

LOCAL HISTORIC DISTRICT: Wesley Heights
PROPERTY ADDRESS: 424 South Summit Avenue
SUMMARY OF REQUEST: Addition
APPLICANT: Shy Goldstein

Details of Proposed Request

Existing Context

The existing site is a corner lot at South Summit Avenue and Litaker Avenue. The house is a one story Bungalow that sits approximately 8-9 feet above the street. The owner constructed a new deck on the left side without a COA.

Proposal

The applicant is requesting approval for the deck replacement project. The primary deck material is cedar.

Policy & Design Guidelines Porch Rails, page 47

1. Porch rails must be of a design that is appropriate to the building.
2. New porch rails must be properly detailed for the architectural style of the building.

Policy & Design Guidelines – Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the deck meets the guidelines for additions.

Charlotte Historic District Commission Case 2017-281
HISTORIC DISTRICT: WESLEY HEIGHTS
ADDITION



-  424 S. SUMMIT AV
-  Wesley Heights Historic District
-  Property Lines
-  Building Footprints

0 70 140 280 420 Feet

June 5, 2017



Lone Star Engineering, PC
4728 Park Rd., Ste. C
Charlotte, NC 28209
704.516.3833

2/23/2017

Eric Goldstein
424 S. Summit Ave.
Charlotte, NC 28208

Ref.: Deck at 424 S. Summit Ave..

Dear Mr. Goldstein:

Yesterday I performed a structural inspection on the deck at the referenced residence. I found the subgrade met the prescribed bearing capacity of 2000 psf, the foundations met App. M requirements of the 2012 NCRBC. The framing is structurally sound and meets the structural requirements of the 2012 NCRBC. A photo of the deck is shown below.



Sincerely,

Don Bennett, PE





PLOT PLAN FOR PERMIT APPLICATION
 ONE/TWO FAMILY, MODULAR, MOBILE HOME OR ZONING USE

Permit #:

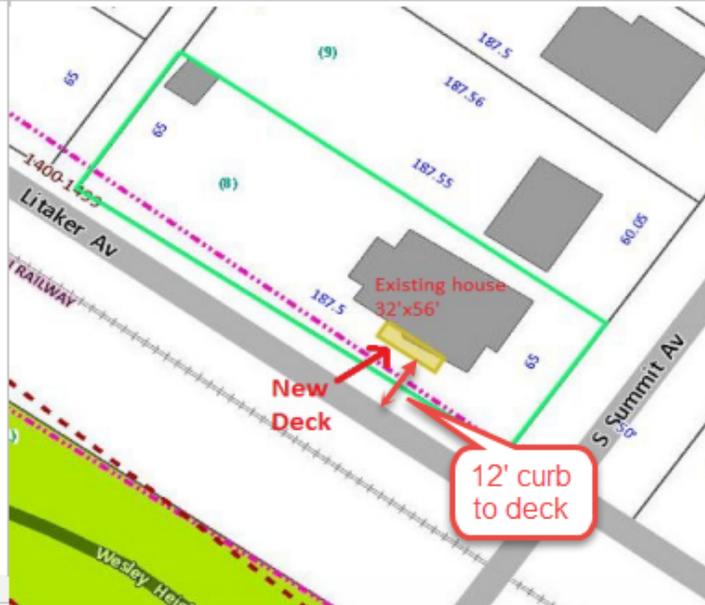
Street #: 424 S Summit Av Suite #/Units
 (N,S,E,W) Street Name (AV, RD, etc.)

Tax Parcel #: _____ Job #: submittal #108109869

INSTRUCTIONS:

In the space provided, draw plot plan as neatly and accurately as possible, from survey if available. Separate application and plot plan required for each building.

1. Draw street(s) and right-of-way(s)
2. Draw property lines with dimensions.
3. Draw proposed and existing buildings showing any attached porch(es), deck(s), chimney(s), carport(s) or garage(s), etc...
4. Show distances of buildings from property lines or other structures.
5. Show all major utility towers, when applicable.



ALL EXISTING AND PROPOSED BUILDINGS ON LOT ARE SHOWN WITH MEASUREMENTS INDICATED.

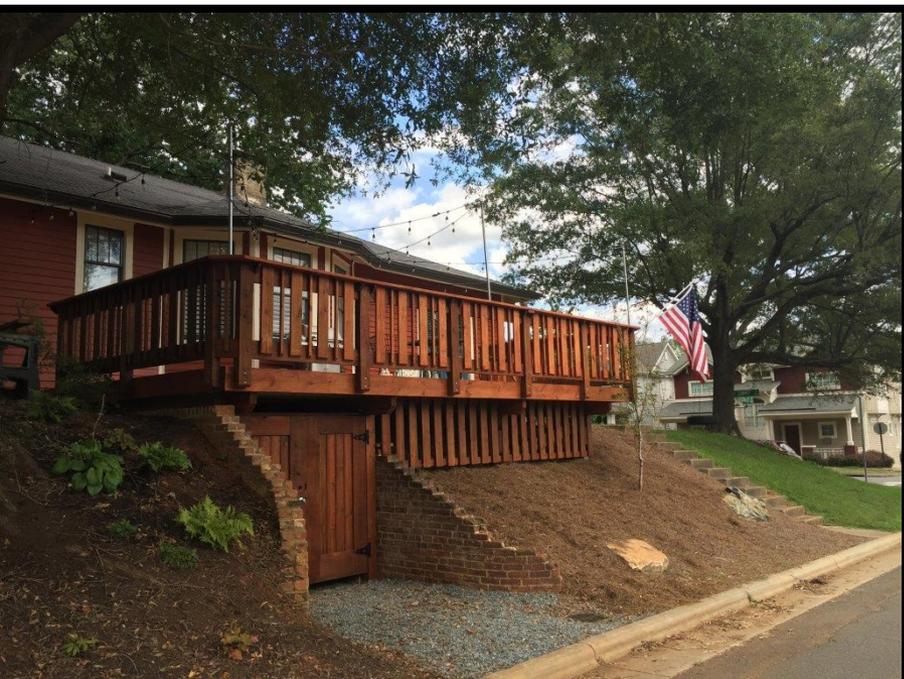
Eric Goldstein
 Applicant's signature

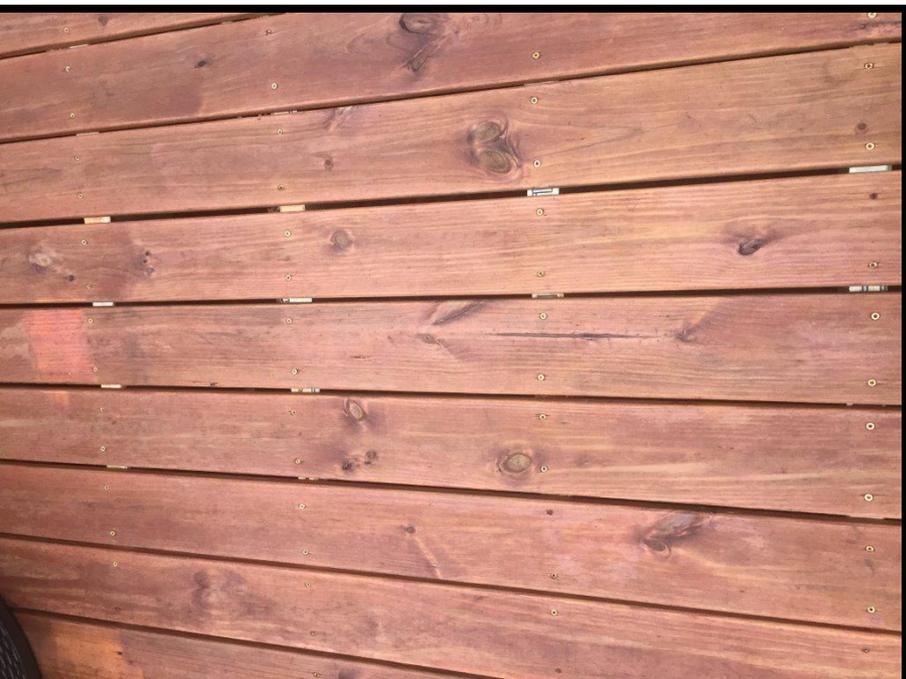
2/23/2017
 Date

Eric Goldstein
 PRINT APPLICANT'S NAME

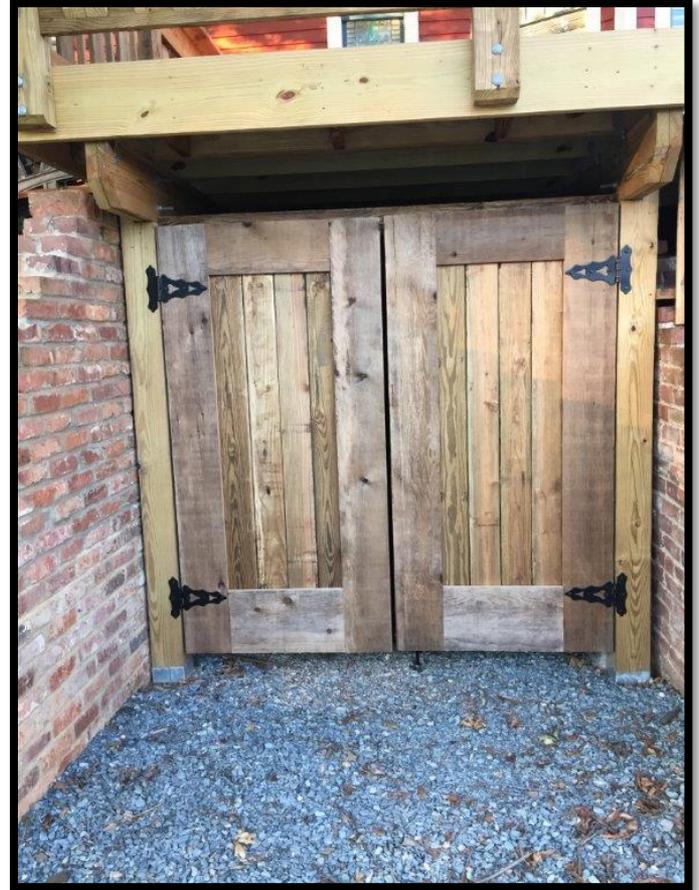
Zoning Approved By:
 Remarks:

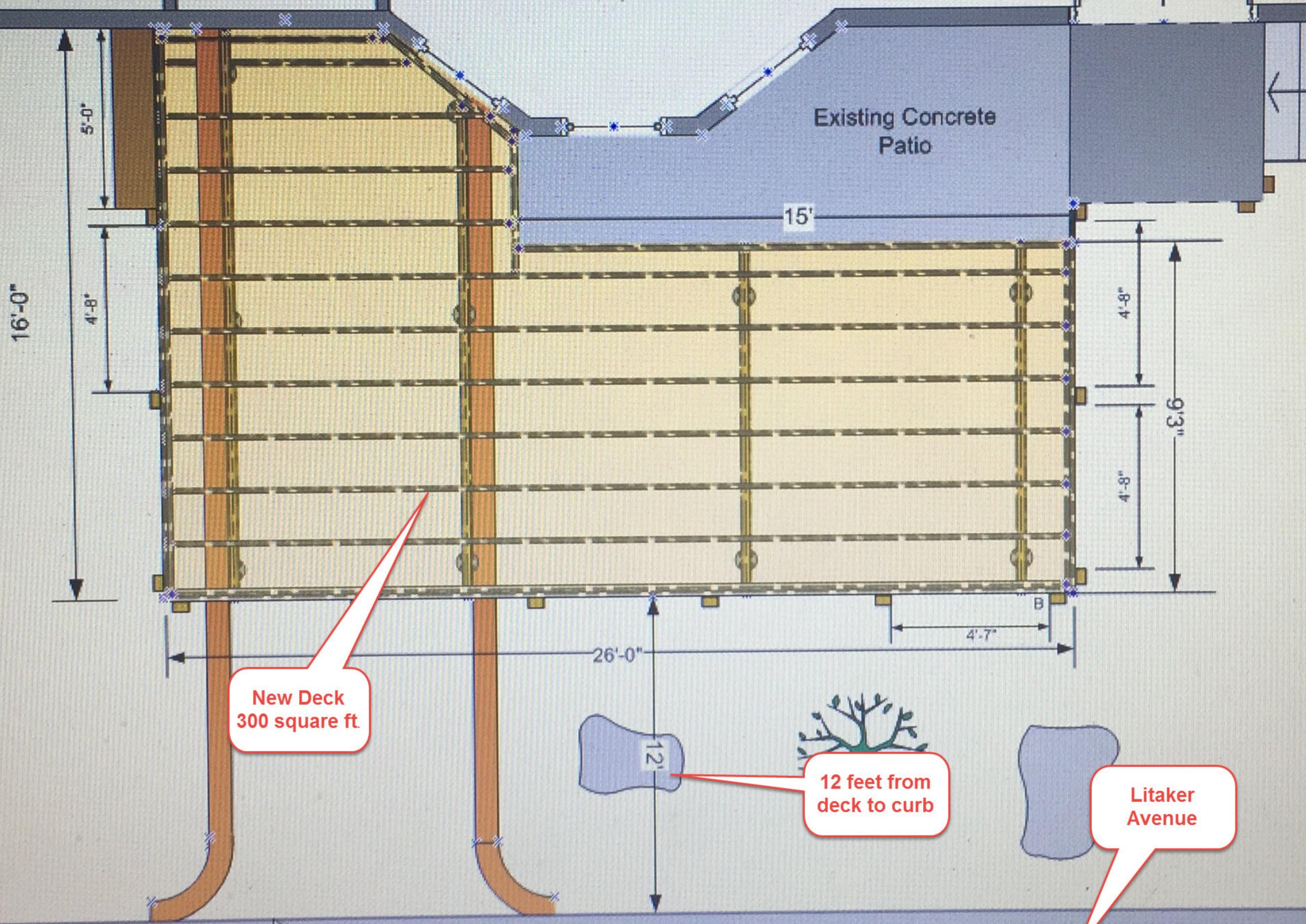
Date:











Existing Concrete
Patio

15'

16'-0"

5'-0"

4'-8"

4'-8"

9'-3"

4'-8"

4'-7"

26'-0"

12'

New Deck
300 square ft.

12 feet from
deck to curb

Litaker
Avenue