

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1924 Wood Dale Terrace

SUMMARY OF REQUEST: Addition

APPLICANT: Darius Johnson

Details of Proposed Request

Existing Context

The existing structure is a one story American Small House constructed in 1940. Exterior material is painted brick with a screened side porch wrapped in metal siding. The centered front porch has a gabled roof with metal columns. The front setback is approximately 39' from porch to ROW. Adjacent setbacks are a range +/- 36' to 44'. The height of tallest original house on the block face is approximately 23' (1908 Wood Dale Terrace).

Proposal

The project is a second floor addition, rear porch and improvements to the front and side porches. The new ridge/roof height extends above the existing approximately 3'-2". The front additions include a widened porch with 8' depth, new columns and shed roof. The front addition includes a shed dormer. The side porch includes a new brick foundation to match the house, wood siding and wood windows. The rear addition includes a shed dormer and rear porch with columns, rails and roof to match the front. All new windows are wood. Roof details will match existing.

Policy & Design Guidelines for Additions, page 7.2 (New Guidelines)

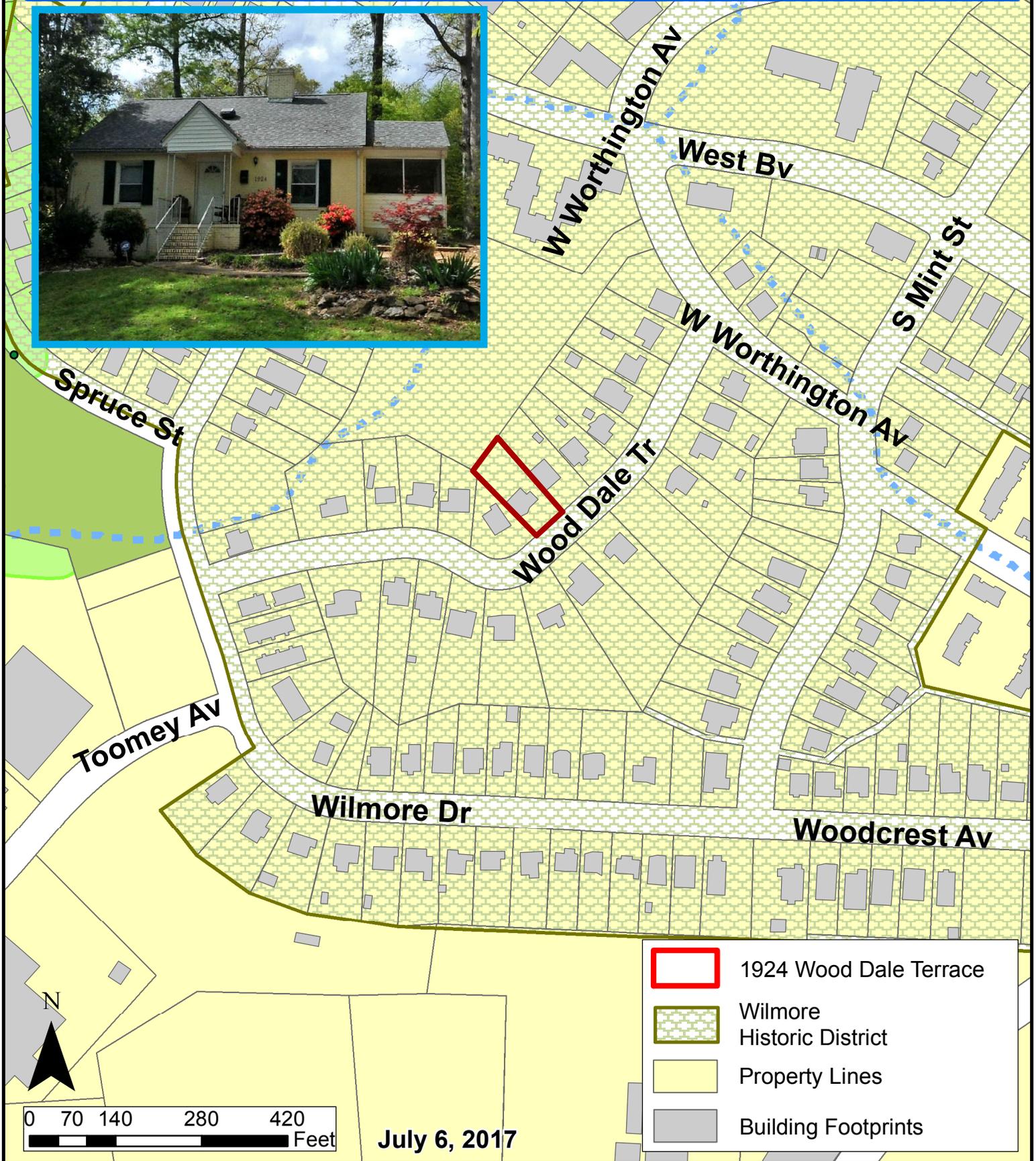
1. Attempt to locate the addition on the rear elevation so that it is minimally visible from the street.
2. Limit the size of the addition so that it does not visually overpower the existing building.
3. Attempt to attach new additions or alterations to existing buildings in such a manner that, if such additions or alterations were to be removed in the future, the essential form and integrity of the building would be unimpaired.
4. Maintain the original orientation of the structure. If the primary entrance is located on the street facade, it should remain in that location.
5. Maintain the existing roof pitch. Roof lines for new additions should be secondary to those of the existing structure. The original roof as visible from the public right-of-way should not be raised.
6. Make sure that the design of a new addition is compatible with the existing building. The new work should be differentiated from the old while being compatible with its massing, form, scale, directional expression, roof forms and materials, foundation, fenestration, and materials.

| All New Construction Projects Will be Evaluated for Compatibility by the Following Criteria | | Page # |
|---|---|---------|
| Setback | in relationship to setback of immediate surroundings | 6.2 |
| Spacing | the side distance from adjacent buildings as it relates to other buildings | 6.3 |
| Orientation | the direction of the front of the building as it relates to other buildings in the district | 6.4 |
| Massing | the relationship of the buildings various parts to each other | 6.5 |
| Height and Width | the relationship to height and width of buildings in the project surroundings | 6.6 |
| Scale | the relationship of the building to those around it and the human form | 6.7 |
| Directional Expression | the vertical or horizontal proportions of the building as it relates to other buildings | 6.8 |
| Foundations | the height of foundations as it relates to other buildings in project surroundings | 6.9 |
| Roof Form and Materials | as it relates to other buildings in project surroundings | 6.10 |
| Cornices and Trim | as it relates to the stylistic expression of the proposed building | 6.11 |
| Doors and Windows | the placement, style and materials of these components | 6.12 |
| Porches | as it relates to the stylistic expression of the proposed building and other buildings in the district. | 6.14 |
| Materials | proper historic materials or approved substitutes | 6.15 |
| Size | the relationship of the project to its site | 6.2 & 3 |
| Rhythm | the relationship of windows, doors, recesses and projections | 6.12 |
| Context | the overall relationship of the project to its surroundings. | 6.1-16 |
| Landscaping | a tool to soften and blend the project with the district | 8.1-11 |

All projects should use this summary checklist to ensure a submittal addresses all the new construction criteria.

Staff Analysis -The Commission will determine if the proposal meets the guidelines for additions.

Charlotte Historic District Commission Case 2017-395
HISTORIC DISTRICT: WILMORE
ADDITION



-  1924 Wood Dale Terrace
-  Wilmore Historic District
-  Property Lines
-  Building Footprints

July 6, 2017

FRICK HOUSE

1924 WOOD DALE TERRACE

Charlotte, NC 28203



LDJ INNOVATIVE DESIGN GROUP, PLLC
1800 Camden Road, Suite 107 #235
Charlotte NC, 28203-0001
704.506.4780 Tel

Index of Drawings

General

- T100 Title Sheet
- T101 Existing House Elevations
- T102 Context/Adjacent Structures
- T103 Streetscape Elevations Existing/Proposed
- AS100 Site Plan

Civil – NA

Landscape – NA

Structural

- SGN General Notes
- SD1 Standard Details
- S000 Foundation Plan
- S100 First Floor Plan
- S101 Second Floor Plan
- S102 Roof Plan

Architectural

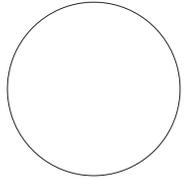
- D100 Demo Floor Plan
- D200 Demo Elevation
- A100 Foundation & First Floor Plan
- A101 Second Floor & Roof Plan
- A200 Elevations
- A201 Elevations
- A300 Building, Stair & Wall Sections
- A700 Door Schedule and Elevations

Fire Protection – NA

Plumbing – NA

Mechanical – NA

Electrical – NA



Legend

| | |
|------------------|------------------------|
| | |
| CONCRETE | STONE FILL |
| | |
| CMU | PLASTER/GYP. BD. |
| | |
| BRICK | STUCCO |
| | |
| STEEL | WOOD BLOCKING |
| | |
| EARTH | HARDWOOD / PLYWOOD |
| | |
| BATT INSULATION | QUARRY/PAVER/CER. TILE |
| | |
| RIGID INSULATION | |

Abbreviations

| | | | | | |
|--------|-----------------------|-----------|---------------------------|------------|------------------------|
| ACP | ACOUSTICAL PANEL | ELEC. | ELECTRICAL | N.T.S. | NOT TO SCALE |
| A.F.F. | ABOVE FINISH FLOOR | ELEV. | ELEVATOR | O.C. | ON CENTER |
| ALUM. | ALUMINUM | EQ. | EQUAL | O.H. | OPPOSITE HAND |
| BD. | BOARD | EXT. | EXTERIOR | PTD. | PAINTED |
| BLDG. | BUILDING | FIN. FL. | FINISH FLOOR | PLAS. LAM. | PLASTIC LAMINATE |
| Ⓢ | CENTERLINE | F.E.C. | FIRE EXTINGUISHER CABINET | RES. | RESILIENT |
| C.J. | CONTROL JOINT | F.D. | FLOOR DRAIN | REQD. | REQUIRED |
| CEIL. | CEILING | GALV. | GALVANIZED | R.D. | ROOF DRAIN |
| CER. | CERAMIC | GA. | GAUGE | R.L. | ROOF LEADER |
| CMU | CONCRETE MASONRY UNIT | GYP. | GYPSUM | SHT. | SHEET |
| COMP. | COMPOSITE | H.C. | HOLLOW CORE | SIM. | SIMILAR |
| COL. | COLUMN | H.M. | HOLLOW METAL | S.C. | SOLID CORE |
| CONC. | CONCRETE | INT. | INTERIOR | S.S. | STAINLESS STEEL |
| CONT. | CONTINUOUS | JST. BRG. | JOIST BEARING | STRUCT. | STRUCTURE |
| CPT. | CARPET | JT. | JOINT | SUSP. | SUSPENDED |
| DET. | DETAIL | M.O. | MASONRY OPENING | T.O.() | TOP OF (ITEM) |
| DIA. | DIAMETER | MAX. | MAXIMUM | TYP. | TYPICAL |
| DN. | DOWN | MECH. | MECHANICAL | VERT. | VERTICAL |
| DBL. | DOUBLE | MET. | METAL | V.C.T. | VINYL COMPOSITION TILE |
| DWG. | DRAWING | MIN. | MINIMUM | V.W.C. | VINYL WALL COVERING |
| E.W.C. | ELECTRIC WATER COOLER | N.I.C. | NOT IN CONTRACT | W.W.F. | WELDED WIRE FABRIC |
| | | | | WD. | WOOD |

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| 3 Date |
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Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title Sheet

Sheet of
T100

Plate



1 EXISTING FRONT ELEV.
T101 3/16" = 1'-0"



2 EXISTING LEFT ELEV.
T101 3/16" = 1'-0"



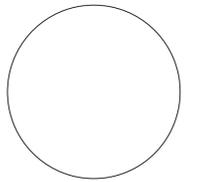
3 REAR ELEVATION
T101 3/16" = 1'-0"



4 EXIST RIGHT ELEVATION
T101 3/16" = 1'-0"



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Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
Existing House Images

Sheet of

T101

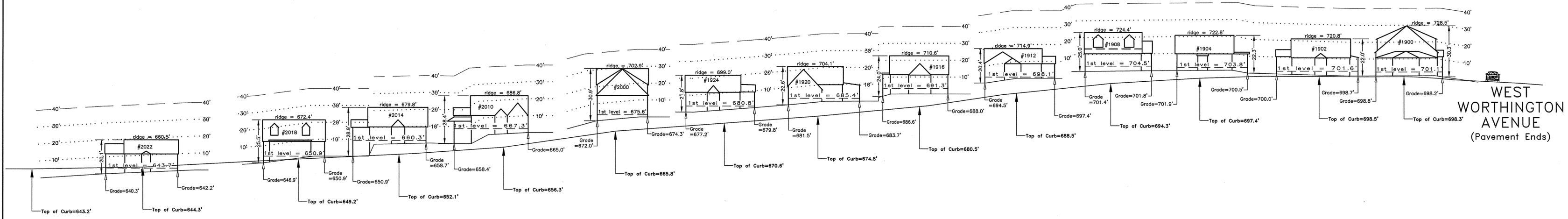
Plate

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 28th day of June, 2017.



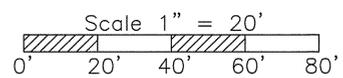
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098



To
WILMORE
DRIVE

A.G. ZOUTEWELLE
SURVEYORS
1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

Copyright 2017
Building Heights Sketch of
1900-2022 WOOD DALE TERRACE
FACING NORTH/NORTHWEST
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
June 26, 2017



General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



2000 WOOD DALE TR



1924 WOOD DALE TR



1920 WOOD DALE TR



1916 WOOD DALE TR



2001 WOOD DALE TR



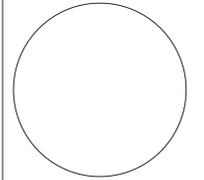
1929 WOOD DALE TR



1923 WOOD DALE TR



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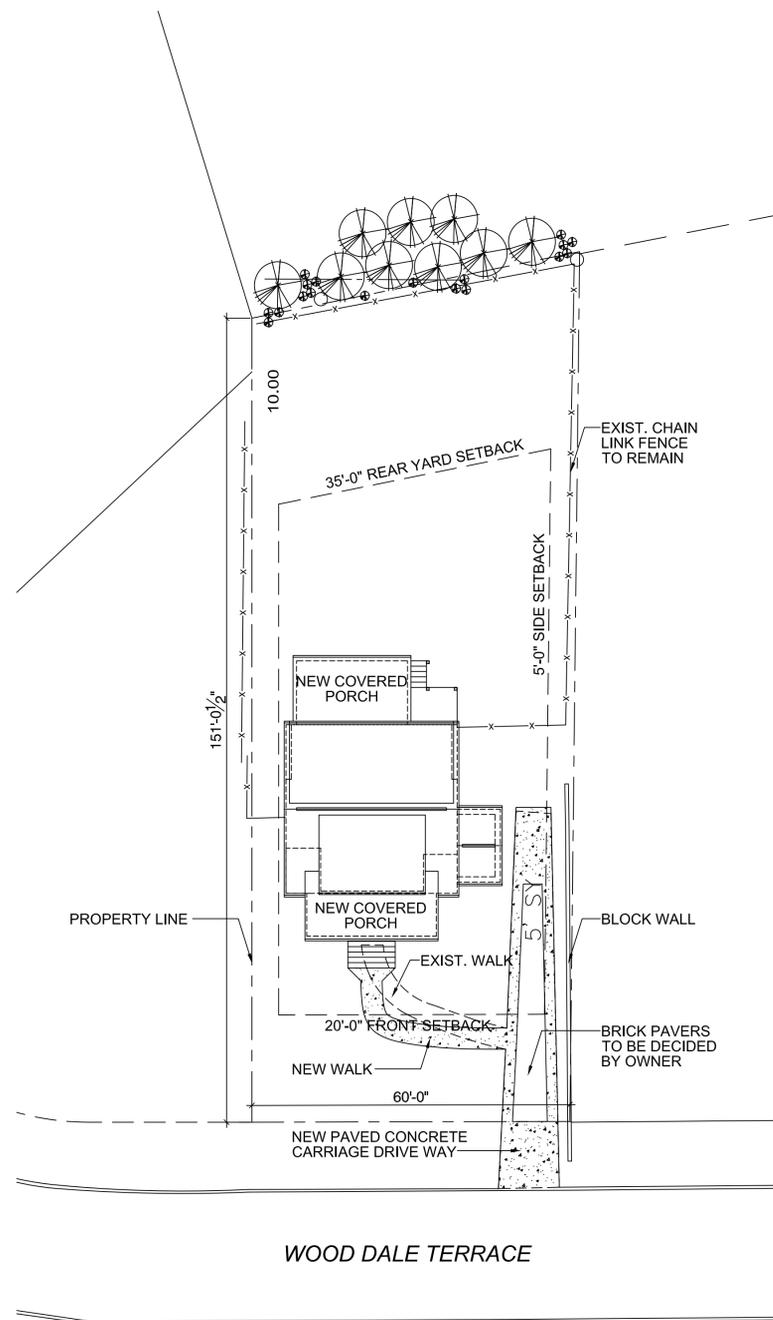
Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
CONTEXT/ADJACENT
STRUCTURE

Sheet of
T102

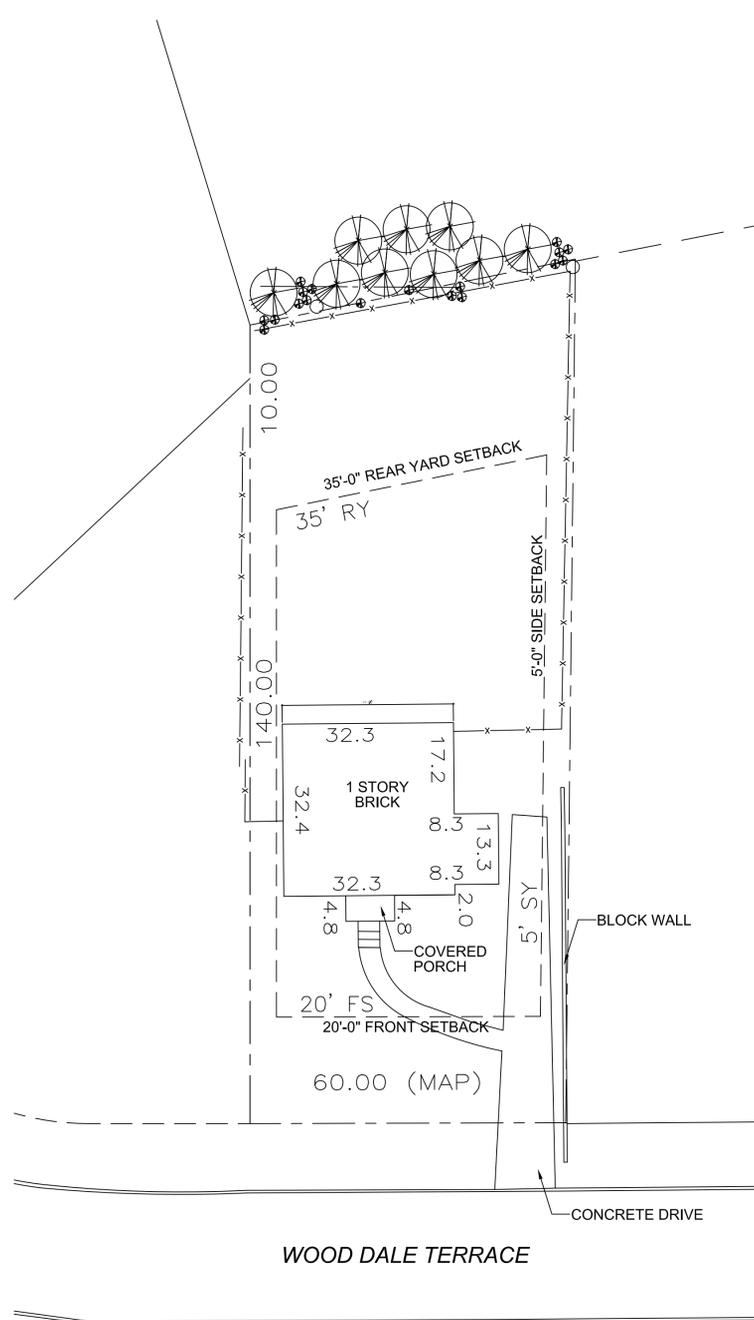
Plate



1
AS100

PROPOSED SITE PLAN

1/16" = 1'-0"



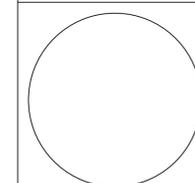
2
AS100

EXISTING SITE PLAN

1/16" = 1'-0"



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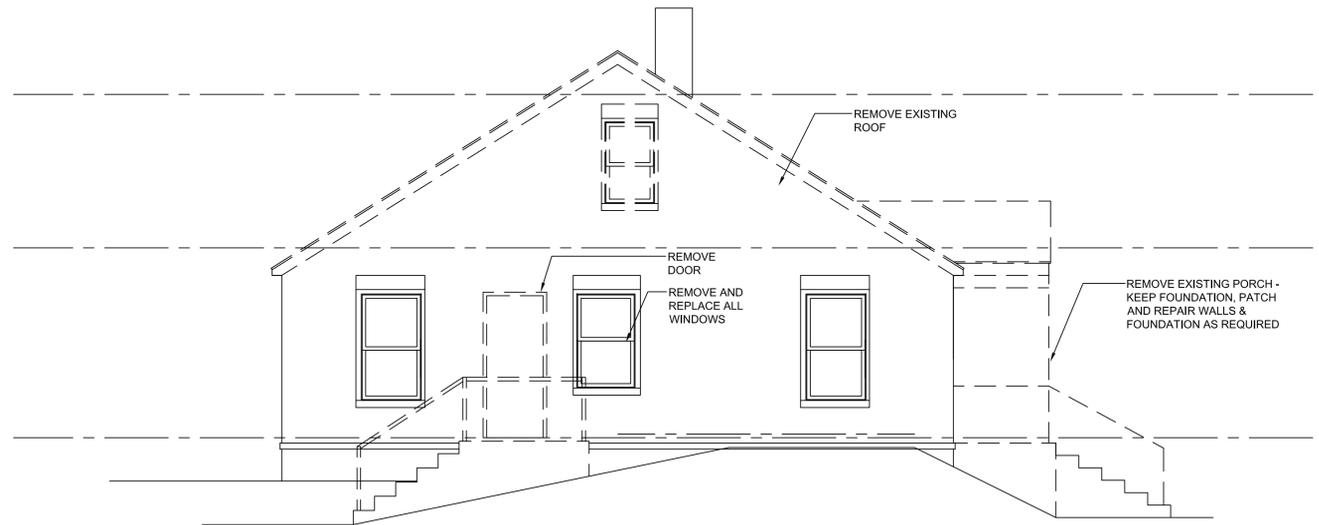
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1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
SITE PLAN

Sheet of
AS100

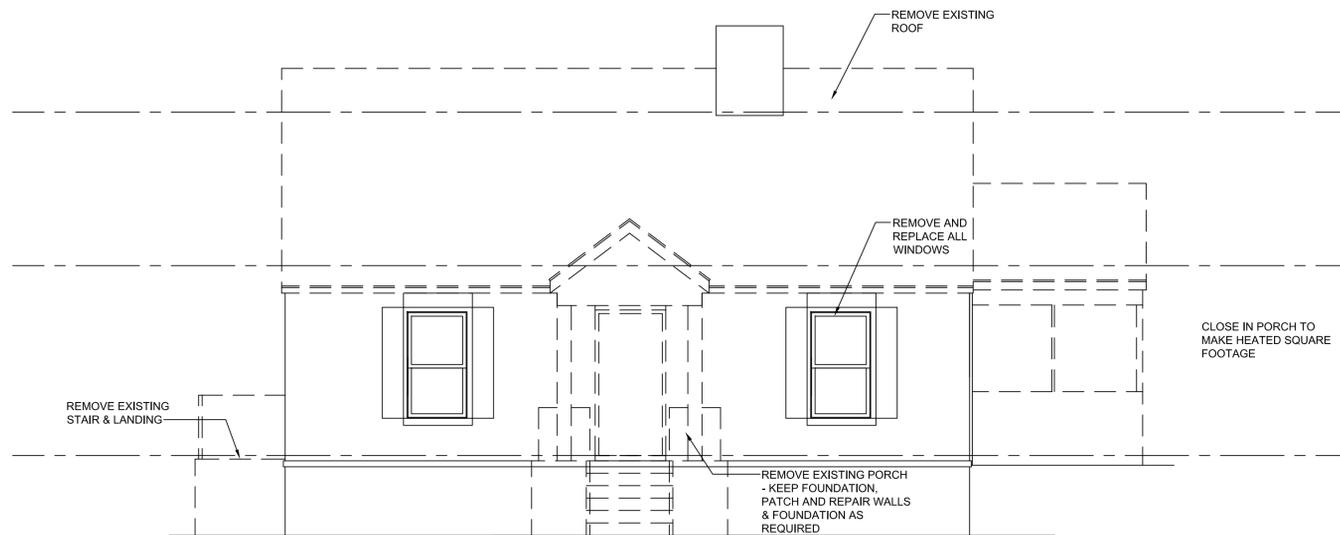
Plate



2
D200

LEFT SIDE DEMO ELEVATION

1/4" = 1'-0"



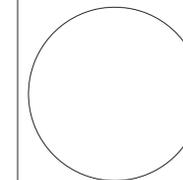
1
D200

FRONT DEMO ELEVATION

1/4" = 1'-0"



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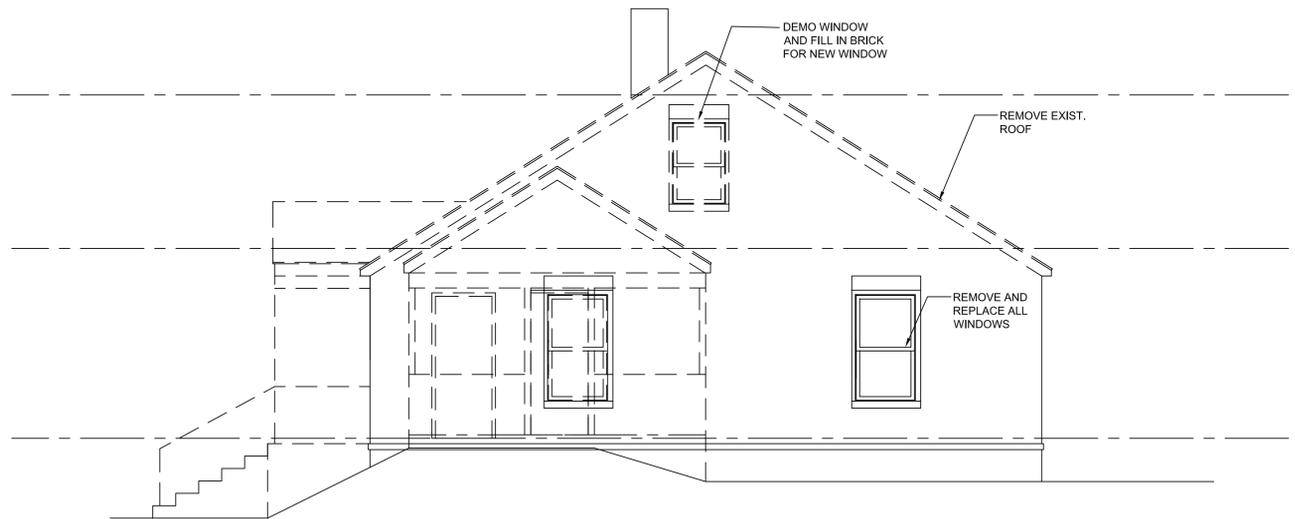
Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
Demo Elevations

Sheet of
D200

Plate

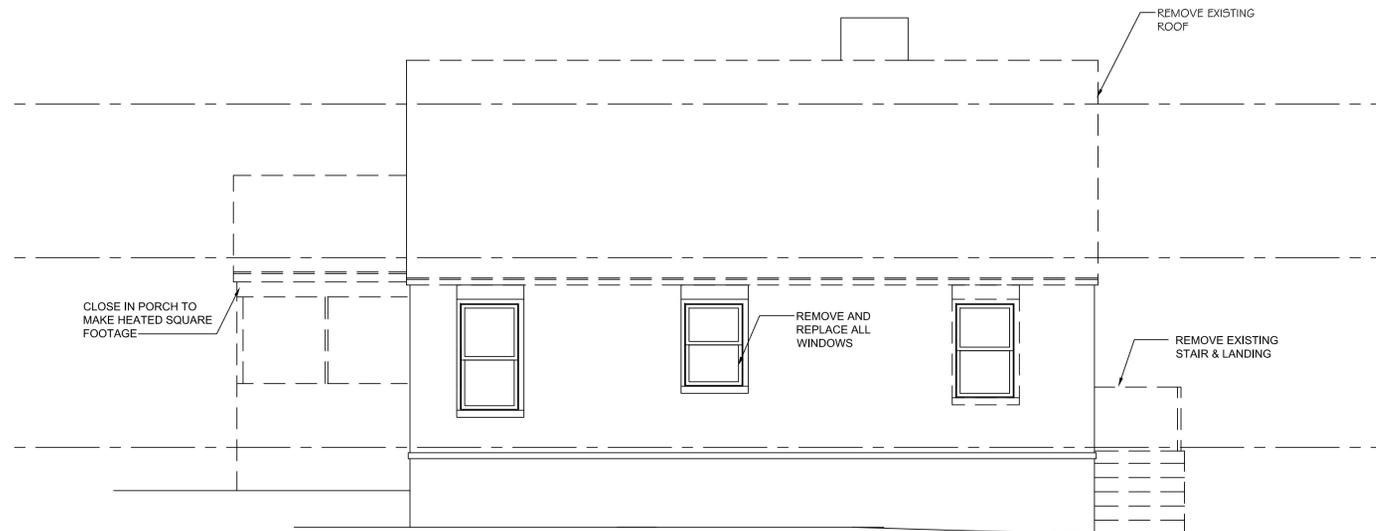


PLAN NORTH

2
D201

RIGHT SIDE DEMO ELEVATION

1/4" = 1'-0"



PLAN NORTH

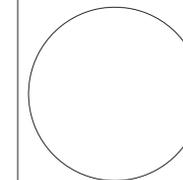
1
D201

REAR DEMO ELEVATION

1/4" = 1'-0"



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Frick House
 1924 Wood Dale Tr
 Charlotte, NC

Project Number 003

Title
Demo Elevations

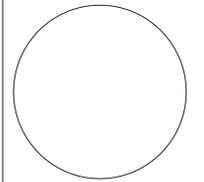
Sheet of

D201

Plate



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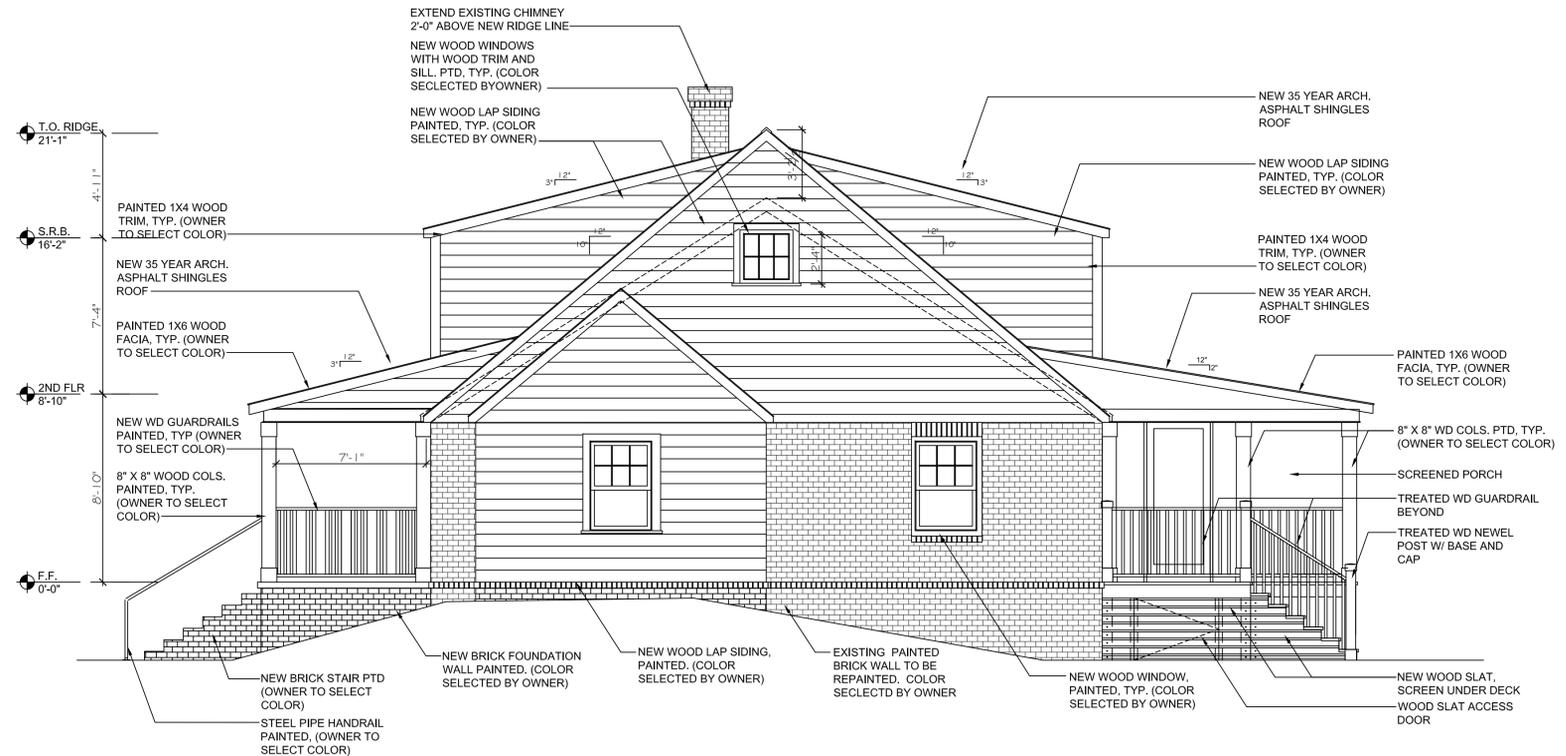
Frick House
1924 Wood Dale Tr
Charlotte, NC

Project Number 003

Title
Elevations

Sheet of
A201

Plate



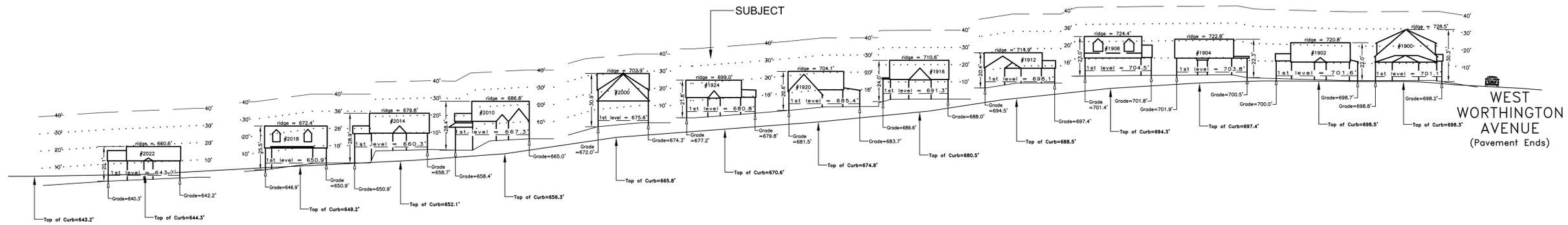
1
A201 1/4" = 1'-0"
RIGHT SIDE ELEVATION



1
A201 1/4" = 1'-0"
REAR ELEVATION



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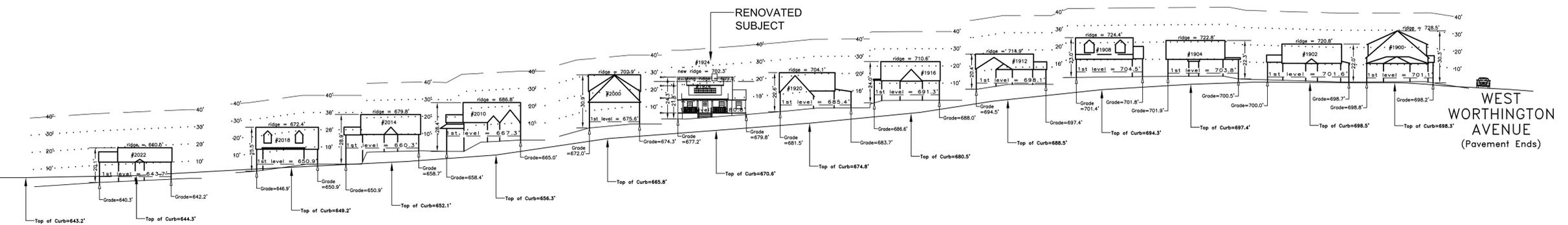


WEST WORTHINGTON AVENUE
(Pavement Ends)

← To WILMORE DRIVE

WOOD DALE TERRACE

2 EXISTING
T103 3/8" = 1'-0"

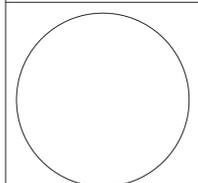


WEST WORTHINGTON AVENUE
(Pavement Ends)

← To WILMORE DRIVE

WOOD DALE TERRACE

1 PROPOSED
T103 3/8" = 1'-0"



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1924 Wood Dale Tr
Charlotte, NC

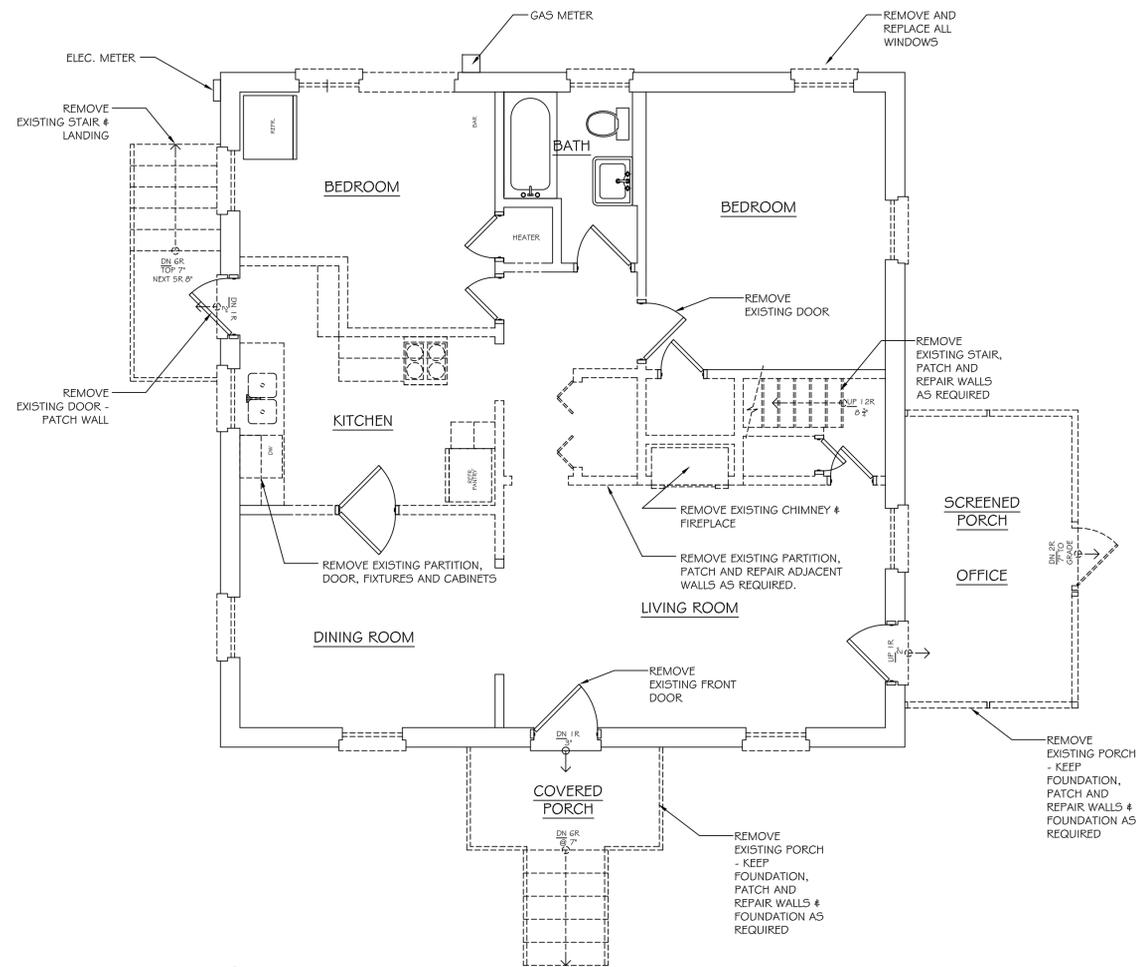
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Title
Streetscape Elevation
Existing/Proposed

Sheet of

T103

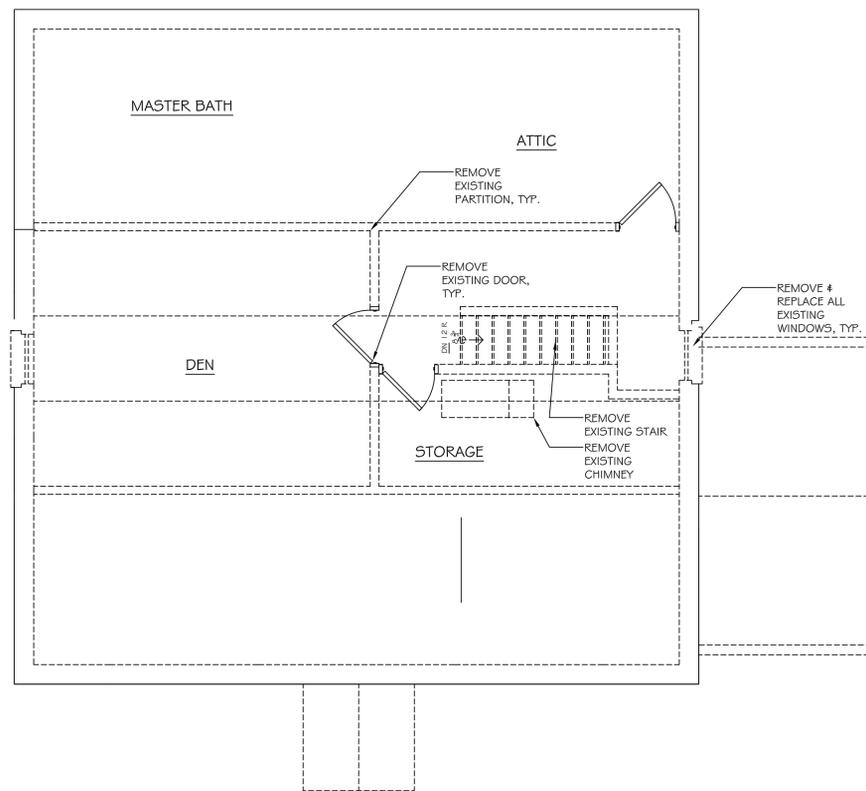
Plate



1
D100

DEMO FIRST FLOOR PLAN

1/4" = 1'-0"



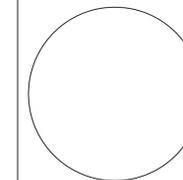
2
D100

DEMO SECOND FLOOR PLAN

1/4" = 1'-0"



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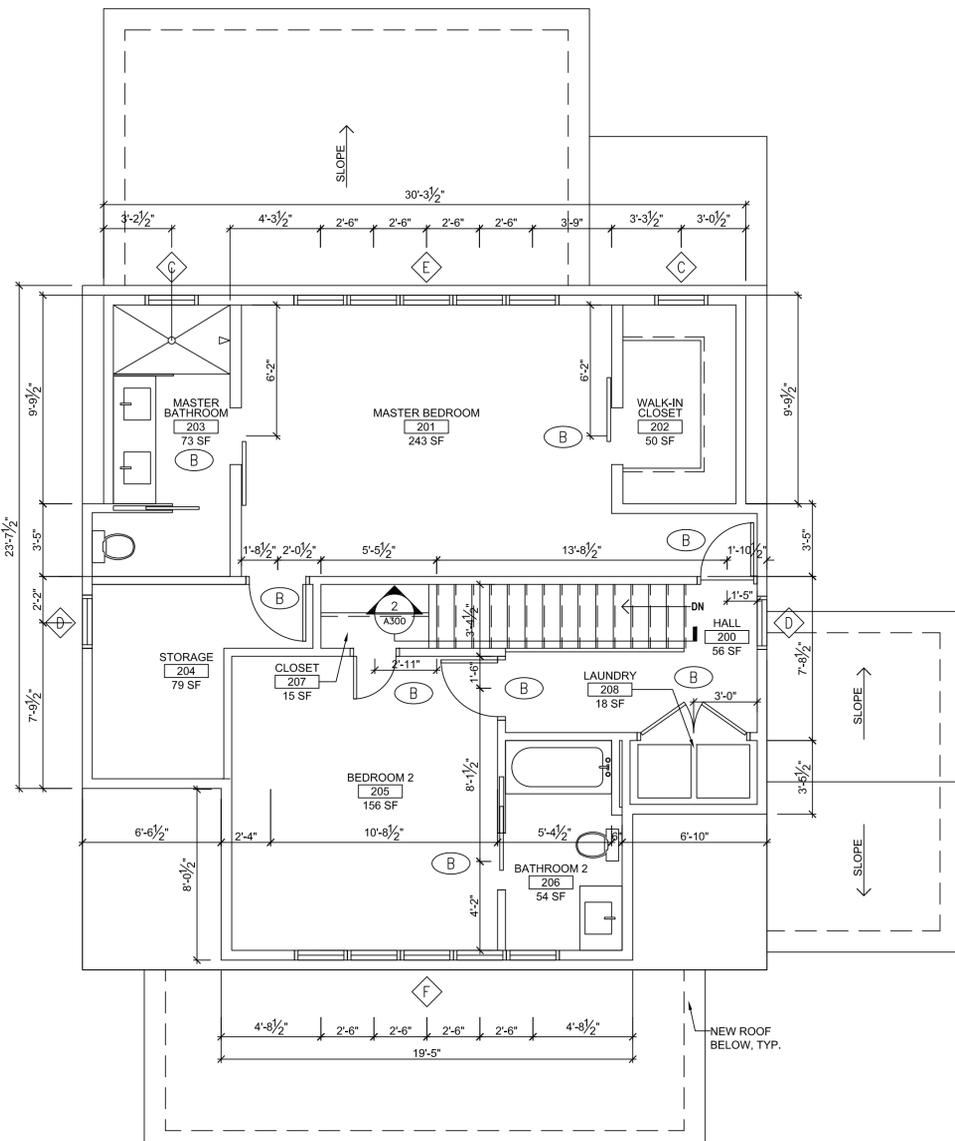
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Title
Demo Floor Plans

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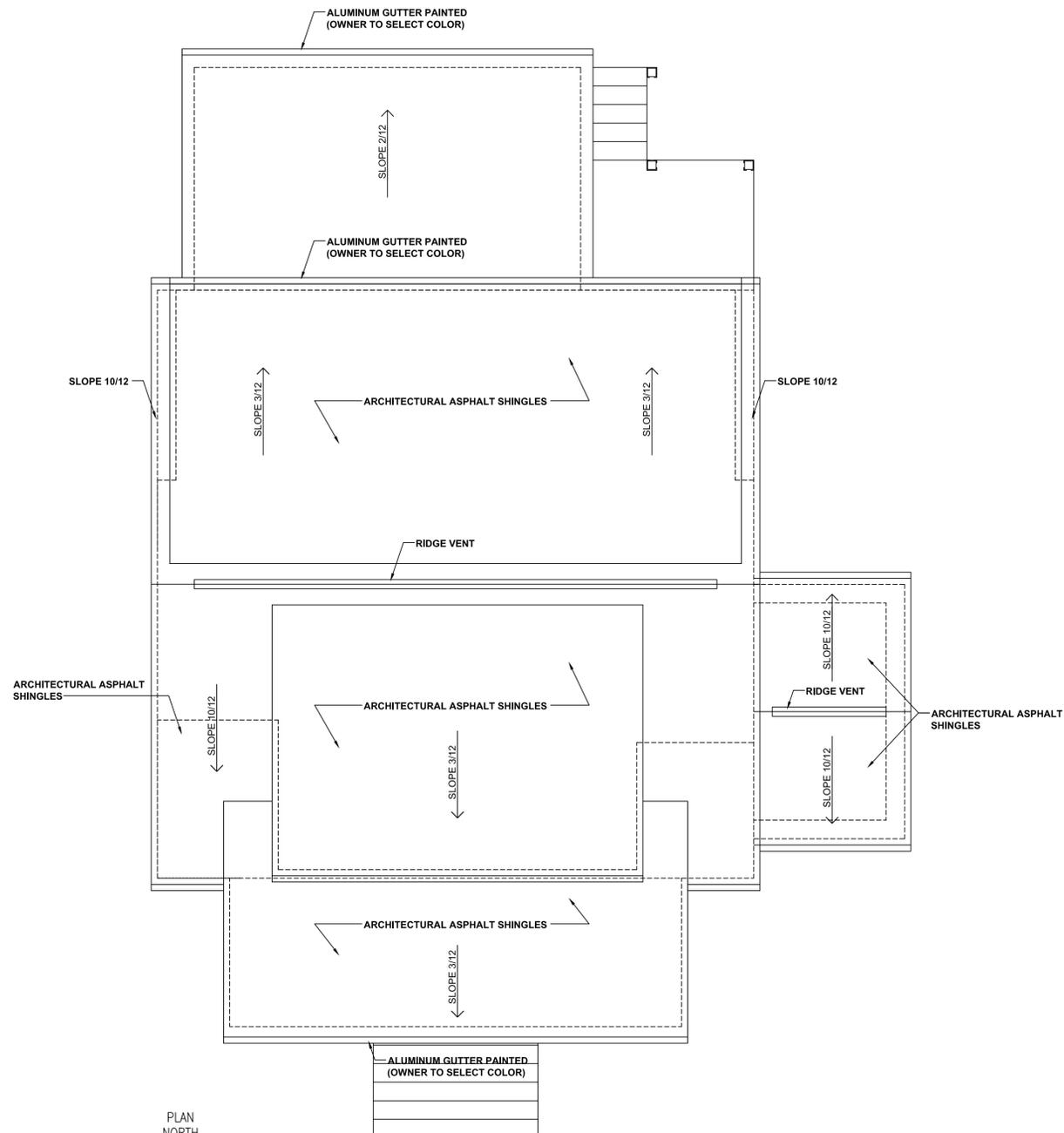
Plate



1
A100

NEW SECOND FLOOR PLAN

1/4" = 1'-0"



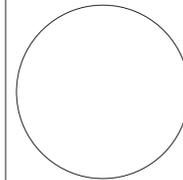
2
A100

ROOF PLAN

1/4" = 1'-0"



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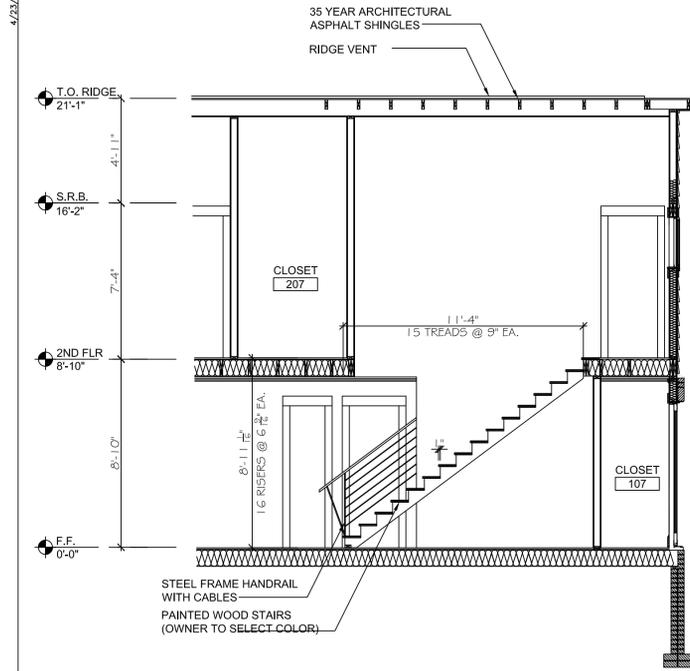
Title
Floor & Roof Plans

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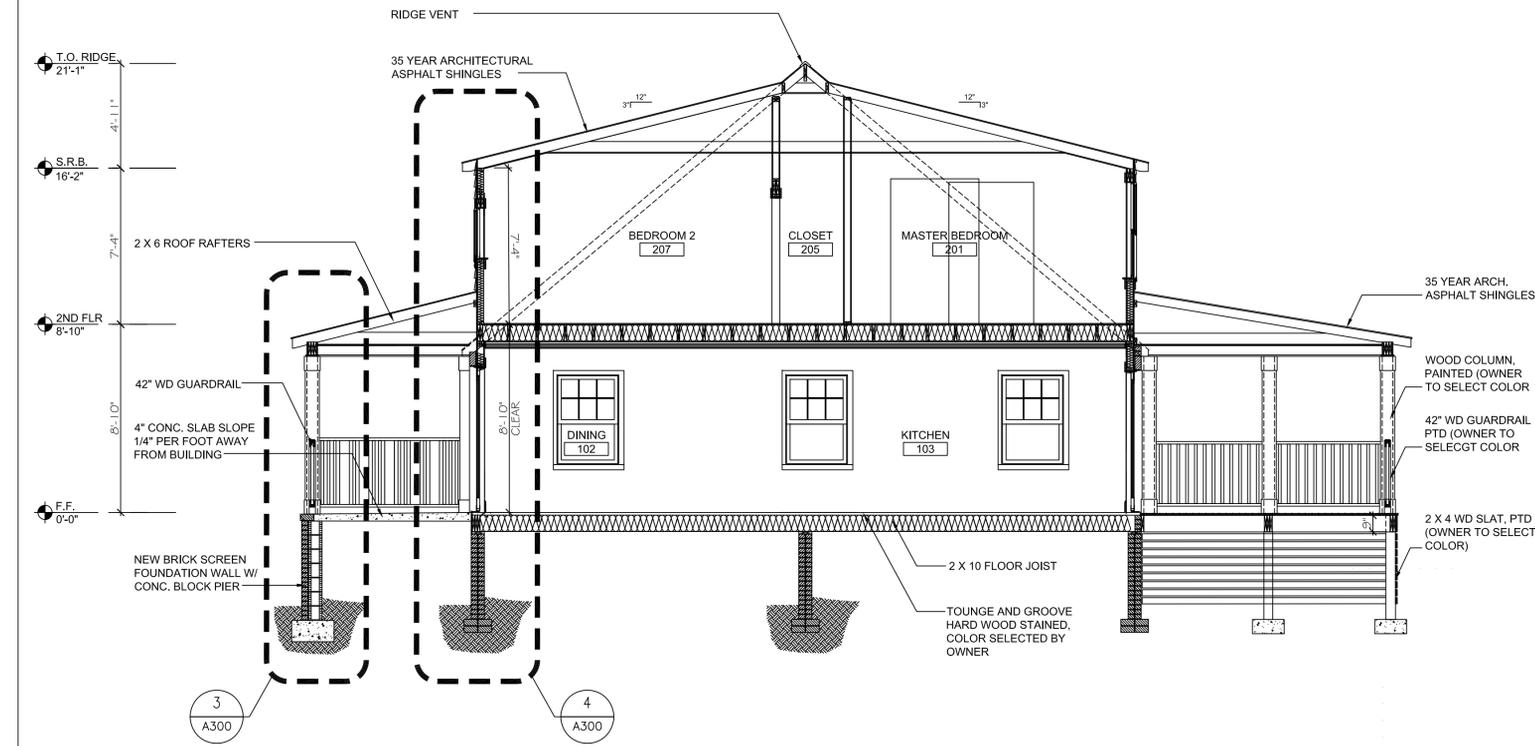
A101

Plate

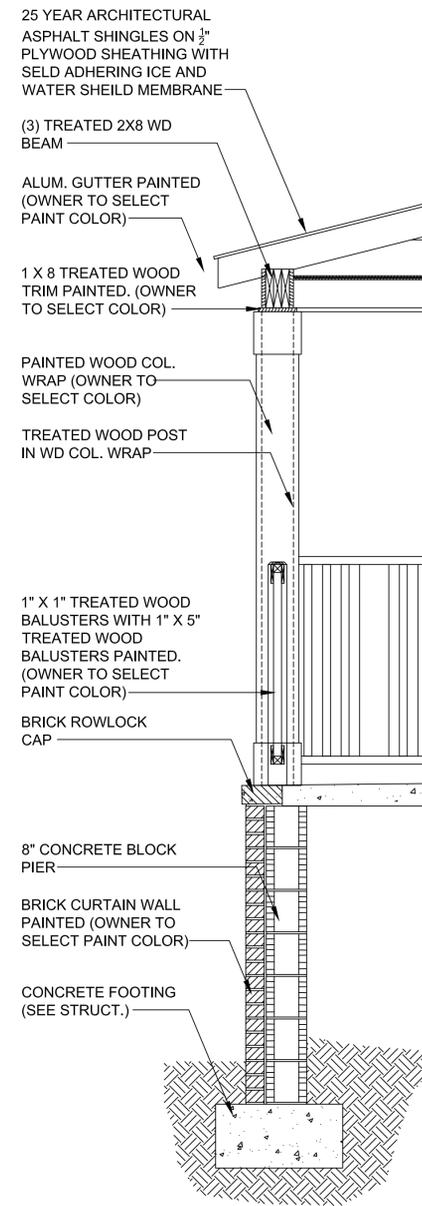
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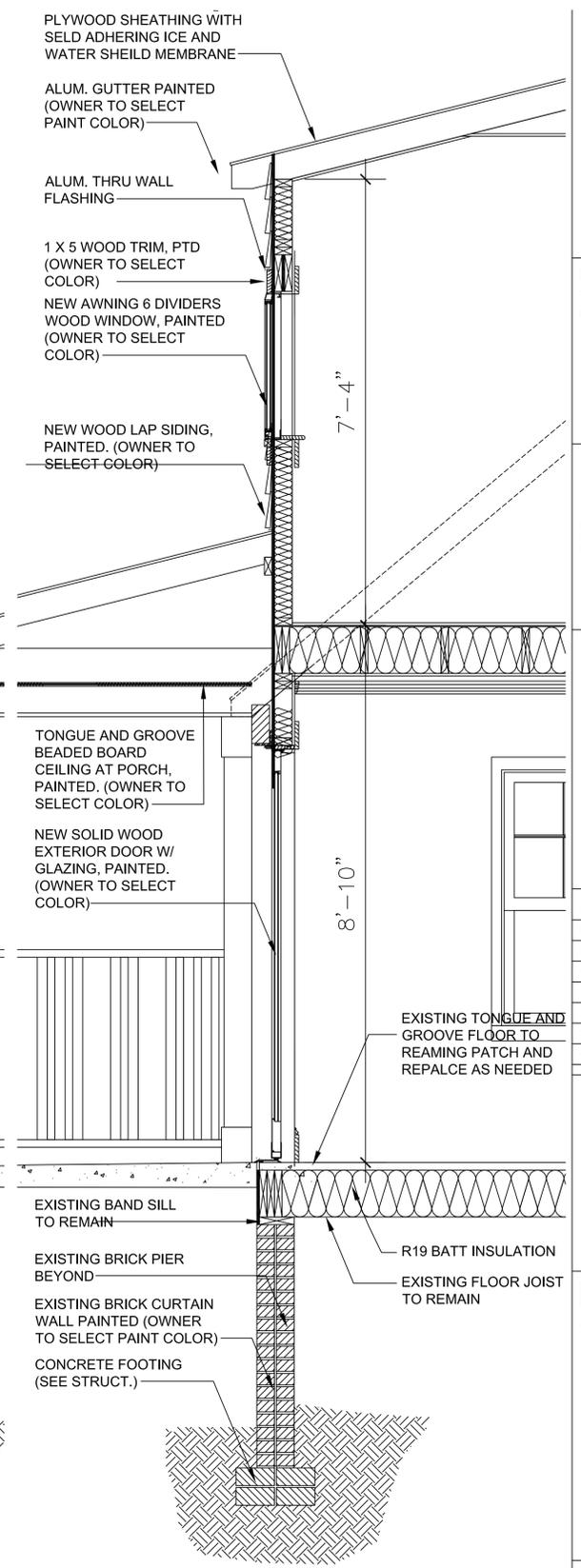
2 STAIR SECTION
A300 1/4" = 1'-0"



1 BUILDING SECTION
A300 1/4" = 1'-0"



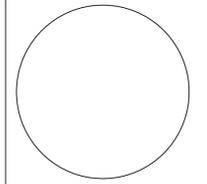
3 WALL SECTION
A300 3/4" = 1'-0"



4 WALL SECTION
A300 3/4" = 1'-0"



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Charlotte, NC

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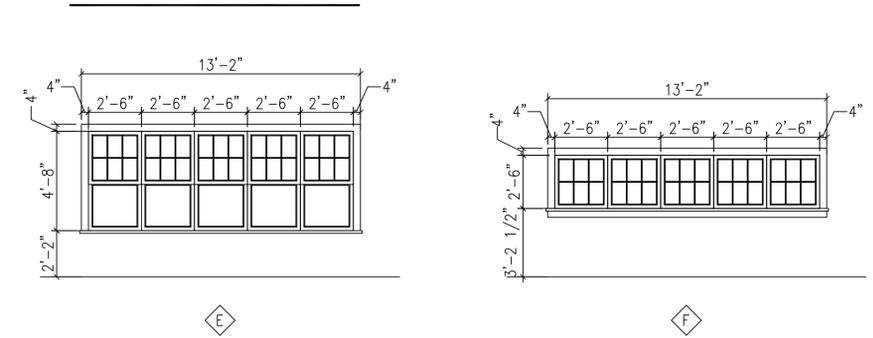
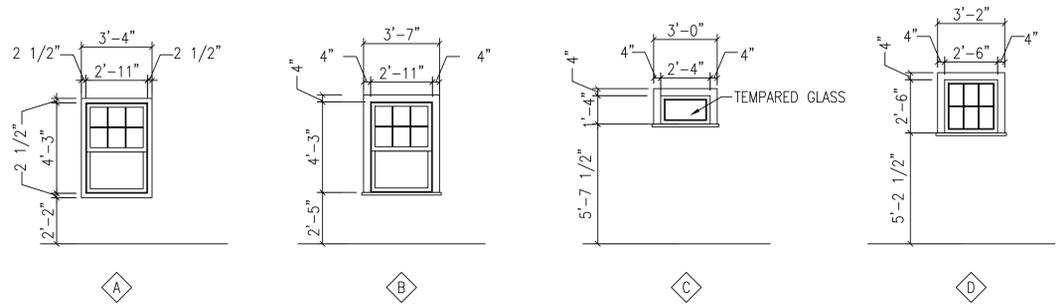
Building, Stair & Wall Sections

Sheet of

A300

Plate

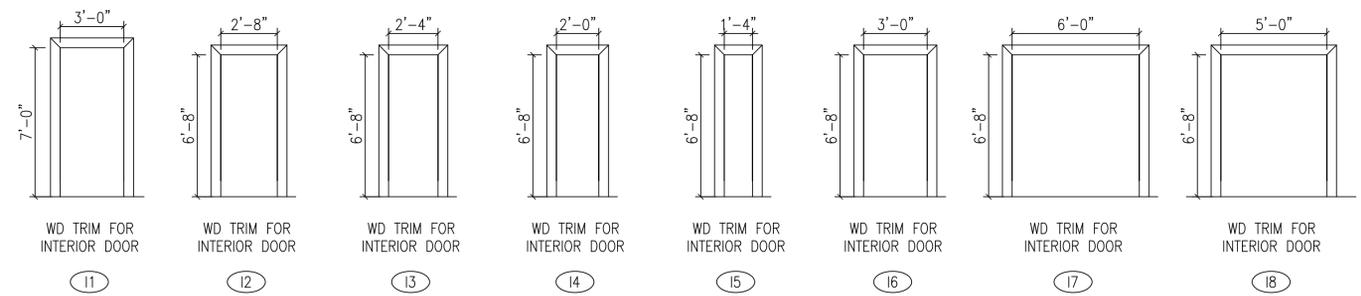
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DOOR SCHEDULE

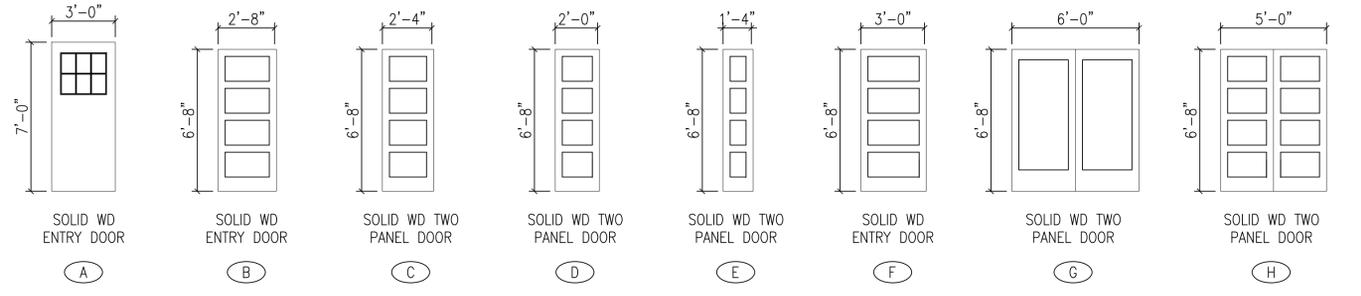
| MAIN FLOOR | | | | | | FRAME AND DETAILS | | | | | MISCELLANEOUS | |
|--------------|------------------|------|----------|-----------|--------|-------------------|----------|------|------|-----------|---------------|-------------|
| NUMBER | SIZE | TYPE | MATERIAL | INSULATED | GLAZED | TYPE | MATERIAL | HEAD | JAMB | THRESHOLD | HARDWARE | REMARKS |
| A100 | 7'-0" X 3'-0" | A | WOOD | -- | YES | I1 | WOOD | -- | -- | -- | -- | -- |
| A101 | 6'-8" X 1'-4" | E | WOOD | -- | -- | I5 | WOOD | -- | -- | -- | -- | -- |
| A102 | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- |
| A103 | PR 6'-8" X 3'-0" | G | WOOD | -- | YES | I7 | WOOD | -- | -- | -- | -- | -- |
| A104 | 6'-8" X 1'-4" | E | WOOD | -- | -- | I5 | WOOD | -- | -- | -- | -- | -- |
| A105 | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- |
| A106 | 6'-8" X 2'-4" | C | WOOD | -- | -- | I3 | WOOD | -- | -- | -- | -- | -- |
| A107 | 6'-8" X 2'-4" | C | WOOD | -- | -- | I3 | WOOD | -- | -- | -- | -- | -- |
| A108 | 6'-8" X 2'-4" | C | WOOD | -- | -- | I3 | WOOD | -- | -- | -- | -- | -- |
| A109 | 6'-8" X 3'-0" | F | WOOD | -- | -- | I6 | WOOD | -- | -- | -- | -- | BARN DOOR |
| SECOND FLOOR | | | | | | | | | | | | |
| B200 | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- | -- |
| B201 | 6'-8" X 2'-8" | B | WOOD | -- | -- | I2 | WOOD | -- | -- | -- | -- | -- |
| B202 | 6'-8" X 3'-0" | F | WOOD | -- | -- | I6 | WOOD | -- | -- | -- | -- | BARN DOOR |
| B203 | 6'-8" X 3'-0" | F | WOOD | -- | -- | I6 | WOOD | -- | -- | -- | -- | BARN DOOR |
| B204 | 6'-8" X 2'-8" | B | WOOD | -- | -- | I2 | WOOD | -- | -- | -- | -- | -- |
| B205 | 6'-8" X 2'-8" | B | WOOD | -- | -- | I2 | WOOD | -- | -- | -- | -- | -- |
| B206 | 6'-8" X 2'-8" | F | WOOD | -- | -- | I2 | WOOD | -- | -- | -- | -- | POCKET DOOR |
| B207 | 6'-8" X 2'-4" | C | WOOD | -- | -- | I3 | WOOD | -- | -- | -- | -- | -- |
| B208 | PR 6'-8" X 2'-6" | H | WOOD | -- | -- | I8 | WOOD | -- | -- | -- | -- | -- |

1 WINDOW ELEVATIONS
A700 1/4" = 1'-0"

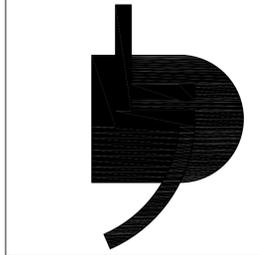


4 DOOR SCHEDULE
A700 FULL SIZE

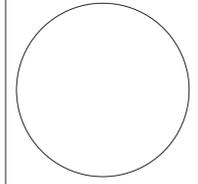
2 INTERIOR TRIM ELEVATIONS
A700 1/4" = 1'-0"



3 DOOR ELEVATIONS
A700 1/4" = 1'-0"



LDJ INNOVATIVE DESIGN GROUP, PLLC
1800 Camden Road, Suite 107 #235
Charlotte NC, 28203-0001
704.506.4780 Tel



| | |
|-----------|--|
| Drawn | |
| Checked | |
| Date | |
| Revisions | |
| 1 Date | |
| 2 Date | |
| 3 Date | |
| 4 Date | |

Frick House
1924 Wood Dale Tr
Charlotte, NC

| | |
|----------------|----------------------------------|
| Project Number | 003 |
| Title | Door & Window Elevation & Sched. |
| Sheet | of |
| A700 | |
| Plate | |