

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 528 East Boulevard

SUMMARY OF REQUEST: Access Ramp

APPLICANT: Alan McGillivray

Details of Proposed Request

Existing Context

The existing structure is a two story brick office building constructed in 1966. It is listed as Non-Contributing in the Dilworth National Register of Historic Places.

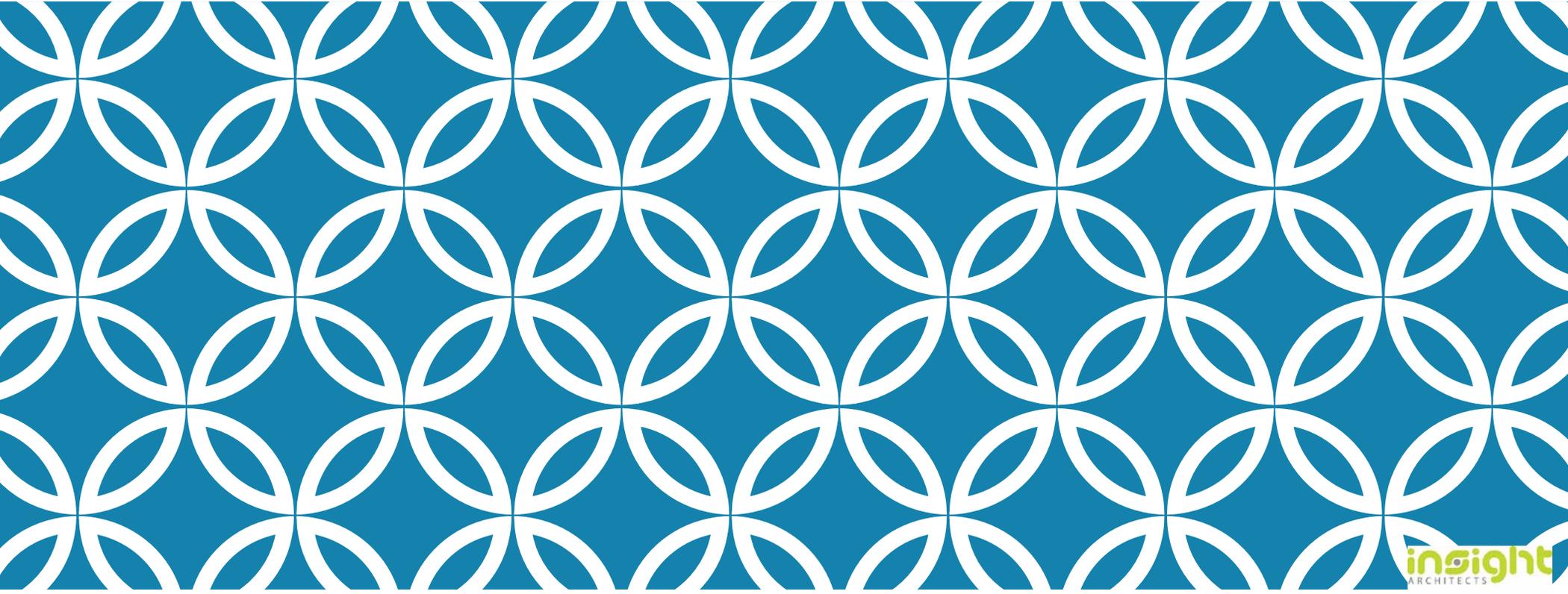
Proposal

The project is the addition of a ramp to meet ADA regulations. The applicant is requesting the addition to the front. The ramp would be located on the right side of the building with a separate sidewalk. Landscaping and a brick wall help screen the ramp. The sign and logo have been approved.

Policy & Design Guidelines for Access Ramps, 8.10 (New Guidelines)

1. Locate handicapped access at a well-defined entrance to the building and where providing that access will not cause permanent damage to character-defining features of the building. The ideal approach is to place access ramps or other structures to the side or rear of the building. If site conditions preclude this option, a ramp on the front elevation should be sensitive to the character and materials of the existing building. Designs should be unobtrusive, simple and meet slope requirements for such elements.
2. Ensure that any solution is reversible; that it may be built, used, and removed without permanent damage to the historic features of the building. Retain and preserve historic elements, such as porch railings, so that these original features may be restored to the structure when a ramp is removed.
3. Landscaped screening, the careful choice of building materials, and compatible color choices are all suggested ways of lessening the visual impact of handicapped access structures.
4. In lieu of a ramp, mechanical lifts or other devices can be used as a less intrusive alternative or if space limitations do not allow a ramp.

Staff Analysis -The Commission will determine if the proposal meets the guidelines for access ramps.

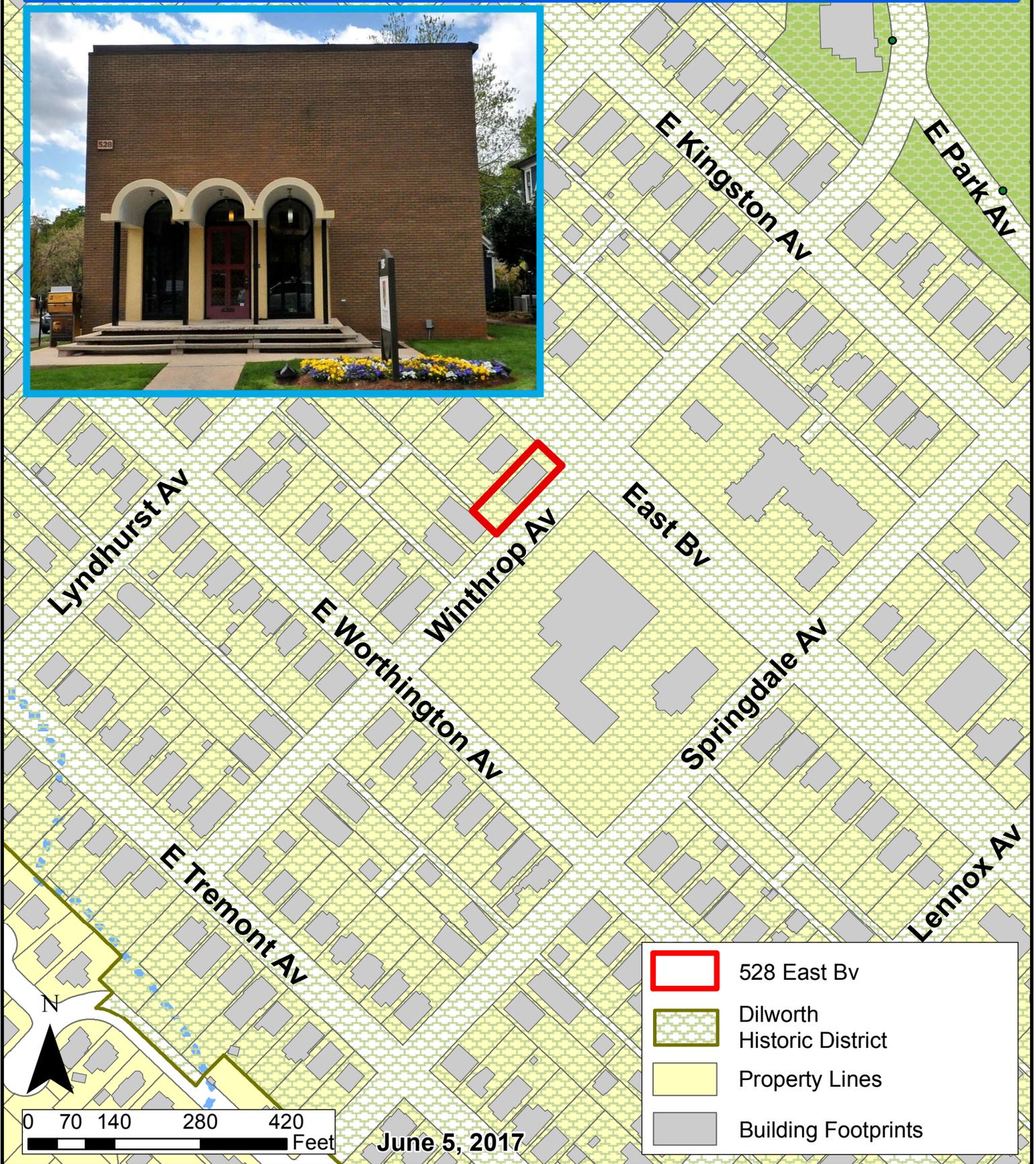
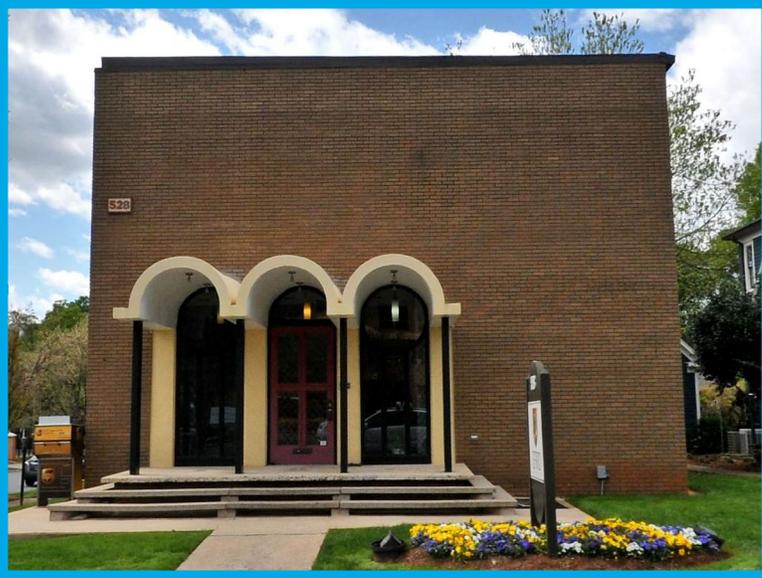


insight
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KADAMPA MEDITATION CENTER NC

528 EAST BOULEVARD
CASE NO. HDC 2017-362
DILWORTH
ALAN MCGILLIVRAY, APPLICANT

Charlotte Historic District Commission Case 2017-362
HISTORIC DISTRICT: DILWORTH
ADDITION



June 5, 2017

528



EXISTING
CONDITIONS



Side elevation (right)



Front



Winthrop Ave Elevation (left)

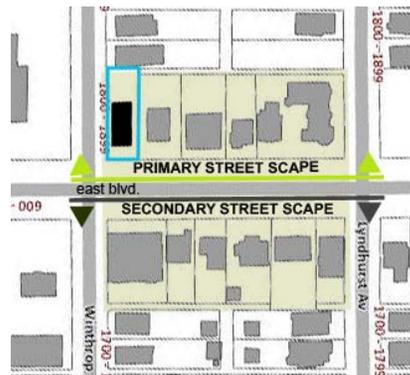


Back Elevation

CONTEXT/ ADJACENT STRUCTURES



Primary Street Scape

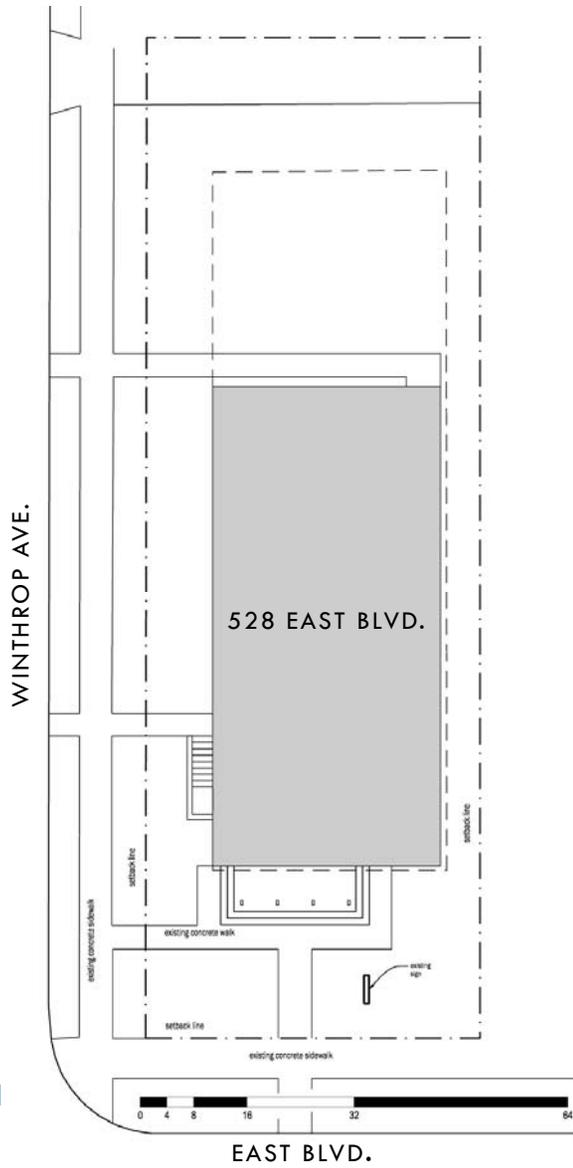


Secondary Street Scape

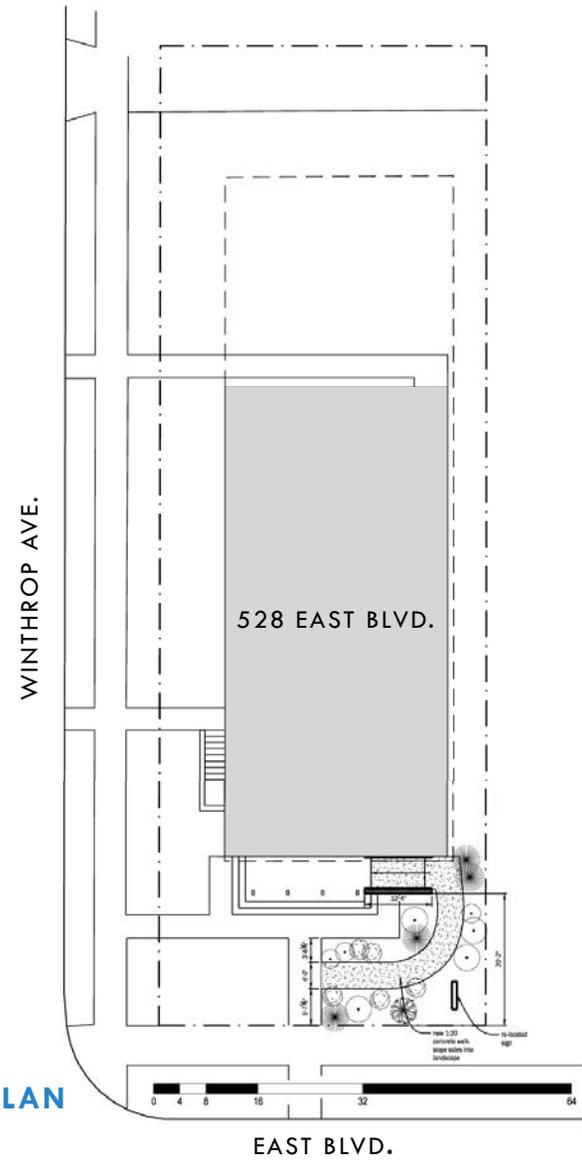


SITE

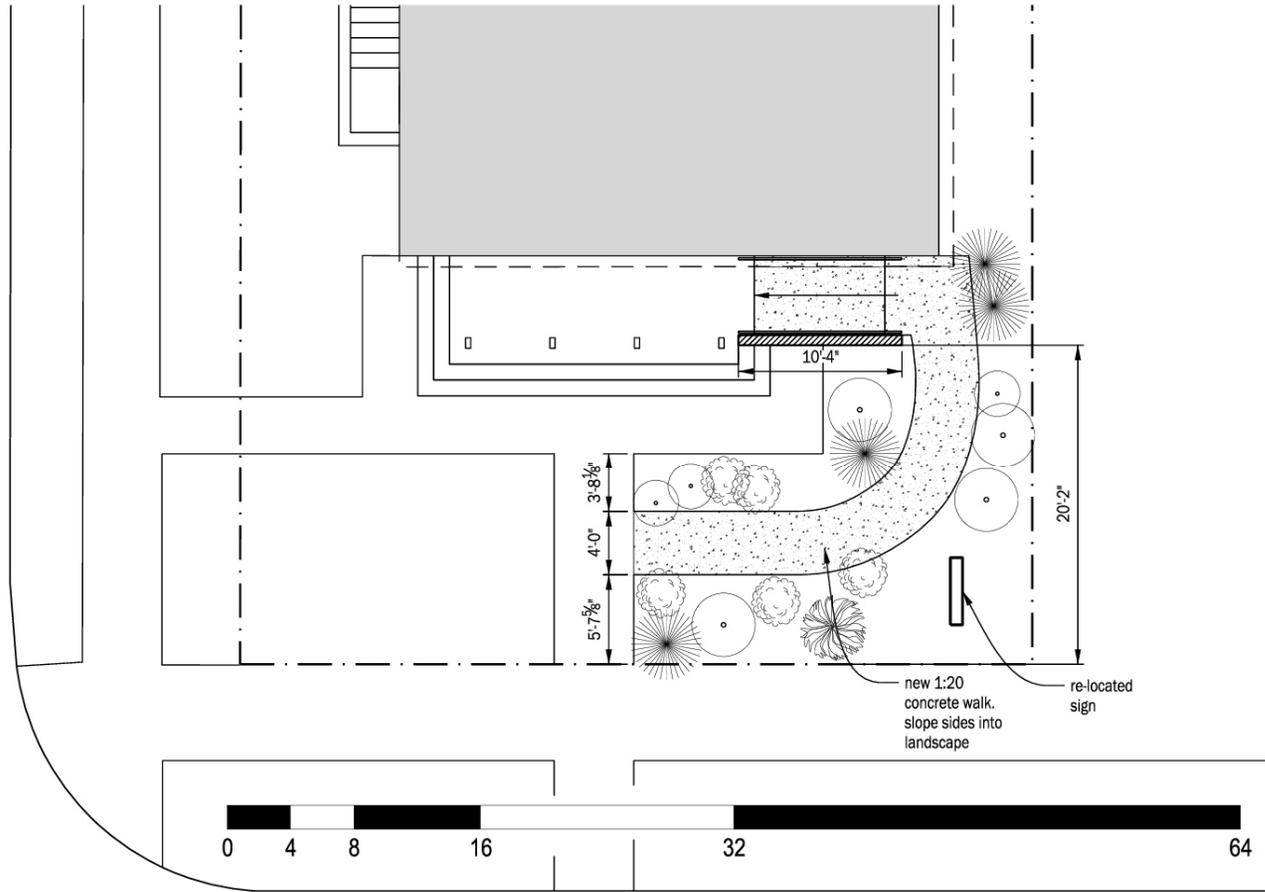
EXISTING
SITE PLAN



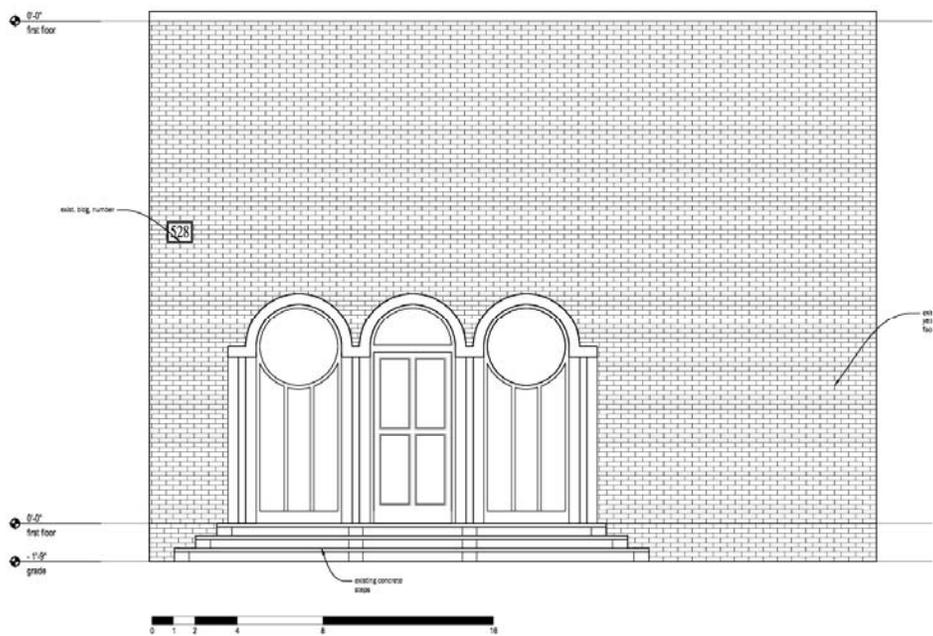
NEW
SITE PLAN



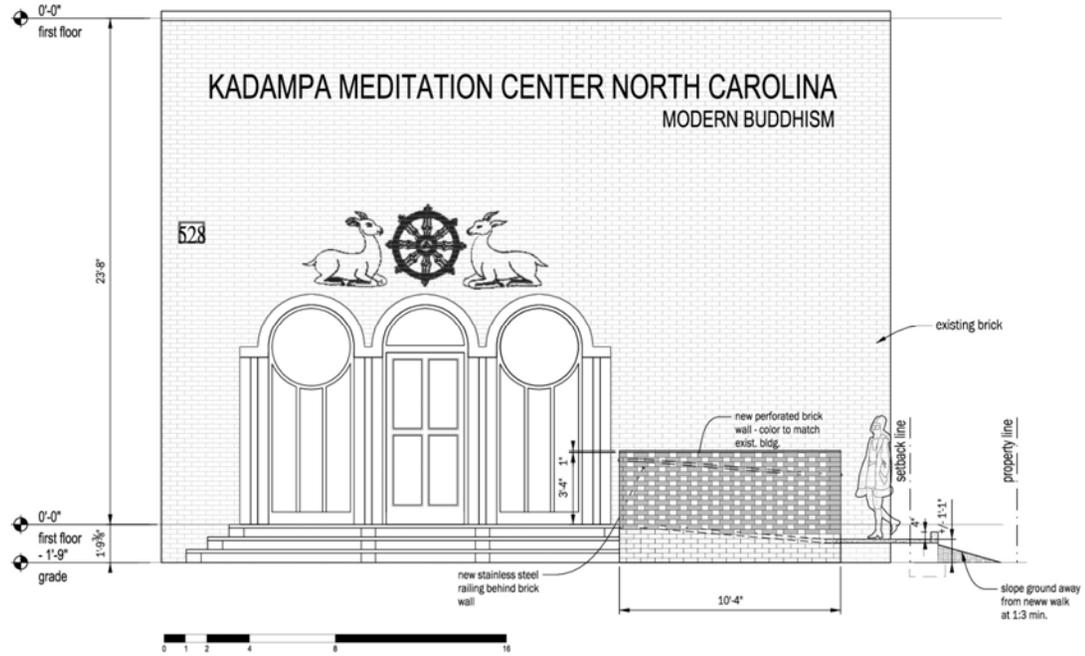
NEW SITE PLAN



ELEVATIONS

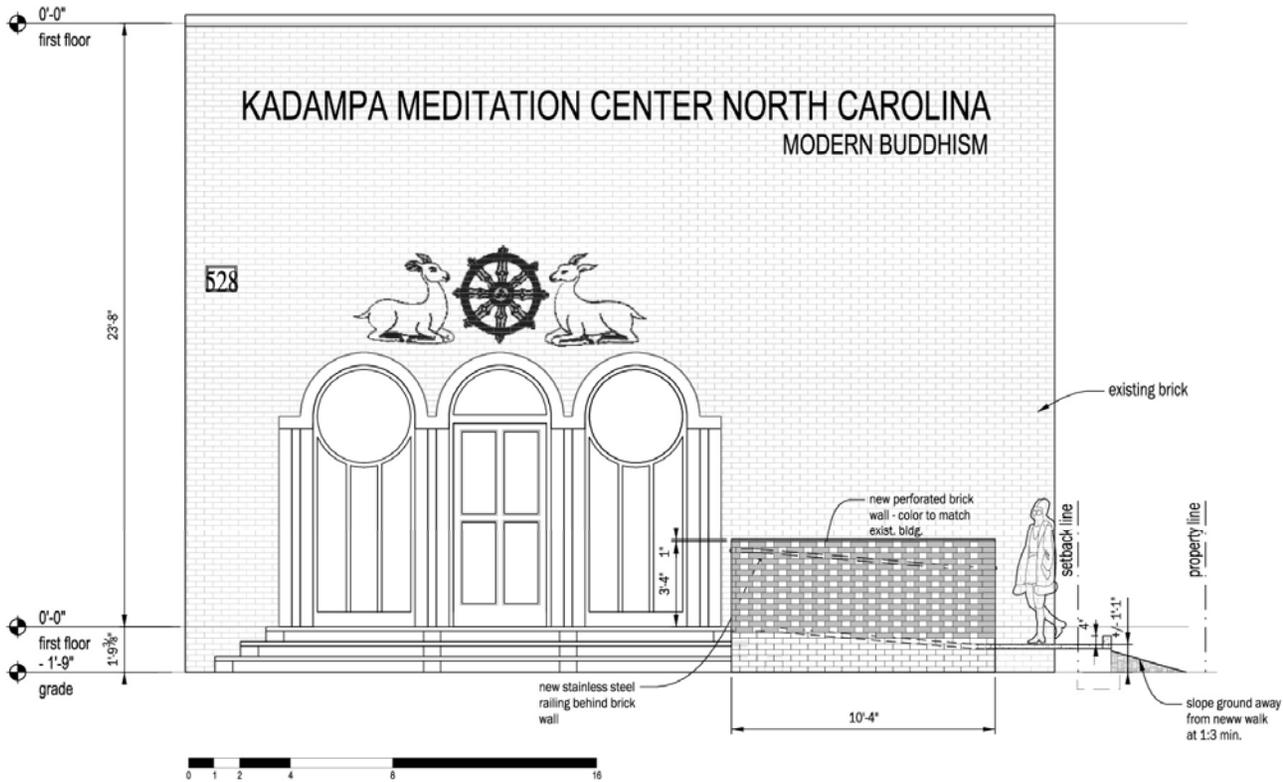


EXISTING FRONT ELEVATION

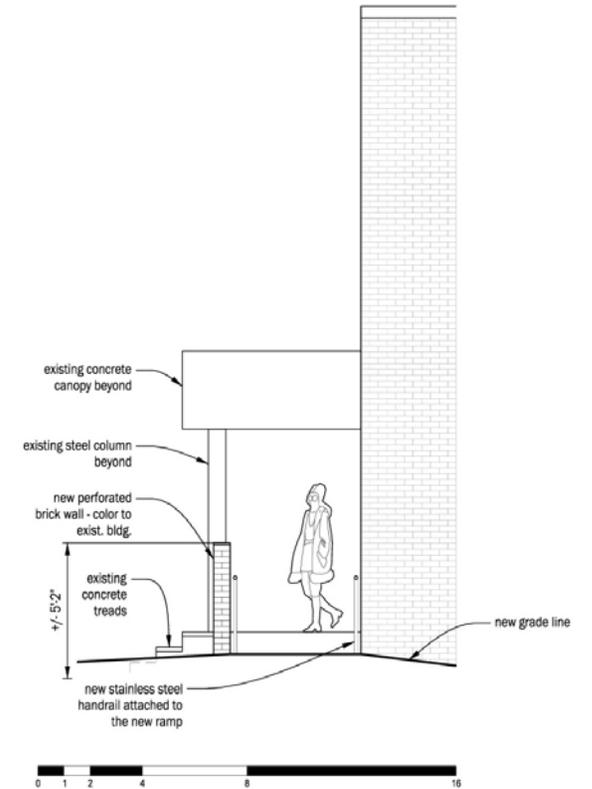


NEW FRONT ELEVATION

NEW ELEVATIONS



NEW FRONT ELEVATION



NEW SIDE ELEVATION