

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 604 East Worthington Avenue

SUMMARY OF REQUEST: Addition

APPLICANT: Zack Alsentzer

Details of Proposed Request

Existing Context

The existing structure is a two story Bungalow listed as a contributing structure in the Dilworth National Register of Historic Places (originally 1.5 story). The second story addition was approved by the HDC in 1999. Adjacent structures are one to two story houses.

Project

The project is a rear addition that ties in beneath the ridge line but extends 3-4 feet on the right side. The front gable window would be converted to a set of three windows. New materials and trim will match the house. Porch columns, rails and deck are wood. The new outdoor chimney is brick.

Policy & Design Guidelines for Additions, page 7.2

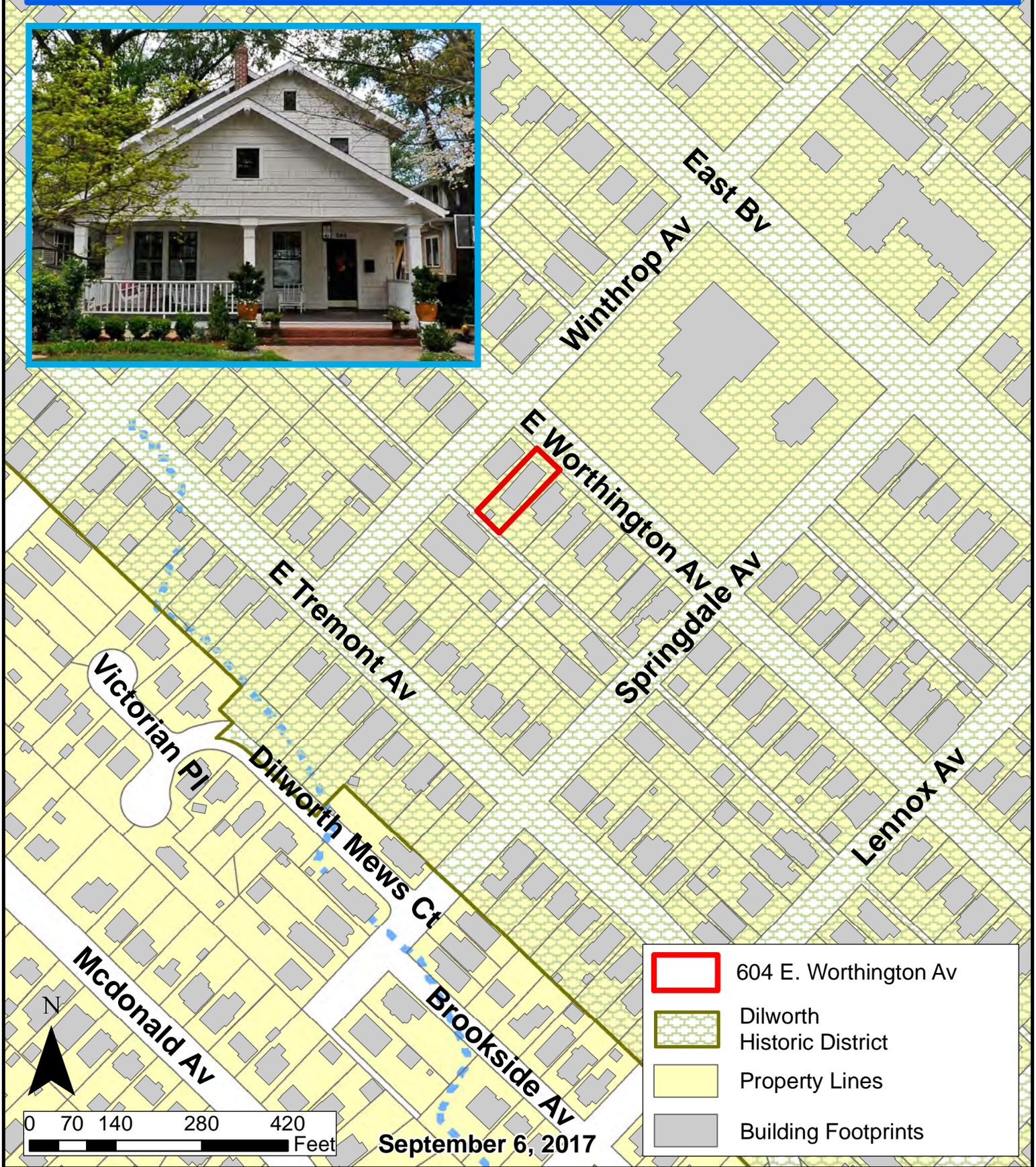
1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria			Page #
Setback	in relationship to setback of immediate surroundings		6.2
Spacing	the side distance from adjacent buildings as it relates to other buildings		6.3
Orientation	the direction of the front of the building as it relates to other buildings in the district		6.4
Massing	the relationship of the buildings various parts to each other		6.5
Height and Width	the relationship to height and width of buildings in the project surroundings		6.6
Scale	the relationship of the building to those around it and the human form		6.7
Directional Expression	the vertical or horizontal proportions of the building as it relates to other buildings		6.8
Foundations	the height of foundations as it relates to other buildings in project surroundings		6.9
Roof Form and Materials	as it relates to other buildings in project surroundings		6.10
Cornices and Trim	as it relates to the stylistic expression of the proposed building		6.11
Doors and Windows	the placement, style and materials of these components		6.12
Porches	as it relates to the stylistic expression of the proposed building and other buildings in the district.		6.14
Materials	proper historic materials or approved substitutes		6.15
Size	the relationship of the project to its site		6.2 & 3
Rhythm	the relationship of windows, doors, recesses and projections		6.12
Context	the overall relationship of the project to its surroundings.		6.1-16
Landscaping	a tool to soften and blend the project with the district		8.1-11

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis -The Commission will determine if the proposal meets the guidelines for additions.

Charlotte Historic District Commission Case 2017-464
HISTORIC DISTRICT: DILWORTH
ADDITION





A



B



C



D



E

NOT FOR CONSTRUCTION

**604 E. Worthington Ave.
 Remodel and Addition**

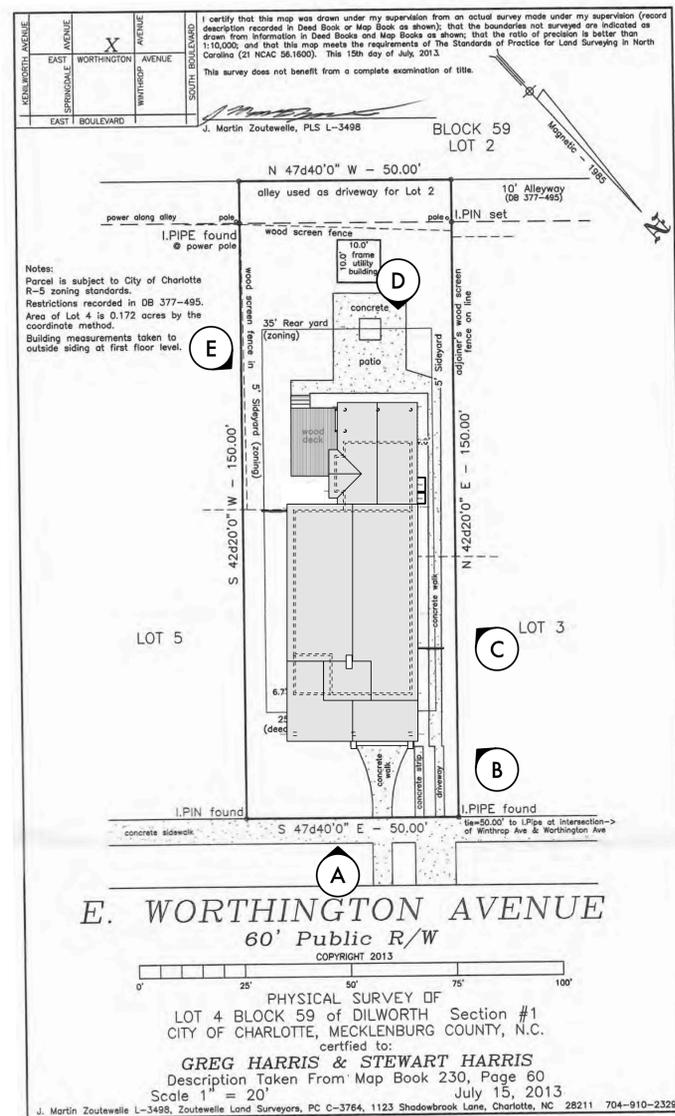
Prepared for: Stewart Harris

Project name/#: 604 E. Worthington Ave Remodel / 016011
 CAD File Name: 604_EastWorthingtonAve_2017.vwx
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Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Site Plan & Survey

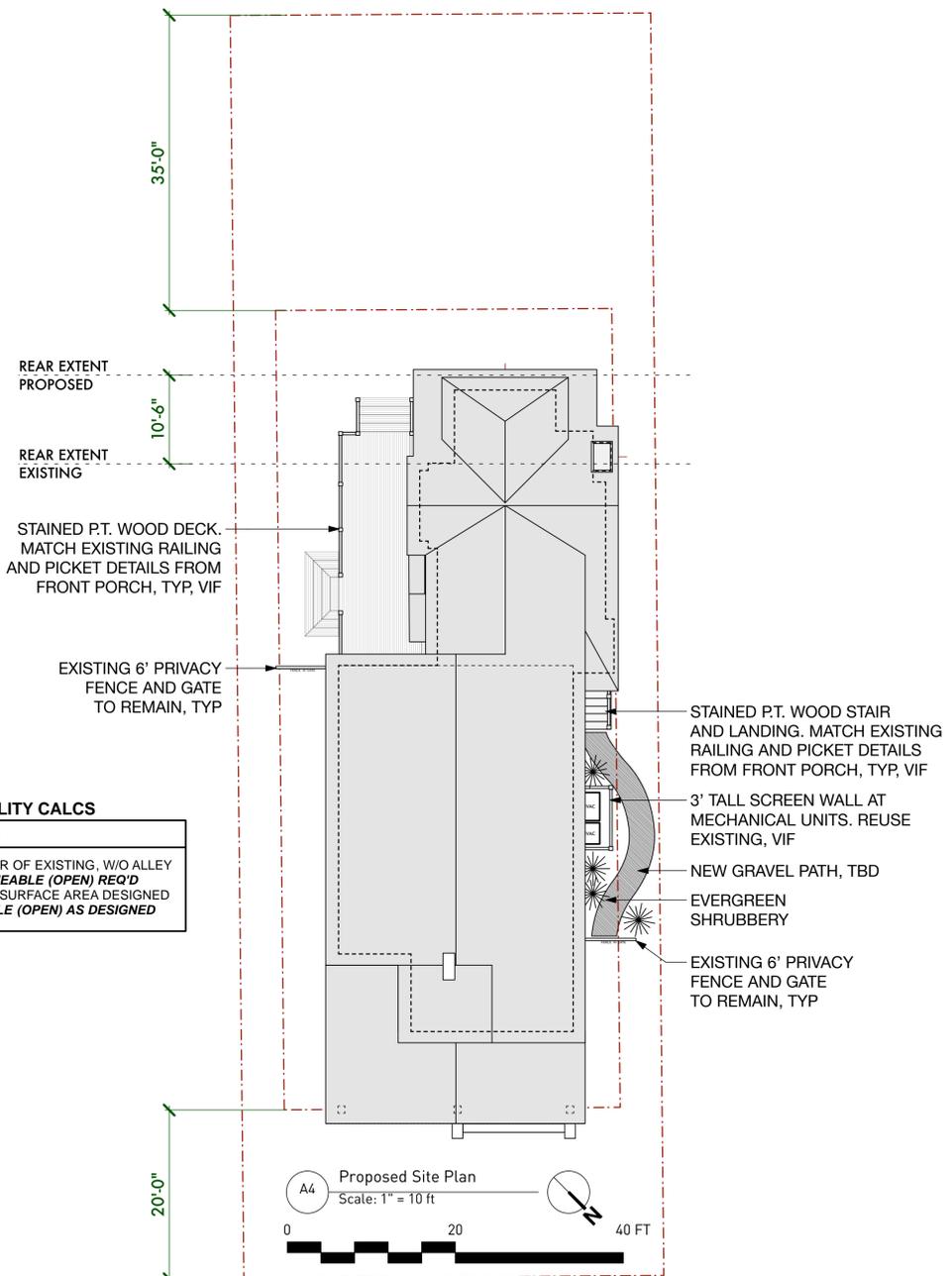
A001



A1 Property Survey
 Scale: 1" = 20 ft

604 EAST WORTHINGTON AVENUE - REAR YARD PERMEABILITY CALCS

AREA DESCRIPTION	SQFT AREAS	% CALCULATIONS
EXISTING REAR YARD AREA (W/O ALLEY)	2151 sqft	100% FROM REAR OF EXISTING, W/O ALLEY
MIN. PERMEABLE SURFACE REQ'D	1075 sqft	50% MIN. PERMEABLE (OPEN) REQ'D
ROOFS, WALKS, SHEDS AS DESIGNED	244 sqft	23% COVERED SURFACE AREA DESIGNED
PERMEABLE AS DESIGNED	2950 sqft	77% PERMEABLE (OPEN) AS DESIGNED

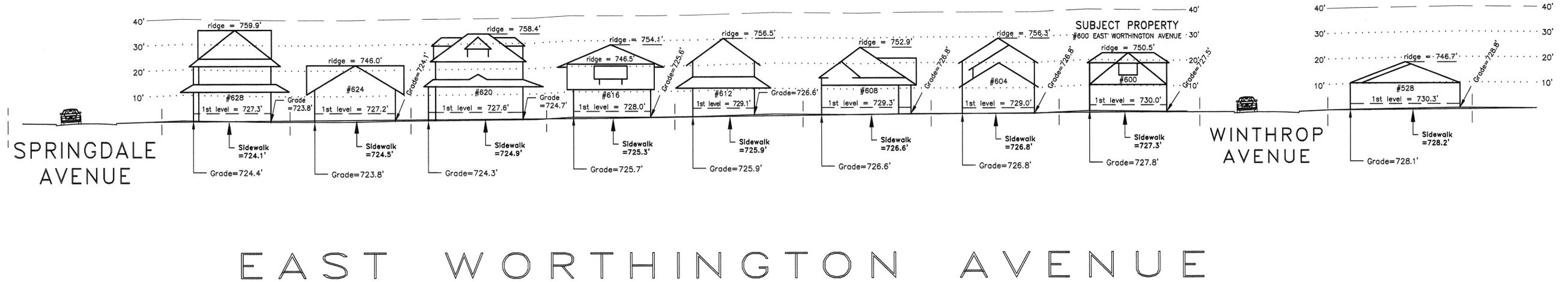


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 8th day of July, 2014.



A.G.Z.
 Andrew G. Zoutewelle
 Professional Land Surveyor
 NC License No. L-3098

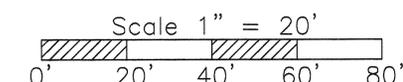


A.G. ZOUTEWELLE
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 1418 East Fifth St. Charlotte, NC 28204
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 Firm Licensure Number C-1054

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 Building Heights Sketch of
600 BLOCK of WORTHINGTON AVENUE
FACING SOUTHWEST
 CHARLOTTE, MECKLENBURG COUNTY, N.C.
 for Charlotte-Mecklenburg Planning Department
 July 02, 2014

General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





600



604



608



612



616



620



624



628

600 Block of East Worthington Avenue

FRONT ELEVATION



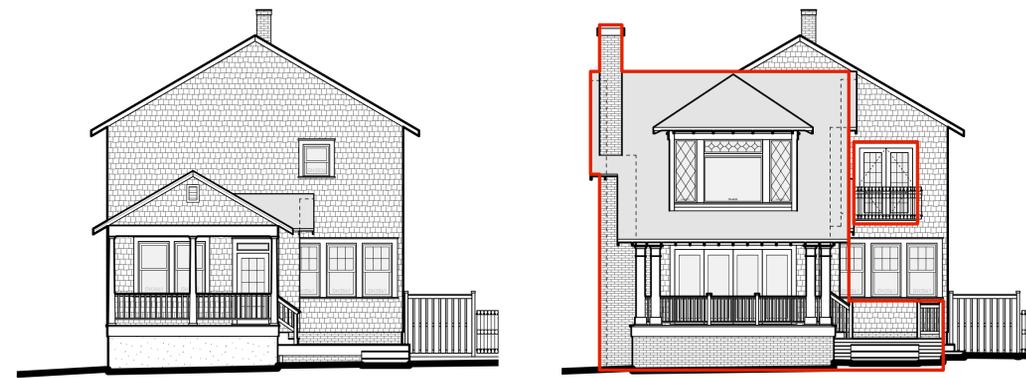
C1 Existing Front Elevation
Scale: 1/8" = 1'-0"

C2 Proposed Front Elevation
Scale: 1/8" = 1'-0"

EXISTING

PROPOSED

REAR ELEVATION



C4 Existing Rear Elevation
Scale: 1/8" = 1'-0"

C5 Proposed Rear Elevation
Scale: 1/8" = 1'-0"

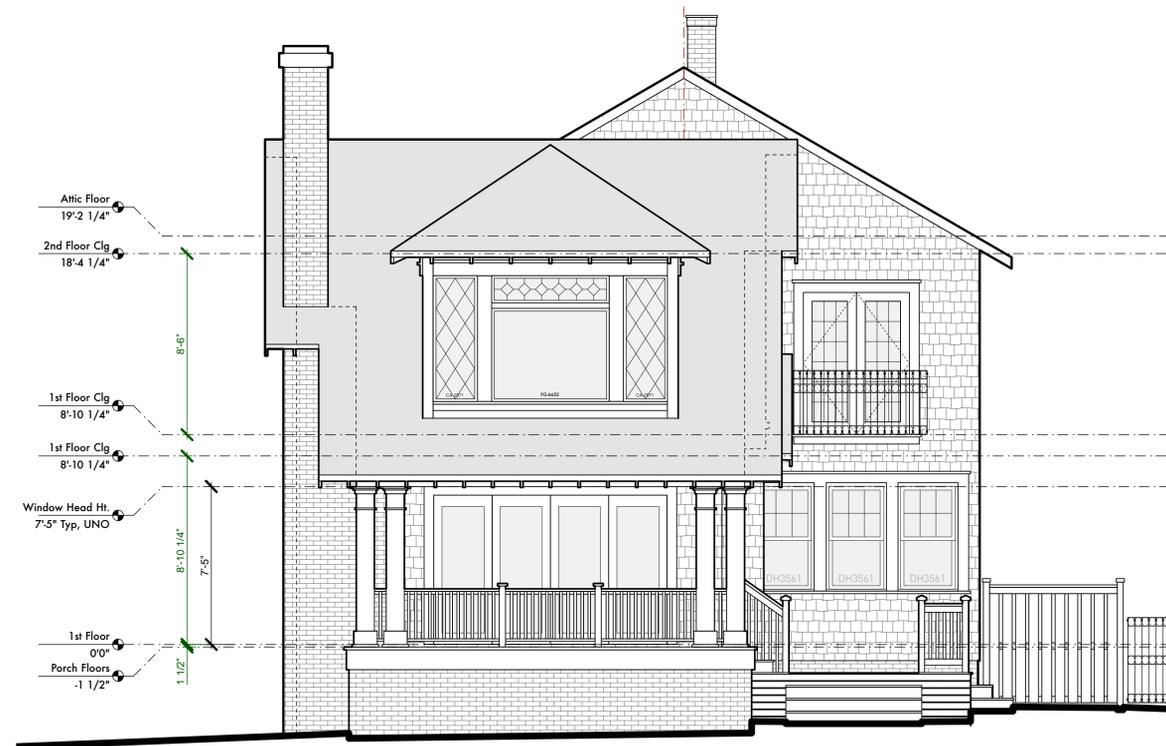
EXISTING

PROPOSED



A1 Proposed Front Elevation
Scale: 1/4" = 1'-0"

PROPOSED (ENLARGED)



A4 Proposed Rear Elevation
Scale: 1/4" = 1'-0"

PROPOSED (ENLARGED)

NOT FOR CONSTRUCTION

604 E. Worthington Ave.
Remodel and Addition

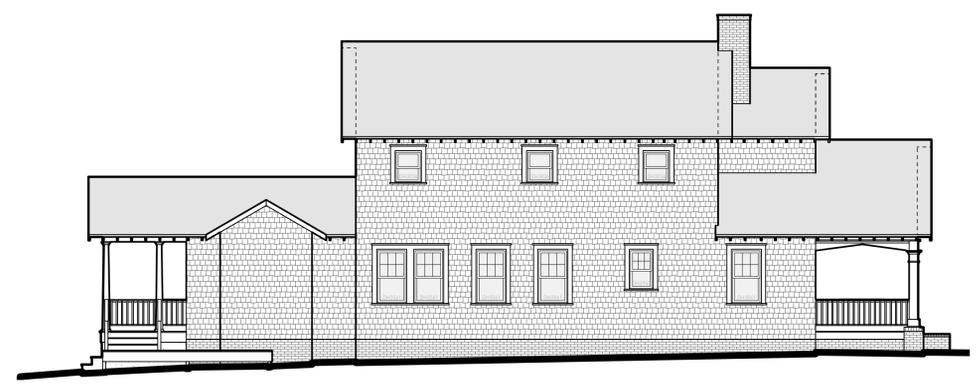
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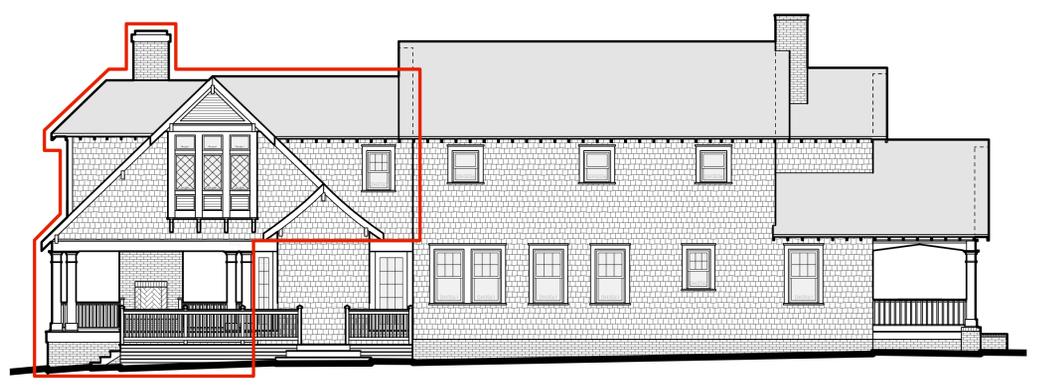
Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Elevations - Front & Rear

1 2 3 4 5



C1 Existing Left Elevation
 Scale: 1/8" = 1'-0" **EXISTING**



C4 Proposed Left Elevation
 Scale: 1/8" = 1'-0" **PROPOSED**

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A1 Proposed Left Elevation
 Scale: 1/4" = 1'-0" **PROPOSED (ENLARGED)**

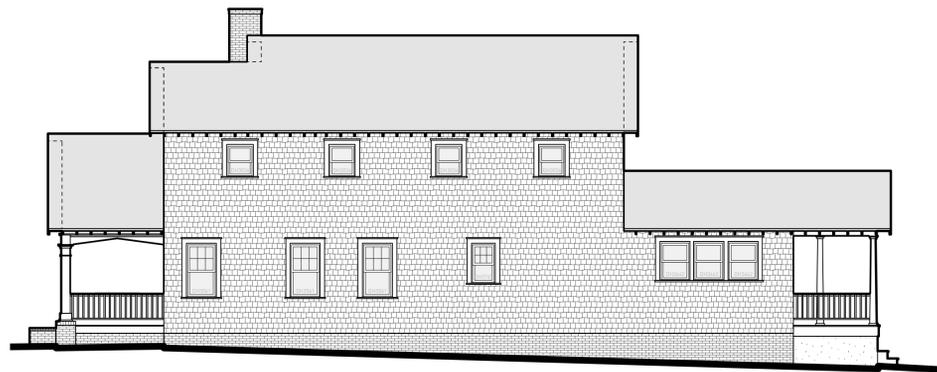
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Elevation - Left

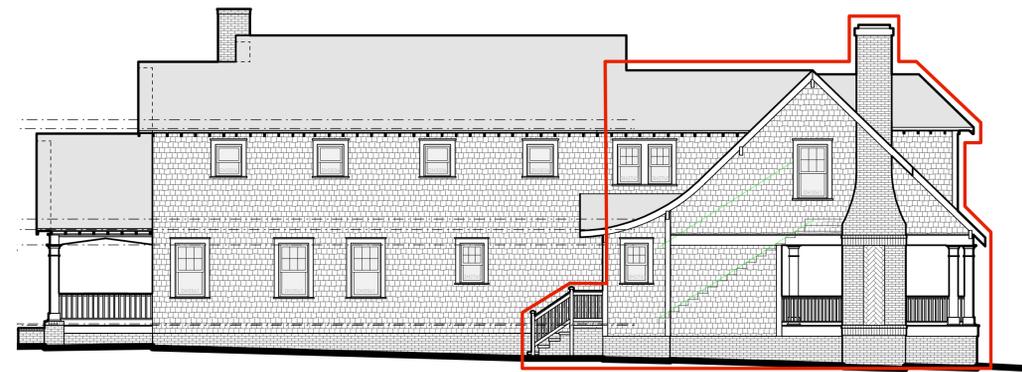
A201

1 2 3 4 5

1 2 3 4 5



C1 Existing Right Elevation
Scale: 1/8" = 1'-0" **EXISTING**



C4 Proposed Right Elevation
Scale: 1/8" = 1'-0" **PROPOSED**

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A1 Proposed Right Elevation
Scale: 1/4" = 1'-0" **PROPOSED (ENLARGED)**

Mark	Date	Description
01	09/13/2017	HDC Review Set 01

Elevations - Right

A202

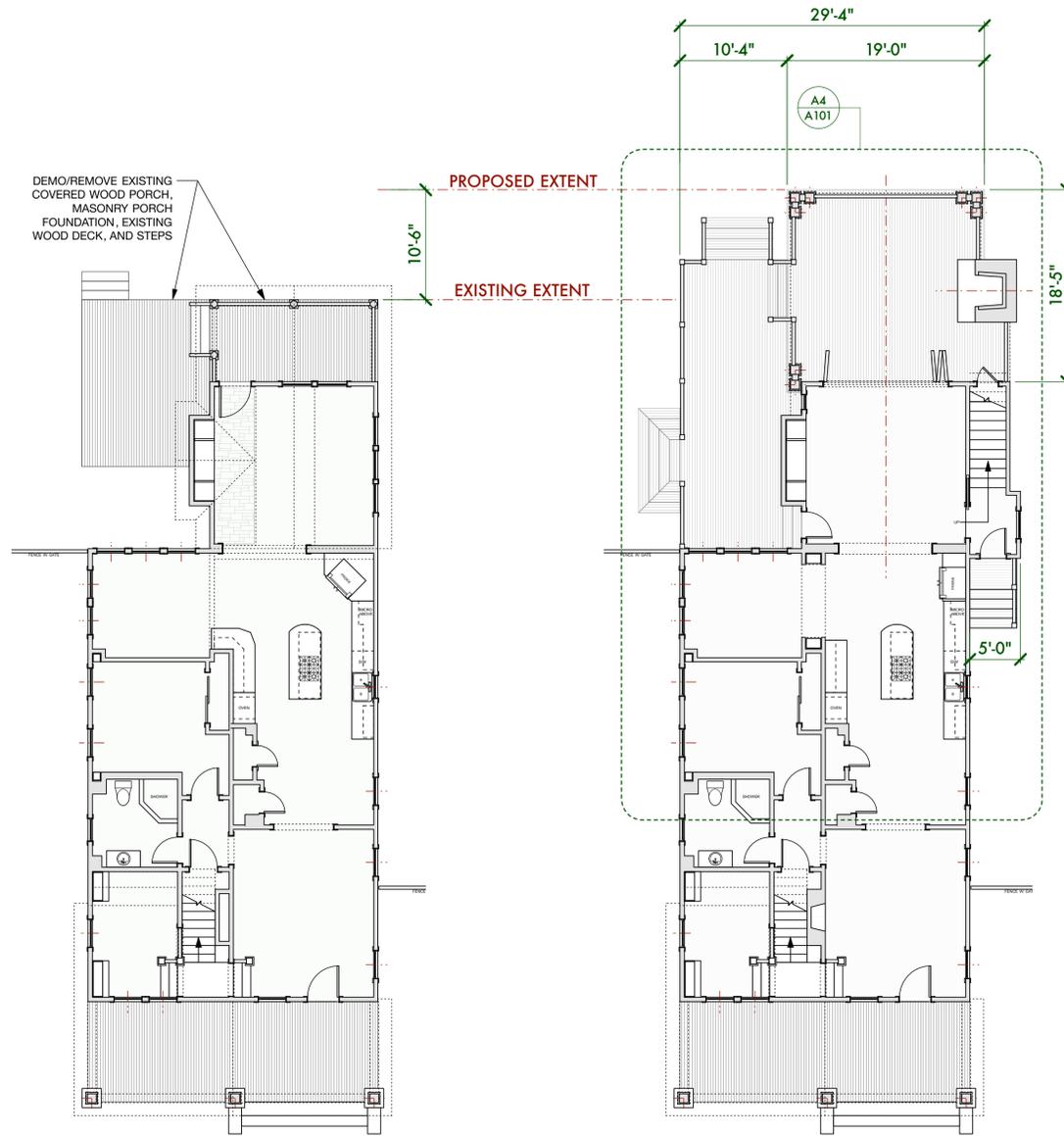
1 2 3 4 5

EXISTING HEATED AREA	
Existing 1st Flr	1488
Existing 2nd Flr	1073
Total	2561

PROPOSED HEATED AREA	
1st Flr	1568
2nd Flr	1609
Total	3277

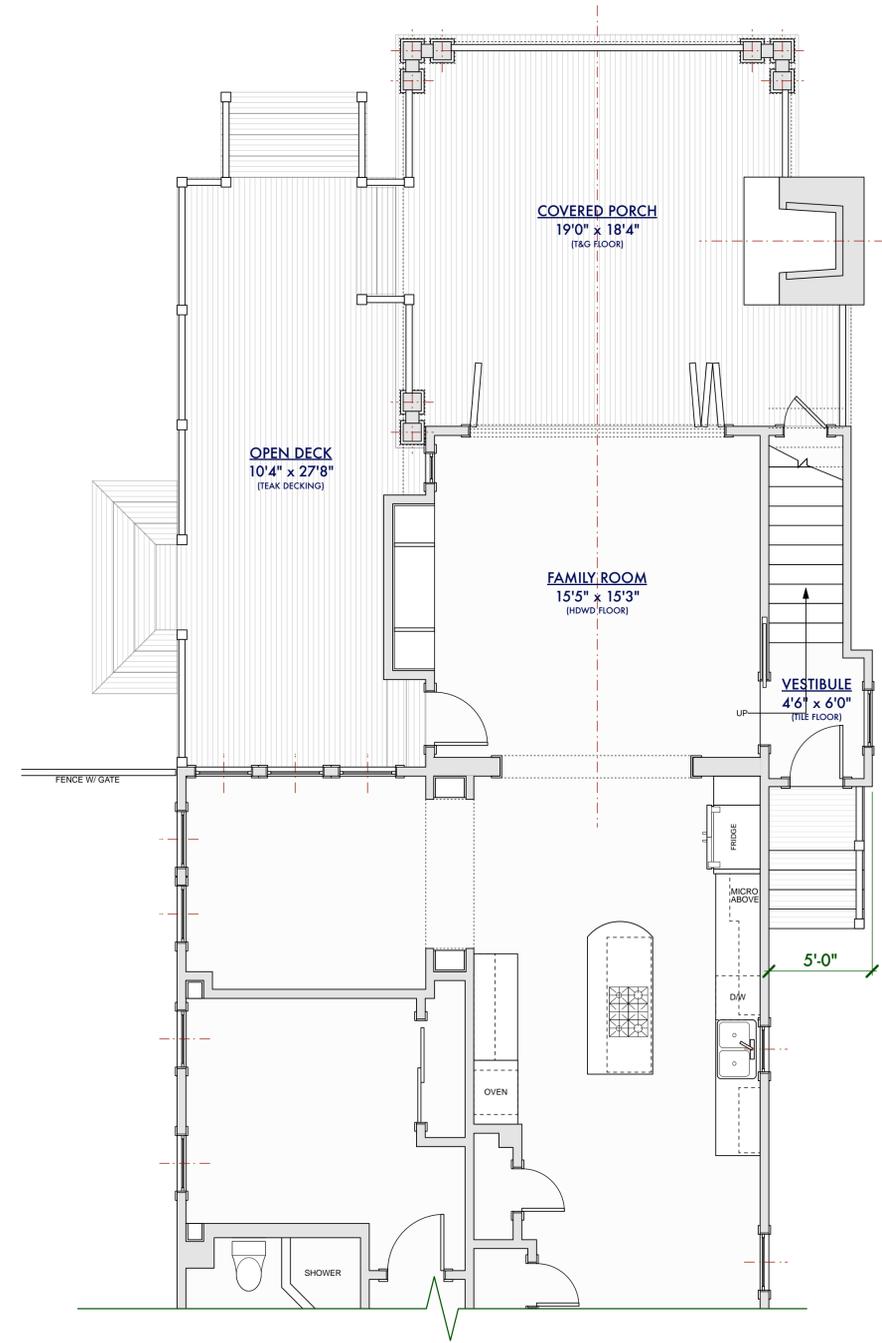
EXISTING UNHEATED AREA	
Front Porch (Covered)	268
Rear Porch (Covered)	128
Total	396

PROPOSED UNHEATED AREA	
Front Porch (Covered)	268
Rear Porch (Covered)	315
Total	583



EXISTING

A1 Existing First Floor
 Scale: 1/8" = 1'-0"



PROPOSED (ENLARGED)

A4 Proposed First Floor
 Scale: 1/4" = 1'-0"

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Floor Plan
 First Floor

A101

NOT FOR CONSTRUCTION

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Floor Plan
 Second Floor

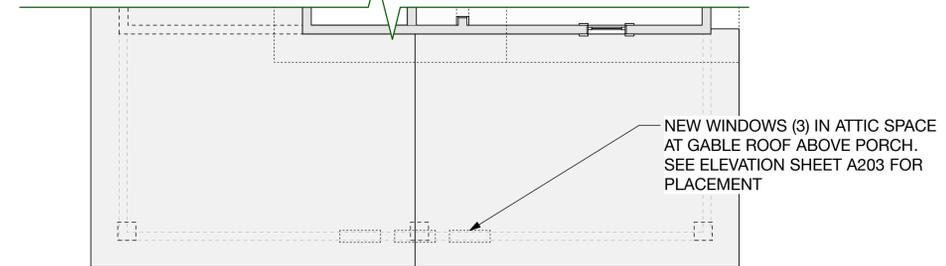
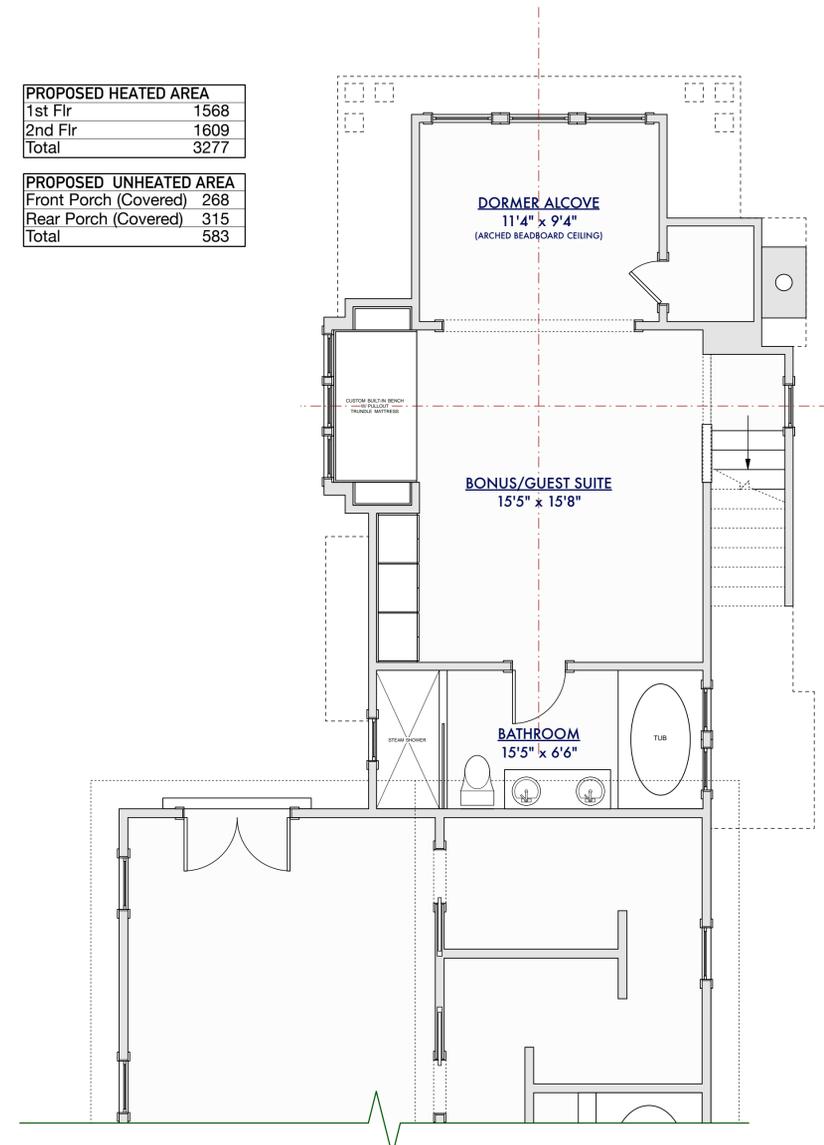
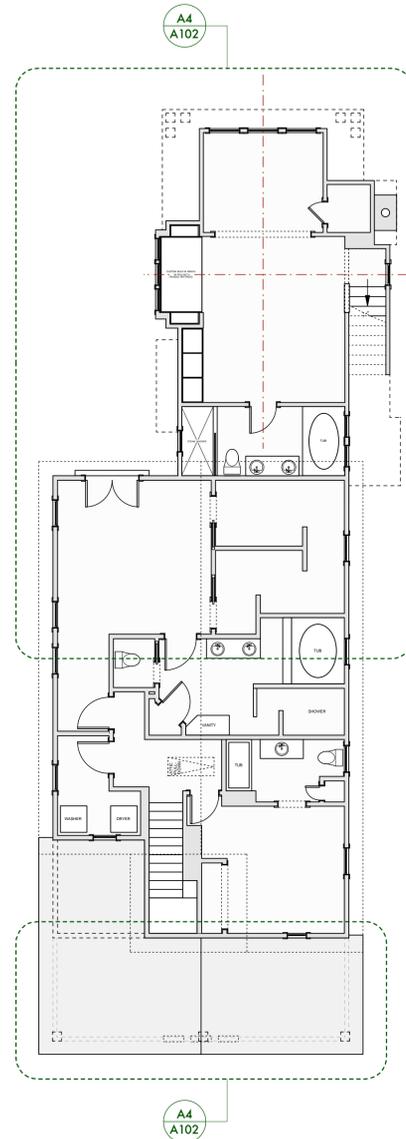
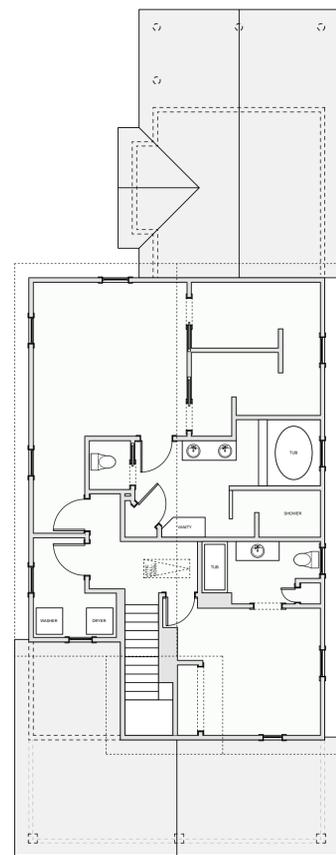
A102

EXISTING HEATED AREA	
Existing 1st Flr	1488
Existing 2nd Flr	1073
Total	2561

PROPOSED HEATED AREA	
1st Flr	1568
2nd Flr	1609
Total	3277

EXISTING UNHEATED AREA	
Front Porch (Covered)	268
Rear Porch (Covered)	128
Total	396

PROPOSED UNHEATED AREA	
Front Porch (Covered)	268
Rear Porch (Covered)	315
Total	583



NEW WINDOWS (3) IN ATTIC SPACE
 AT GABLE ROOF ABOVE PORCH.
 SEE ELEVATION SHEET A203 FOR
 PLACEMENT

EXISTING

A1 Existing Second Floor
 Scale: 1/8" = 1'-0"

PROPOSED

A2 Proposed Second Floor
 Scale: 1/8" = 1'-0"

PROPOSED (ENLARGED)

A4 Proposed First Floor
 Scale: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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Remodel and Addition**

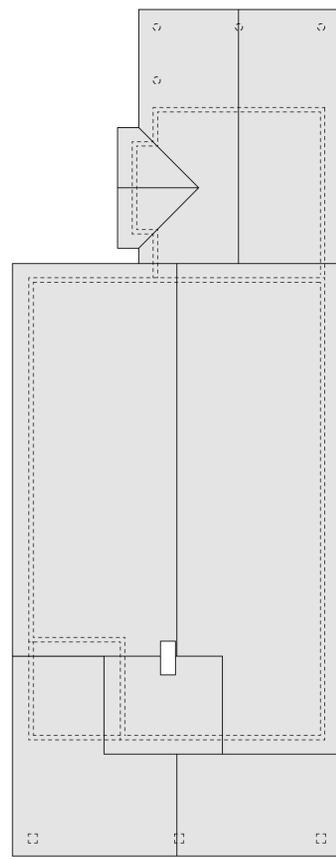
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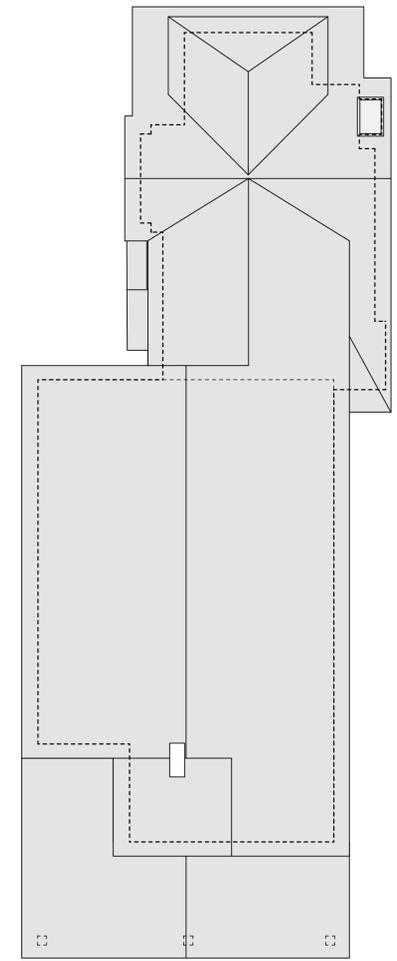
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Roof Plan

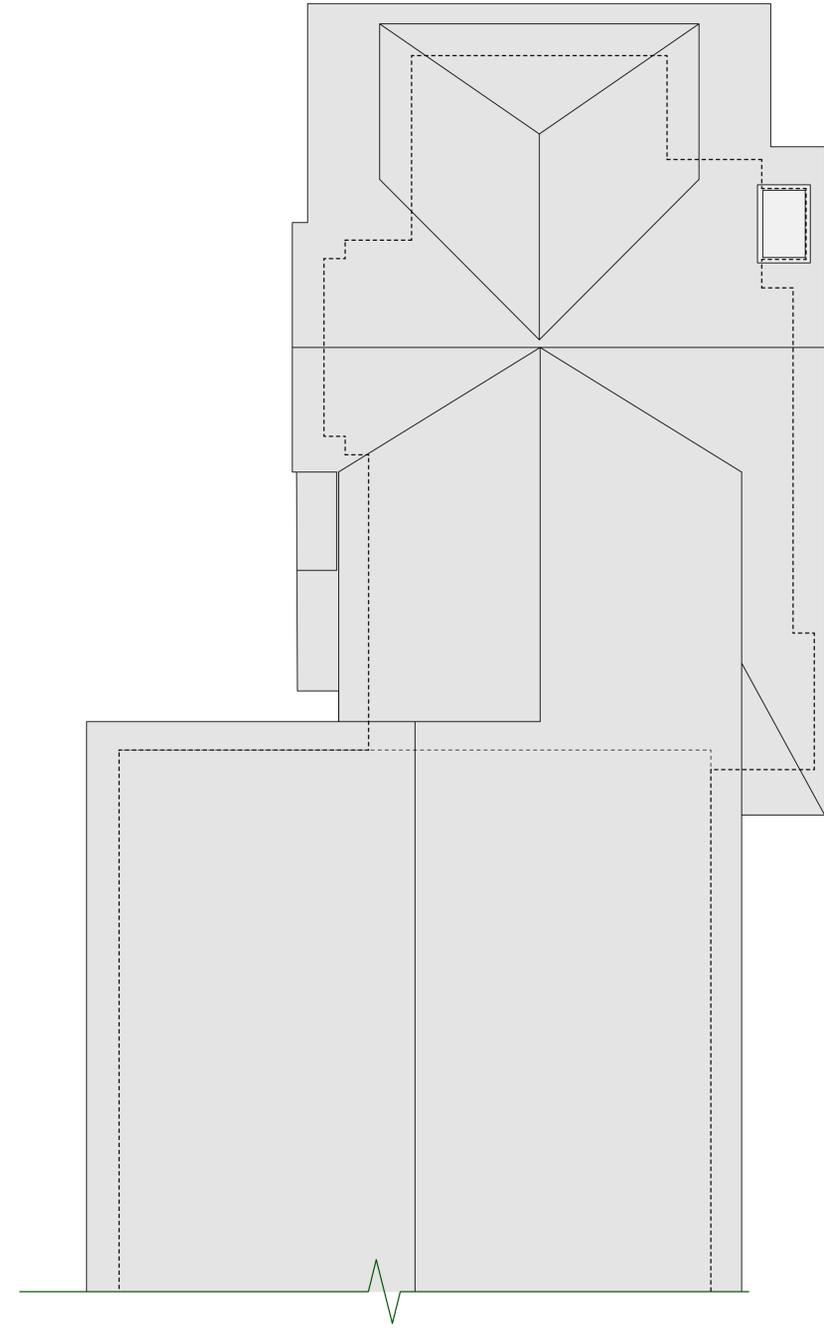
A161



A1 Existing Roof Plan
Scale: 1/8" = 1'-0"



A2 Proposed Roof Plan
Scale: 1/8" = 1'-0"



A4 Proposed Roof Plan
Scale: 1/4" = 1'-0"