

LOCAL HISTORIC DISTRICT: Plaza Midwood
PROPERTY ADDRESS: 1330 Pecan Avenue
SUMMARY OF REQUEST: Driveway
APPLICANT: Rob Kendrick

Details of Proposed Request

Existing Context

The existing structure is a single family house on a corner lot with a detached garage and existing carriage track driveway.

Proposal

The proposal is the addition of a second driveway along Hamorton Place in the same design as the existing driveway. The fence would be relocated to accommodate the driveway.

Policy & Design Guidelines – Sidewalks and Parking, page 8.2

A driveway frequently leads to the rear of a lot where it may terminate at a parking area, a garage or a shed.

1. Retain existing historic driveways.
2. Driveways made of twin parallel paved strips are considered important historic features and should be maintained where possible. This type of driveway design can be used in new construction where appropriate.
3. For new construction, provide driveways to the side of the new building. New driveways should be as narrow as possible.
4. Do not place paved areas for parking in the front yard. In smaller-scale residential parcels, driveways that stop at the original building façade are viewed as front yard parking pads, and thus are prohibited. All driveways for residential uses should extend to at least the rear building line.
5. Repair damaged areas with materials that match the original paving in color, size, texture, and finish. Ensure any new paving material is compatible with the character of the context of the project. Asphalt paving is not allowed for sidewalks, curb cuts, and aprons.

Staff Analysis

The Commission will determine if the proposal meets the applicable guidelines for parking areas.

Charlotte Historic District Commission Case 2017-284
HISTORIC DISTRICT: Plaza Midwood
DRIVEWAY



-  1330 Pecan Avenue
-  Plaza Midwood Historic District
-  Property Lines
-  Building Footprints

Hamorton Pl

08117402



#1 1330
#3

08117403

#B 1326
#A

081174

15



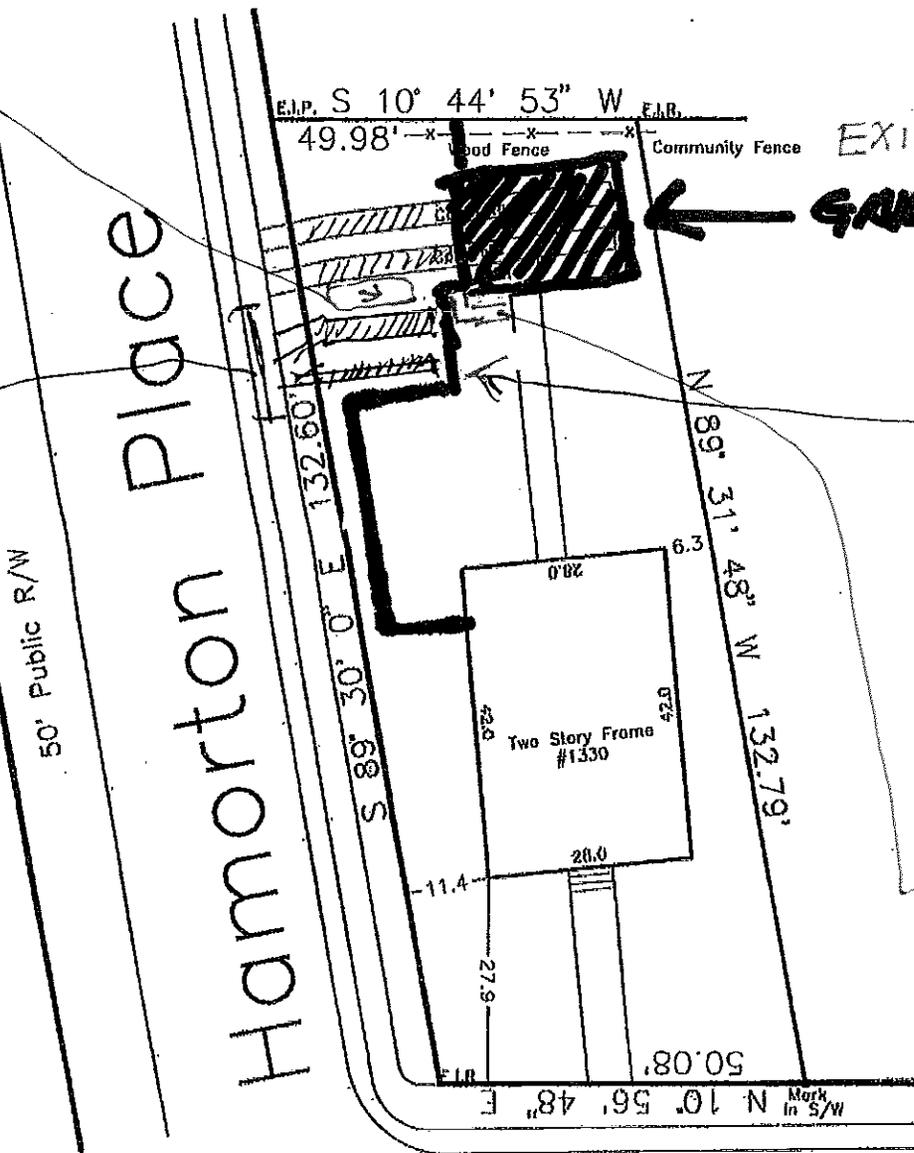
1330

PROPOSED

Tax Parcel=08117401
Legal=PTL11&12 B24 M195 2B 1510 HAMO
Deed=03756-389
Owner=LUCILLE G TARLTON

PANELS (NOT TO SCALE)
SEE SAMPLE PICTURE

NEW CARRIAGE
PATH DRIVEWAY
OFF STREET
PARKING
POURED CONCRETE
(SEE PICTURE)
W/ BRICK PAVERS
BETWEEN
THE 2 SETS OF
PATNS



ALTER FENCE LINE TO
ACCOMMODATE NEW OFF-STREET
PARKING (SAME BOLLDER- $\frac{1}{2}$)

Tax Parcel=08117403
Legal=P11 B24 M195-2B
Deed=22919-883
Owner=JOSHUA GUTHMANN

SAME DESIGN
SAME MATERIAL
SAME STAIN

REPLACE
BROKEN CONCRETE
W/PAVERS - SEE PICTURES

.66'66" E.I.R.
E 10'53'55" N

Pecan Avenue









Hamorton





BROKEN SIDEWALK

A photograph of a driveway leading to a dark brown garage door. The driveway is composed of several concrete slabs separated by expansion joints. A central strip of red brick pavers runs down the middle. There are patches of grass and mulch on either side of the concrete. The text "DRIVEWAY SAMPLE" is overlaid in the center of the image.

DRIVEWAY SAMPLE

A photograph of a brick paver sample. The pavers are rectangular and arranged in a staggered pattern. They have a mix of reddish-brown and greyish-blue colors. The joints between the pavers are filled with a light-colored mortar and have some dried grass or weeds growing in them. The text "PAVER SAMPLE" is overlaid in the center in a black, serif font. On the right side, the tips of two dark brown shoes are visible, suggesting the photo was taken from a high angle looking down at the pavers.

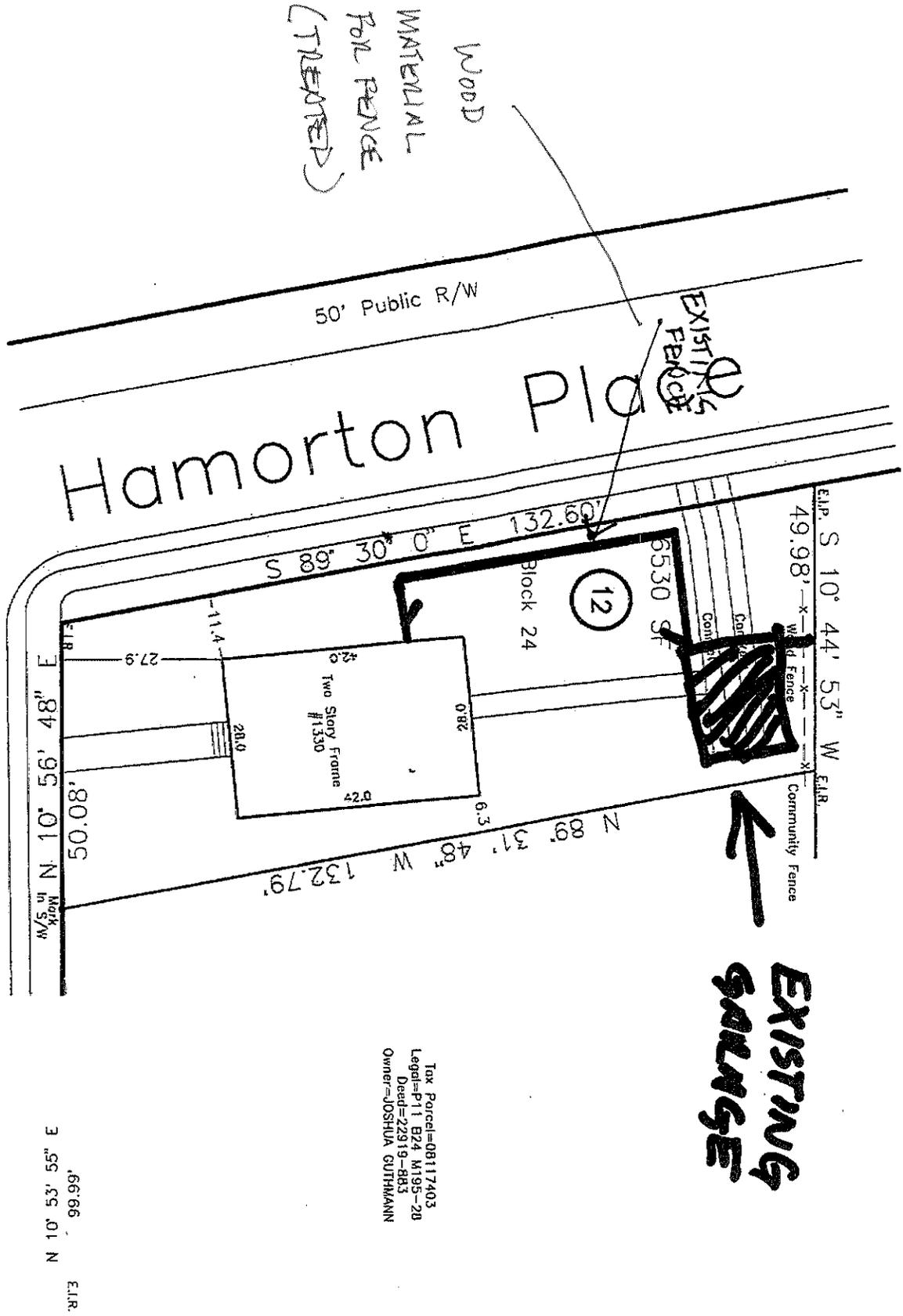
PAVER SAMPLE



TYPICAL WEEKEND

EXISTING

Tax Parcel=08117401
Legal=PTL11&12 B24 M195 28 1510 HAMO
Deed=03756-389
Owner=LUCILLE G TARTLTON



Tax Parcel=08117403
Legal=P11 B24 M195-2B
Deed=22919-883
Owner=JOSHUA GUTHMANN