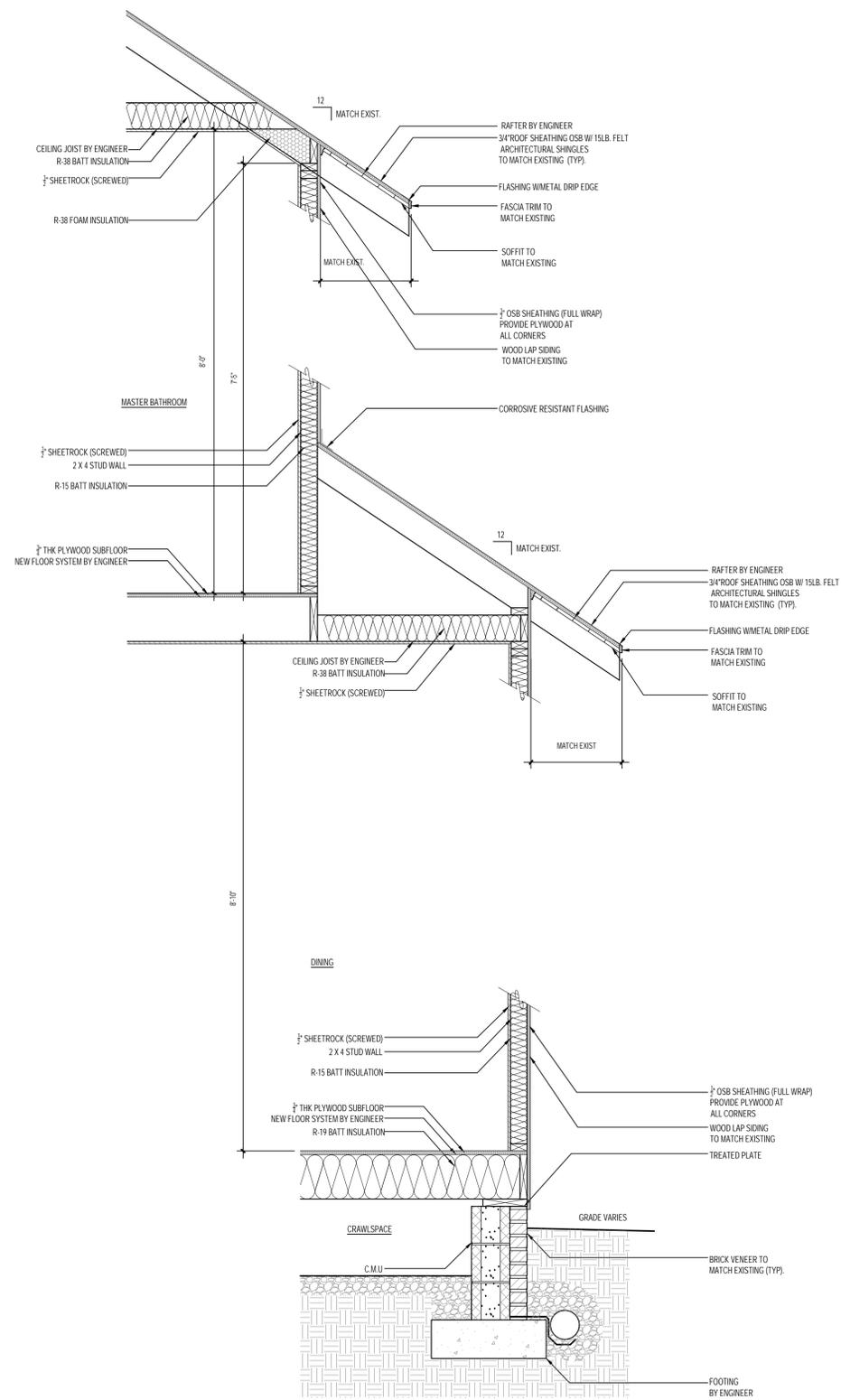
PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-11
OF THIRTEEN



2 SECTION THROUGH SIDE PORCH
3/4" = 1'-0"



1 SECTION THROUGH DINING & MASTER BATH
3/4" = 1'-0"

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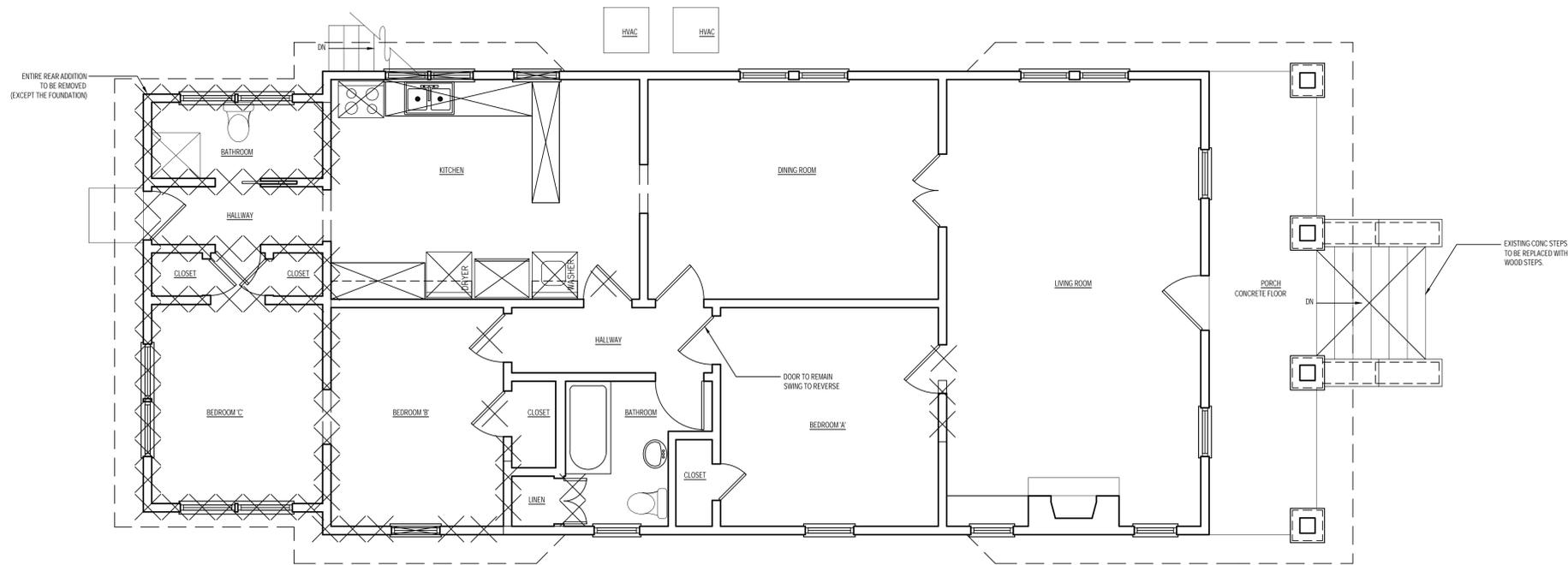
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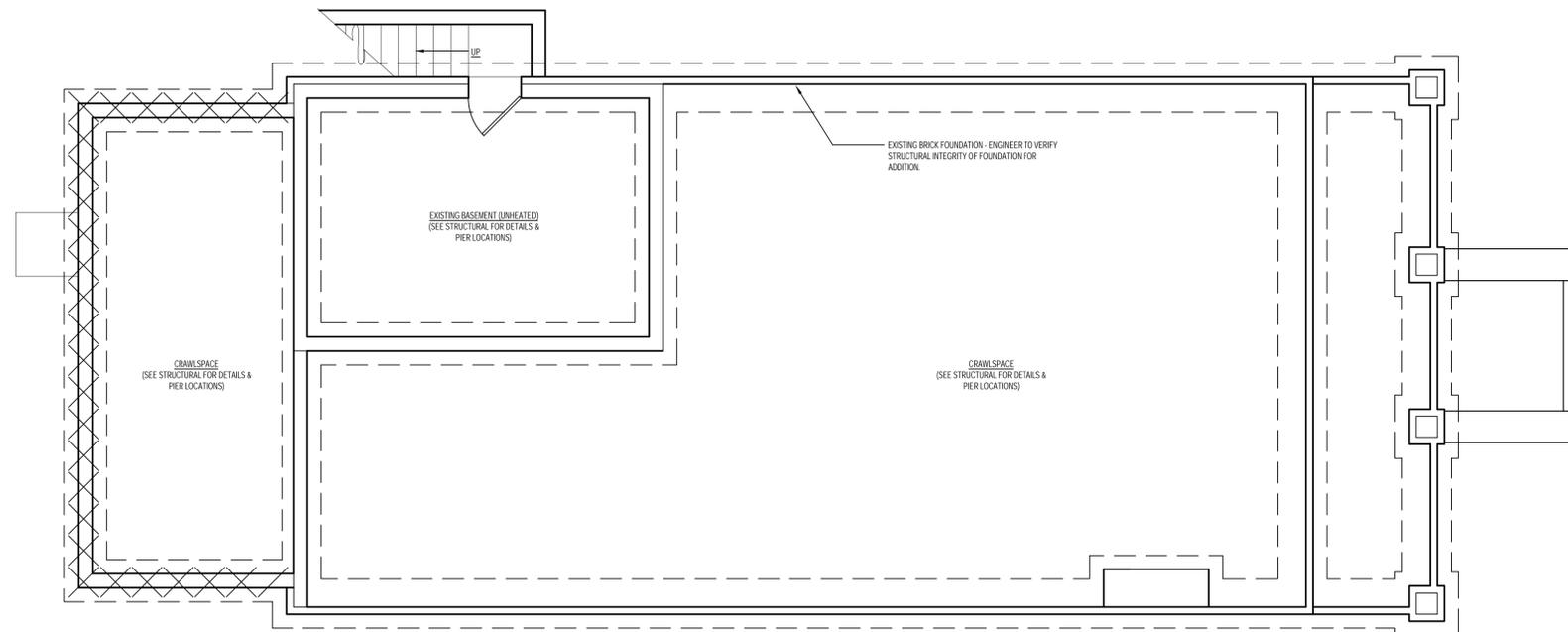
BUILDING SECTIONS

A-12

OF THIRTEEN



2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



1 EXISTING FOUNDATION PLAN
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KEY:
REMOVE WALL: [cross-hatched box]
REMOVE ITEM: X



Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

WINDOW SCHEDULE			
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NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DROP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

*M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 5 S.F. OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED PER CODE (TYP)

FIRST FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
101	3'-0" X 6'-8"	SIDE ENTRY
102	PR 2'-0" X 6'-8"	COAT CLOSET
103	PR 2'-0" X 6'-8"	EXISTING BEDROOM A
104	2'-8" X 6'-8" (DOUBLE SWING)	KITCHEN
105	PR 2'-0" X 6'-8"	LIVING
106	PR 2'-0" X 6'-8"	LIVING
107	PR 2'-0" X 6'-8"	LIVING

GENERAL NOTES:

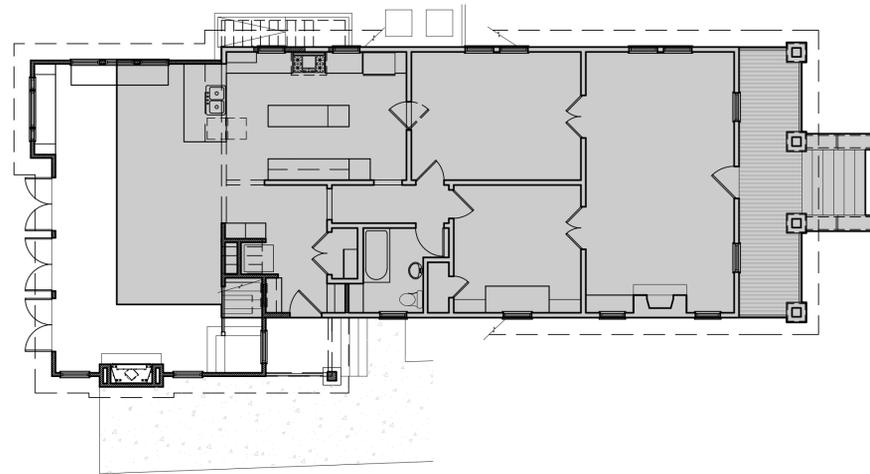
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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION.
- ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- PROPOSED COLUMNS TO MATCH EXISTING U.N.O.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES, RAFTER & SOFFIT DETAIL TO MATCH EXISTING U.N.O.
- ALL FASCIAS TO MATCH EXISTING U.N.O.
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

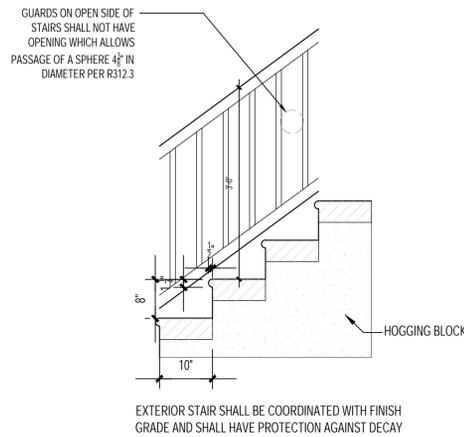
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 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
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 - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
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NOTE:

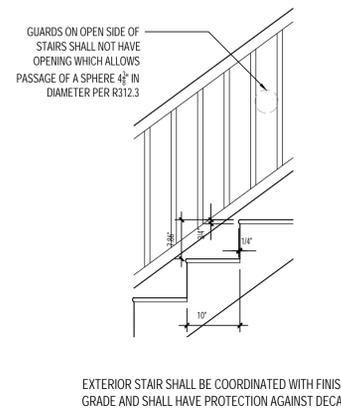
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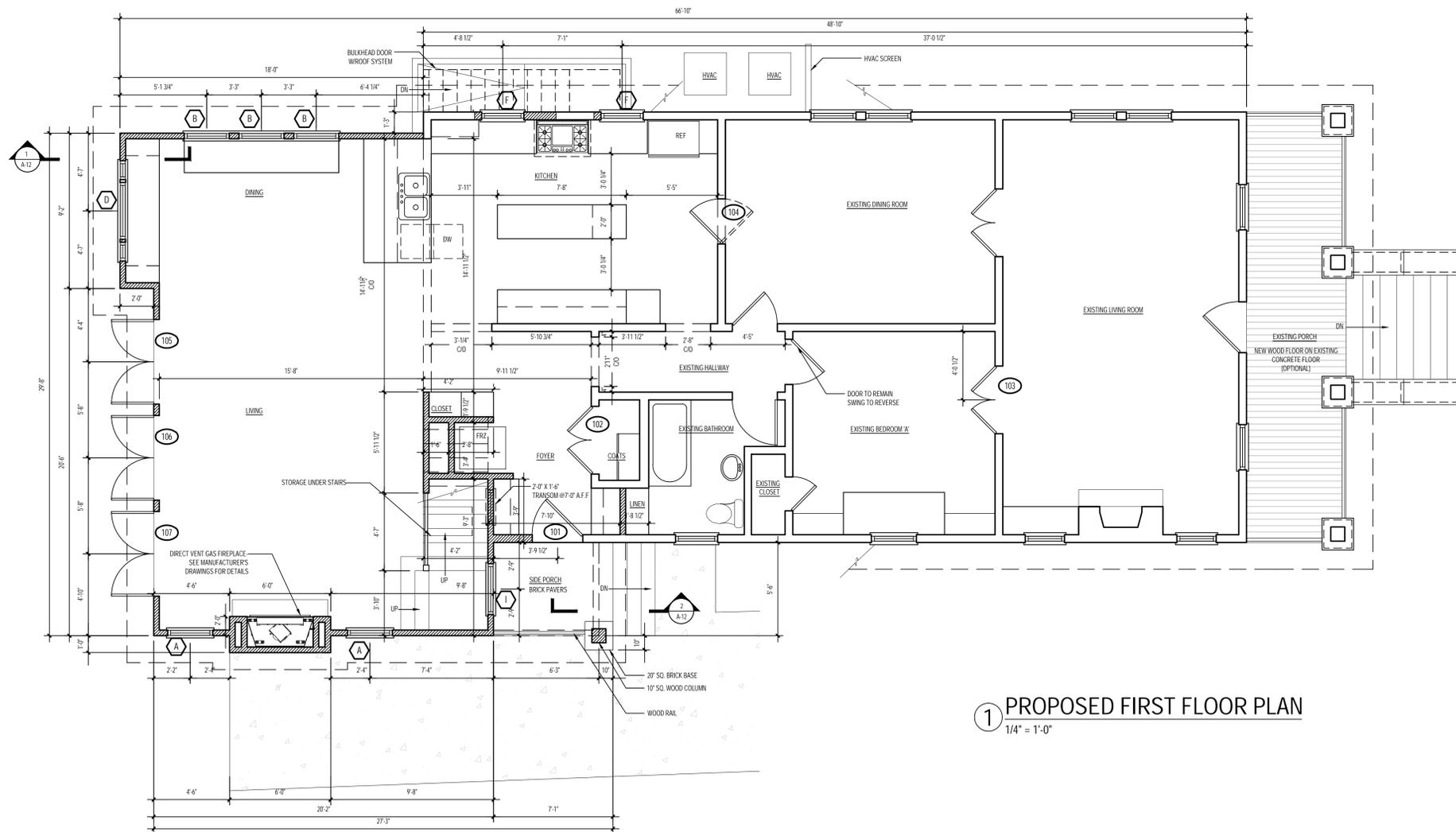
4 PROPOSED FIRST FLOOR PLAN WITH EXISTING HOUSE PROFILE
1/8" = 1'-0"



3 BRICK STAIR DETAIL
3/4" = 1'-0"

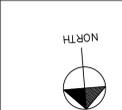


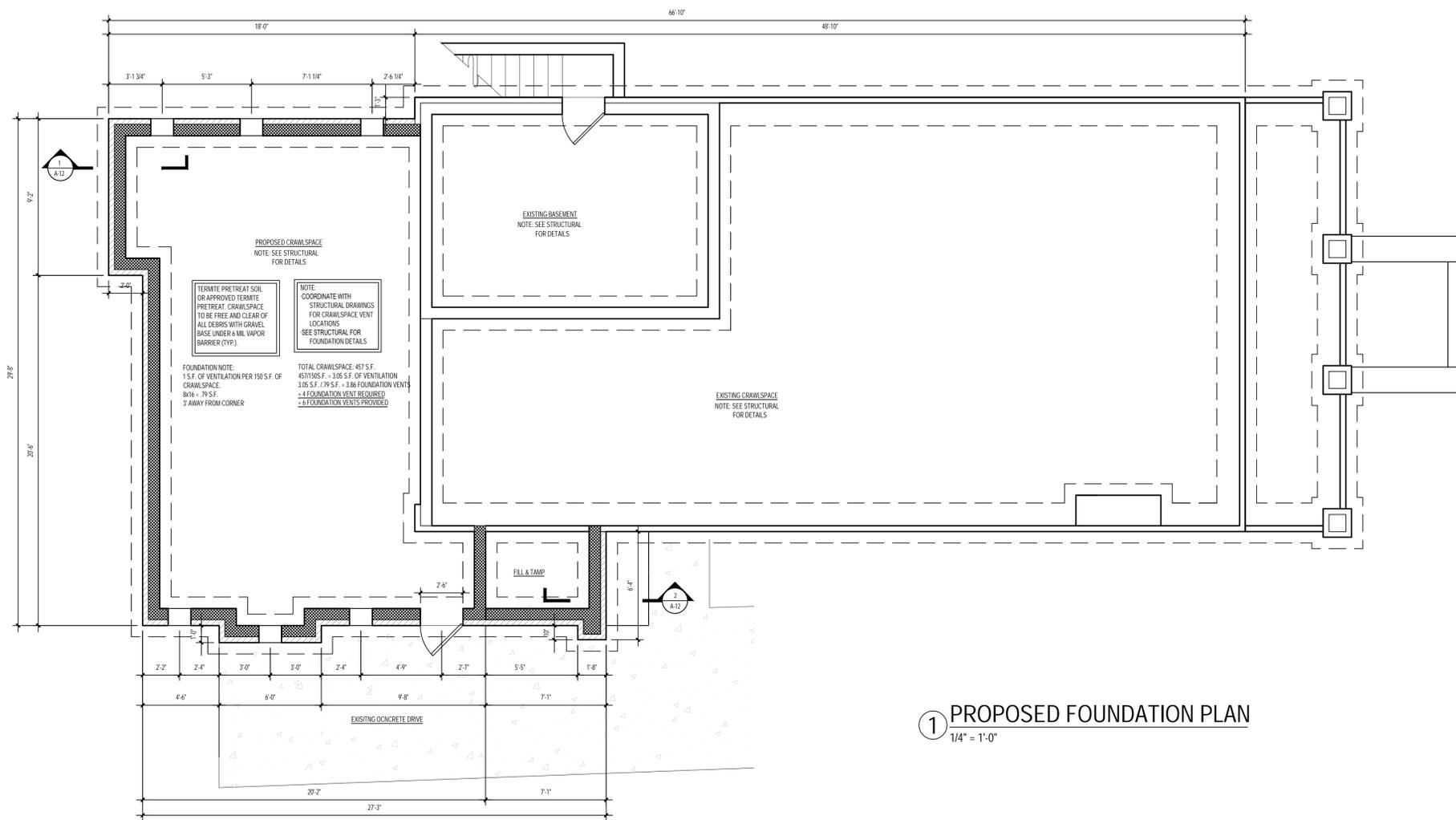
2 WOOD STAIR DETAIL (Interior /Exterior)
3/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

	NEW WALL
	BRICK VENEER
	MASONRY
	EXISTING WALL



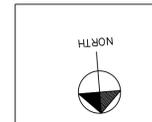
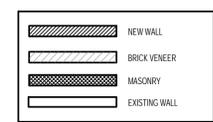


1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

- GENERAL NOTES:**
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 - ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
 - FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
 - ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
 - FACE OF STUD TO ALIGN WITH FACE OF BRICK @ FOUNDATION
 - ALL DIMENSIONS ARE TO FACE OF STUD & FACE OF BRICK @ FOUNDATION
 - STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
 - INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8"
 - ALL RISERS TO BE SOLID.
 - ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
 - RAILS TO BE 36" IN HEIGHT
 - PROPOSED COLUMNS TO MATCH EXISTING U.N.O
 - NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
 - USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
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 - CONTINUOUS EAVE VENT U.N.O.

- STAIRS, RAILING & GUARD NOTES:**
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Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

PROPOSED FOUNDATION PLAN
A-6
OF THIRTEEN

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	FIRST FLOOR MATCH EXIST SECOND FLOOR 6'-6"	DOUBLE HUNG
B	2'-0" X 4'-6"	MATCH EXISTING	DOUBLE HUNG
C	2'-6" X 4'-6"	6'-6"	DOUBLE HUNG
D	3'-4" X 4'-0" W/ 2" X 4'-0" ON EITHER SIDES	MATCH EXISTING	PICTURE WINDOW DOUBLE HUNG ON EITHER SIDE
E	3'-0" X 3'-6"	6'-6"	DOUBLE HUNG
F	2'-6" X 3'-10"	7'-6"	FIXED OR OPERABLE CASEMENT
G	2'-0" X 3'-0"	6'-6"	DOUBLE HUNG
H	2'-0" X 2'-4"	6'-6"	FIXED OR OPERABLE CASEMENT
I	3'-0" X 1'-6"	MATCH EXISTING	FIXED OR OPERABLE CASEMENT
J	1'-6" X 2'-0"	4'-0"	FIXED OR OPERABLE CASEMENT
K	1'-6" X 2'-4"	4'-9"	FIXED OR OPERABLE CASEMENT

NOTE: MATCH TRIM DETAILS W/ WOOD DROP CAP (W/ FLASHING) & BACK BAND TRIM @ WINDOWS.

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*M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 4" S.F. OF GLASS OR MORE & LESS THAN 1" A.F.F. MUST BE TEMPERED PER CODE (TYP)

SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-0" X 6'-8"	BEDROOM C
202	PR 2'-0" X 6'-8"	CLOSET OF BEDROOM C
203	PR 2'-6" X 6'-8"	LAUNDRY
204	2'-0" X 6'-8"	BEDROOM B
205	PR 1'-6" X 6'-8"	CLOSET OF BEDROOM B
206	2'-0" X 6'-8"	BATHROOM B
207	PR 1'-6" X 6'-8"	LINEN CLOSET
208	2'-0" X 6'-8"	MASTER BEDROOM
209	2'-6" X 6'-8" (POCKET DOOR)	MASTER BATH
210	2'-0" X 6'-8"	MASTER CLOSET
211	2'-8" WIDE (VERIFY HEIGHT)	TO ATTIC

GENERAL NOTES:

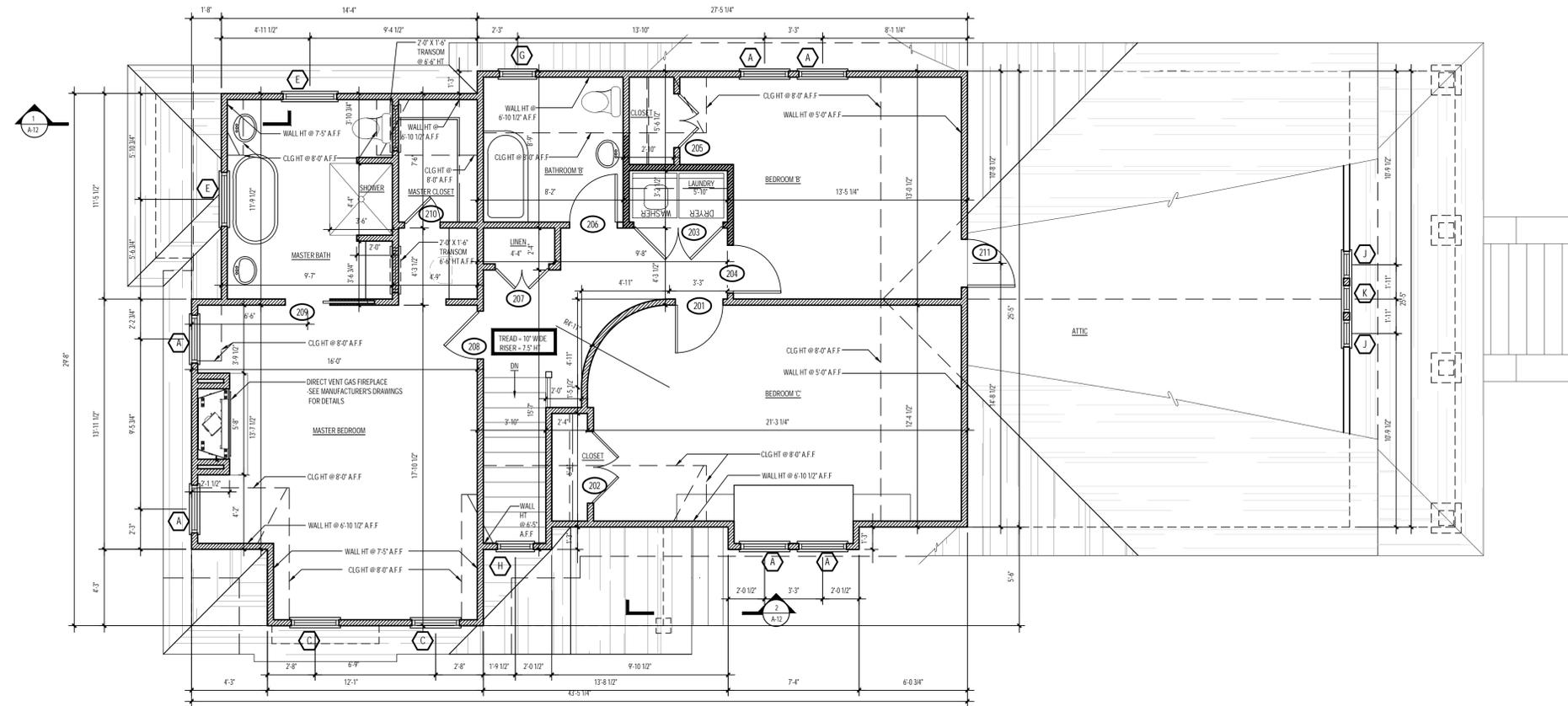
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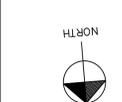
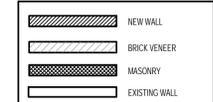
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1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES:

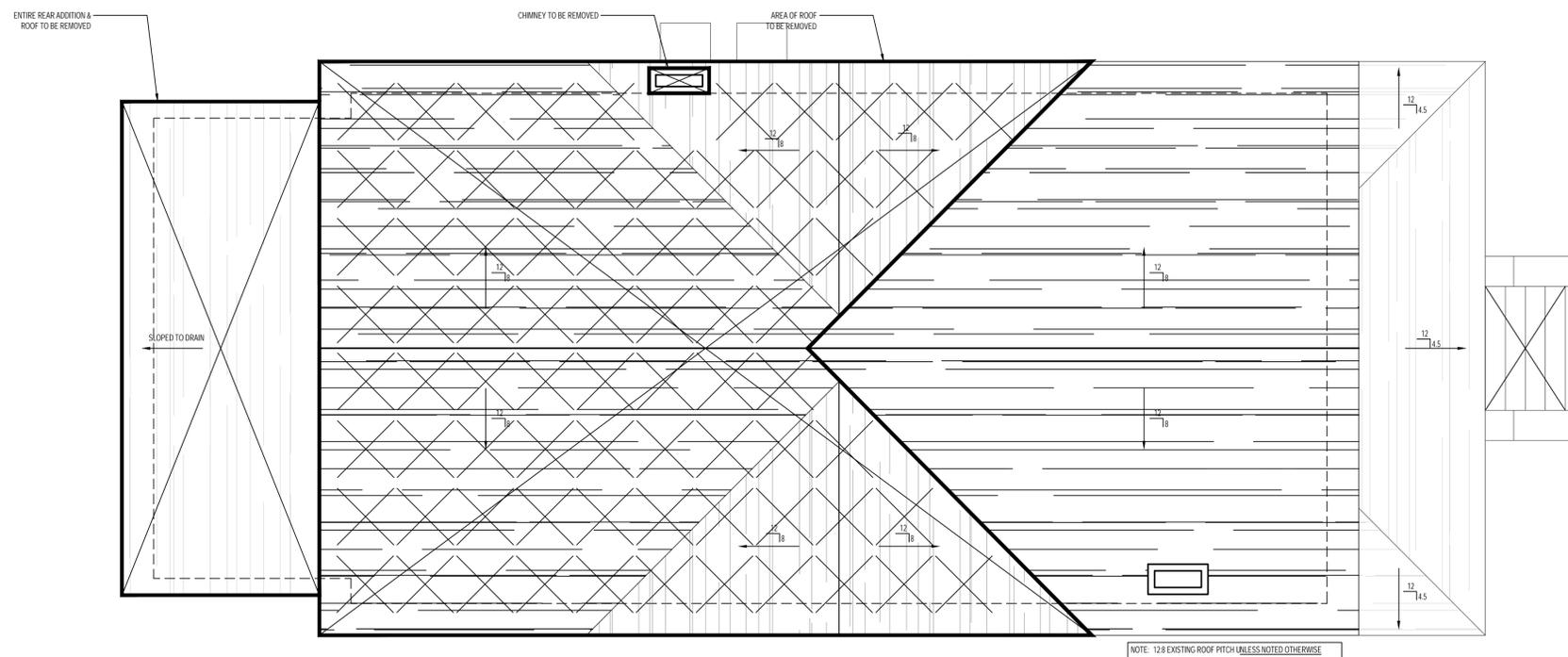
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18. CONTINUOUS EAVE VENT U.N.O.

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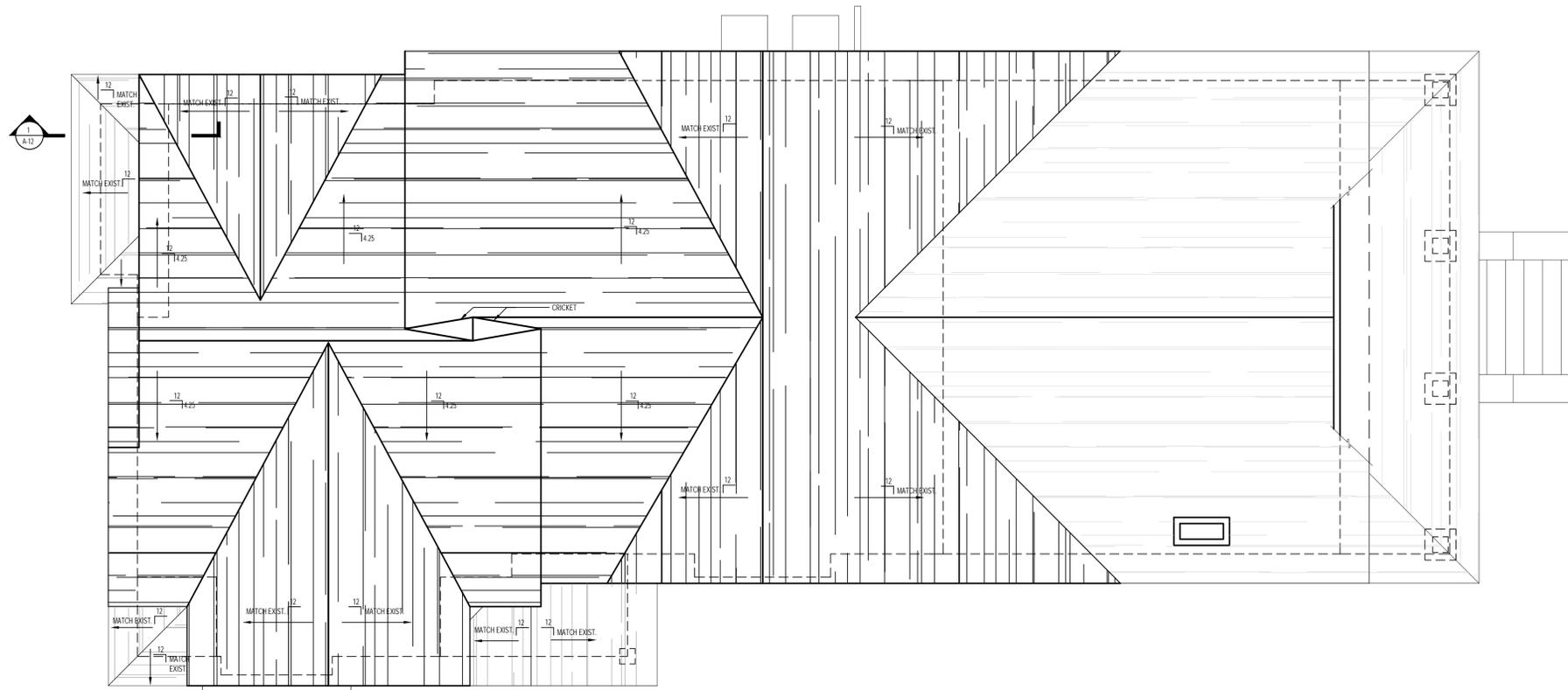
1 EXISTING ROOF PLAN
1/4" = 1'-0"

Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

EXISTING PLANS

A-3
OF THIRTEEN



② PROPOSED ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES:

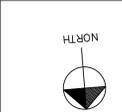
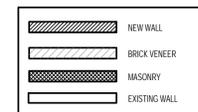
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6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/8 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECT'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



Designed Exclusively For the:
CARLISLE RESIDENCE
1416 Pecan Avenue, Charlotte, NC 28205

PROJECT #: 15081
ISSUED: 21 SEPT 2017
REVISIONS:

PROPOSED ROOF PLAN

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