
LOCAL HISTORIC DISTRICT: Plaza Midwood

PROPERTY ADDRESS: 1414 The Plaza

SUMMARY OF REQUEST: Alternate material

APPLICANT: Matthew Harrison

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story American Small House constructed in 1944. Several additions and modifications have been made to the exterior. The original material is brick.

Proposal

The project is being reviewed administratively for a rear addition that is no taller or wider than the main house and not more than 50% of the existing square footage.

The applicant is requesting the use of Hardie Artisan siding on the rear addition with mitered corners as shown on the plans.

Policy & Design Guidelines for Materials, page 34

1. The Historic District Commission considers substitute siding to be inappropriate for use in a designated Local Historic District, and does not allow its use on an historic structure within a Local Historic District.
2. The use of the following substitute siding materials is considered incongruous with the overall character of local historic districts, and is prohibited.
 - Vinyl
 - Aluminum or other metal sidings
 - Masonite
3. Cementitious board products are rarely considered appropriate for the main structure on a property. The Historic District Commission will consider these products on a case by case basis.
4. All proposals for the use of other non-traditional building materials for projects in Local Historic Districts will be judged on a case-by-case basis by the full Historic District Commission. The Commission will determine how well the proposed material and its proposed use are contextually appropriate in design, texture and other visual qualities.
5. The use of substitute or replacement building materials will not be considered as an alternative to routine maintenance.

Staff Analysis - The Commission will determine if the siding material is appropriate for the main structure.

Charlotte Historic District Commission Case 2017-272
HISTORIC DISTRICT: Plaza Midwood
SUBSTITUTE MATERIAL











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HARRISON RESIDENCE ADDITION

1414 THE PLAZA
 CHARLOTTE, NC
 28205

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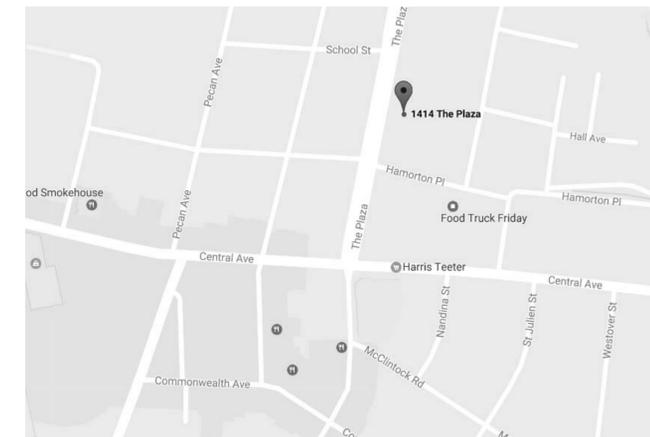
STANDARD ABBREVIATIONS

SF-SQUARE FEET	EG-END GUARD	MTL-METAL
SM-SIMILAR	EGS-EXTERIOR GYPSUM BOARD	MTP-METAL TRIM PAINT
SPECS-SPECIFICATIONS	EJ-EXPANSION JOINT	MVF-MEDIUM VINYL FABRIC
SR-STRAIGHT RUBBER BASE	EP-EPOXY PAINT	NA-NOT APPLICABLE
SS-STAINLESS STEEL	ES-EPOXY SEMI-GLOSS	NIC-NOT IN CONTRACT
SSM-SOLID SURFACE MATERIAL	ETR-EXISTING TO REMAIN	NTS-NOT TO SCALE
STD-STANDARD	EWG-ELECTRIC WATER COOLER	O-OWNER
STL-STEEL	EWL-ELECTRIC WATER HEATER	OA-OVER ALL
SV-SHEET VINYL	EXIST-EXISTING	OC-ON CENTER
T-TABLE	EXP-EXPOSED STRUCTURE	OD-OUTSIDE DIMENSION
TA-TOUCHLESS ACTUATOR	EXT-EXTERIOR	OH-OVERHEAD
TB-TACKBOARD	FA-FIRE ALARM	OPNG-OPENING
TEL-TELEPHONE	FEC-FIRE EXTINGUISHER CABINET	P-PAINT
TLT-TOILET	FHC-FIRE HOSE CABINET	PC-PRECAST CONCRETE PANEL
TPART-TOILET PARTITION	FIN-FINISH	PE-PAINT-EPOXY
TUSV-TURNED-UP SHEET VINYL	FLR-FLOOR	PES-PAINT-EPOXY SEMI GLOSS
TV-TELEVISION	FOW-FACE OF WALL	PF-PAINT-FLAT FINISH
TYP-TYPICAL	FR-FIRE RESISTANT	PL-PLASTER
UNO-UNLESS NOTED OTHERWISE	FT-FINISH FLOOR TRANSITION	PLAM-PLASTIC LAMINATE
V-VENDOR	FWC-FABRIC WALL COVERING	PLYWD-PLYWOOD
VAT-VINYL ASBESTOS TILE	GFI-GROUND FAULT INTERRUPTER	POR-PORCELAIN TILE
VC-VARIEGATED COATING	GL-GLASS	PP-PUSH PAD
VCT-VINYL COMPOSITION TILE	GR-GROUT	PRELIM-PRELIMINARY
VERT-VERTICAL	GWB-GYPSUM WALLBOARD	PS-PAINT-SEMI-GLOSS
VIF-VERIFY IN FIELD	HDW-HARDWARE	PTB-PORCELAIN TILE BASE
VSF-VERTICAL SURFACE FABRIC	HGT-HEIGHT	PTM-PATCH TO MATCH SYSTEM
VPL-VENEER PLASTER	HIM-HOLLOW METAL	RAD-RADIUS
VWC-VINYL WALL COVERING	HORIZ-HORIZONTAL	RB-RUBBER BASE
W-WITH	HR-HANDRAIL	REF-REFERENCE
W/O-WITHOUT	HWSV-HEAT WELDED SHEET VINYL	REV-REVISED OR REVISION
WB-WOOD BASE	HVF-HEAVY VINYL FABRIC	RF-RUBBER FLOORING
WC-WALL CARPET	ID-INSIDE DIMENSION	RM-ROOM
WCM-WOOD CROWN MOLDING	INCA-INCANDESCENT	RQD-REQUIRED
WD-WOOD	INSUL-INSULATION	SA-SOUND ATTENUATION
WDW-WINDOW	LAM-LAMINATE	SC-SEALED CONCRETE
WP-WALL PROTECTION	MAT-MATERIAL	SCS-SUSPENDED CEILING SYSTEM
WR-WALL RAIL	MIRACT-MOISTURE RESISTANT TILE	SCHED-SCHEDULE
WSSV-WELDED SEAM SHEET VINYL	MRGB-MOISTURE RESISTANT GYPSUM BOARD	
XCT-EXISTING CERAMIC TILE DWG-DRAWING		

INDEX OF DRAWINGS

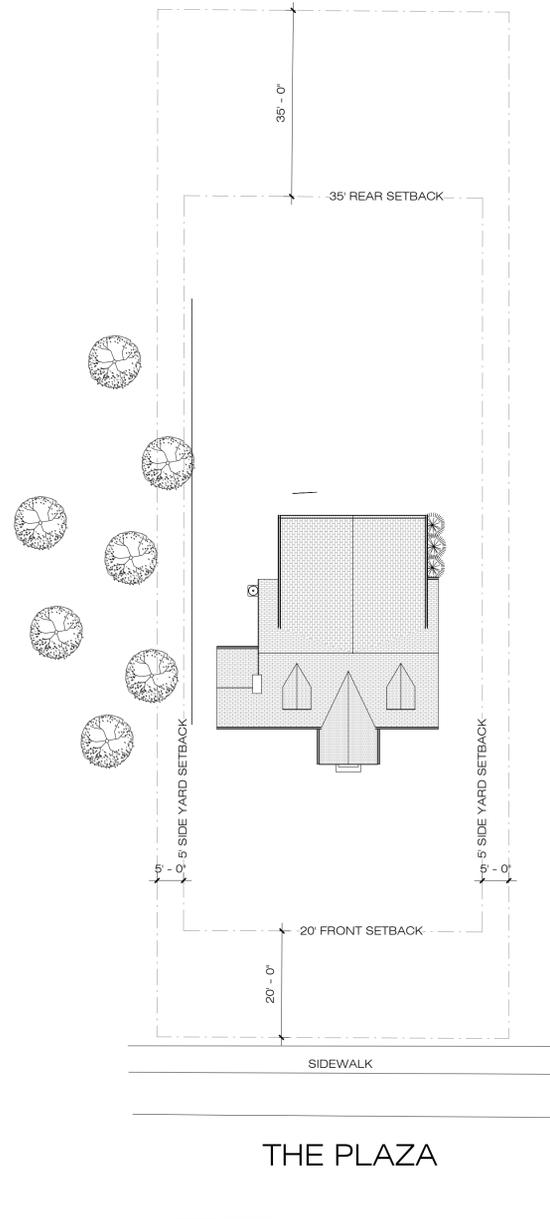
A000	COVER SHEET
A101	NEW FLOOR PLANS
A102	ROOF PLAN
A201	ELEVATIONS
A301	BUILDING SECTIONS AND DTEAILS

VICINITY MAP

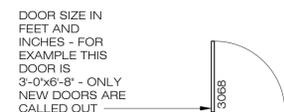


GENERAL NOTES

- PLANS HAVE BEEN DEVELOPED FROM MEASURED EXISTING FIELD CONDITIONS. MINOR DEVIATIONS ARE TO BE EXPECTED. THESE SHOULD GENERALLY BE WORKED OUT ON SITE. IN THE EVENT THAT A CRITICAL CONFLICT IS DISCOVERED, CONSULT WITH THE ARCHITECT FOR A DESIGN SOLUTION.
- BUILDER IS EXPECTED TO EXECUTE ALL WORK USING BEST PRACTICES FOR ALL MEANS AND METHODS. REPORT ANY CONFLICTS TO ARCHITECT FOR DESIGN RESOLUTION.
- BUILDER TO COMPLY WITH ALL APPROPRIATE BUILDING CODES.
- REFER TO BUILDING ELEVATIONS FOR WINDOW SIZES AND TYPES.
- SHADED ELEMENTS REPRESENT NEW BUILDING STRUCTURE.
- FURNITURE IS SHOWN FOR SPACE PLANNING PURPOSES ONLY.
- FINAL CASEWORK DESIGN (KITCHEN, BATHROOM, ETC.) TO BE FINALIZED BY OTHERS.
- ALL FF&E (FINISHES, FIXTURES AND EQUIPMENT) TO BE SELECTED BY OWNERS IN CONJUNCTION WITH THE INTERIOR DESIGNER. THIS INCLUDES ITEMS SUCH AS CABINETS, CROWN, FLOOR FINISHES, ETC.
- NEW HARDWOOD TO BE SAWTOOTHED IN TO EXISTING. EXISTING HARDWOODS SHOULD BE SANDED, AND ENTIRE NEW FLOOR STAINED TO PROVIDE A CONTINUOUS, CONSISTENT FLOOR FINISH.
- BUILDER IS ENCOURAGED TO PROVIDE FIELD VERIFIED DIMENSIONS TO TRUSS FABRICATOR PRIOR TO FABRICATION.
- ALL NEW EXTERIOR WALLS TO RECEIVE MINIMUM R-13 INSULATION.
- ALL NEW ROOF SYSTEMS TO RECEIVE R-30 MINIMUM INSULATION.
- MATCH NEW WINDOW STYLE AS CLOSELY AS POSSIBLE TO EXISTING WINDOWS TO REMAIN.
- MATCH NEW ROOF SHINGLES TO EXISTING SHINGLES TO REMAIN.
- ALL STRUCTURAL MEMBER SIZES TO BE SIZED BY A STRUCTURAL ENGINEER AND TRUSS FABRICATOR'S ENGINEER.
- ALL ELECTRICAL FIXTURES, SUCH AS OUTLETS, LIGHTS, FANS, ETC. TO BE SELECTED AND LOCATED ON SITE WITH THE OWNERS.
- PLUMBING, ELECTRICAL AND MECHANICAL ENGINEERING TO BE PROVIDED BY RESPECTIVE TRADES.
- STRUCTURE OF EXISTING BUILDING TO BE INSPECTED AND EVALUATED BY THE STRUCTURAL ENGINEER TO ENSURE BEARING CAPACITY OF ADDITIONAL BUILDING LOADS.



1 SITE
 1/16" = 1'-0"



BUILDING
 ARCHITECT

STUDIO S, PLLC
 1429 BEVIS DRIVE
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ELECTRICAL
 ENGINEER

STRUCTURAL
 ENGINEER

PLUMBING
 ENGINEER

HARRISON
 RESIDENCE

Issue Date:	---
Revisions:	---

COVER SHEET

A000

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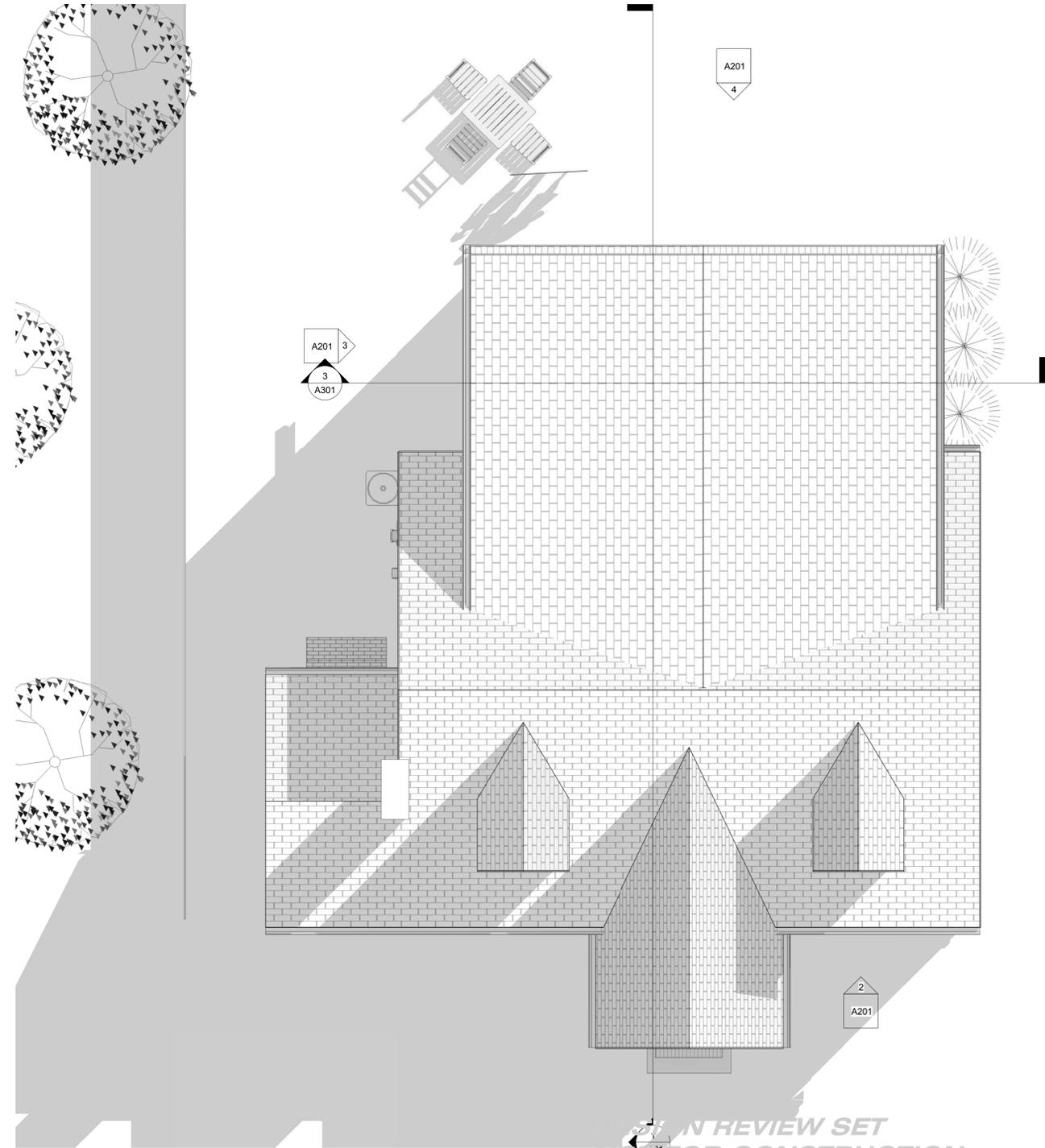
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③ REAR PERSPECTIVE 2



② REAR PERSPECTIVE 1



① ROOF PLAN
1/4" = 1'-0"

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APRIL 18, 2017
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HARRISON
RESIDENCE

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Revisions:	

ROOF
PLAN

A102



Issue Date:	
Revisions:	

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4 BACK ELEVATION
1/4" = 1'-0"

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3 LEFT ELEVATION
1/4" = 1'-0"



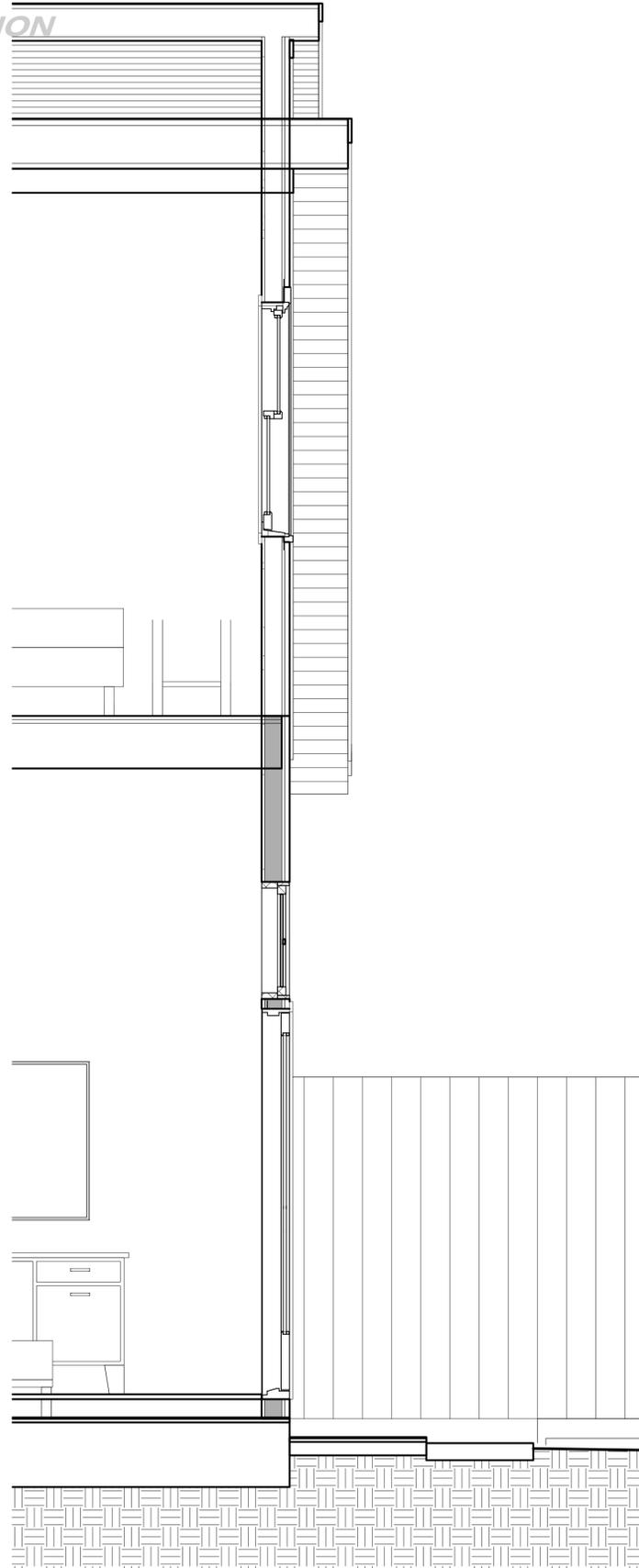
2 FRONT ELEVATION
1/4" = 1'-0"



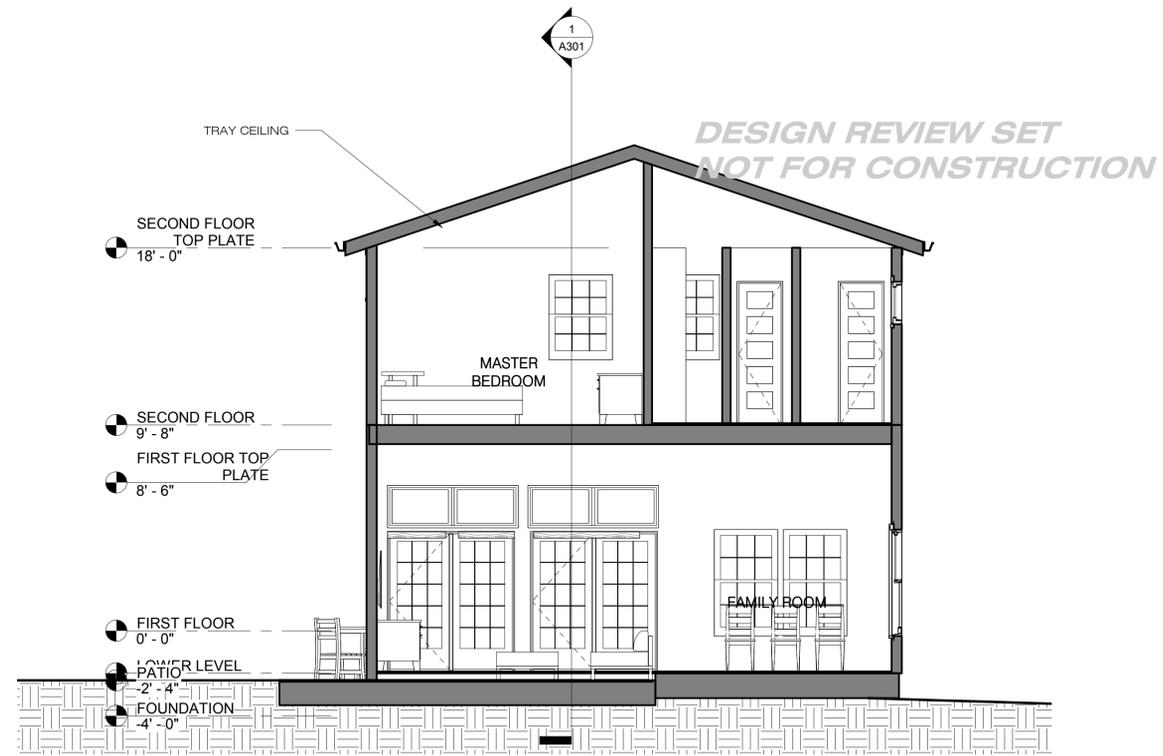
1 RIGHT ELEVATION
1/4" = 1'-0"

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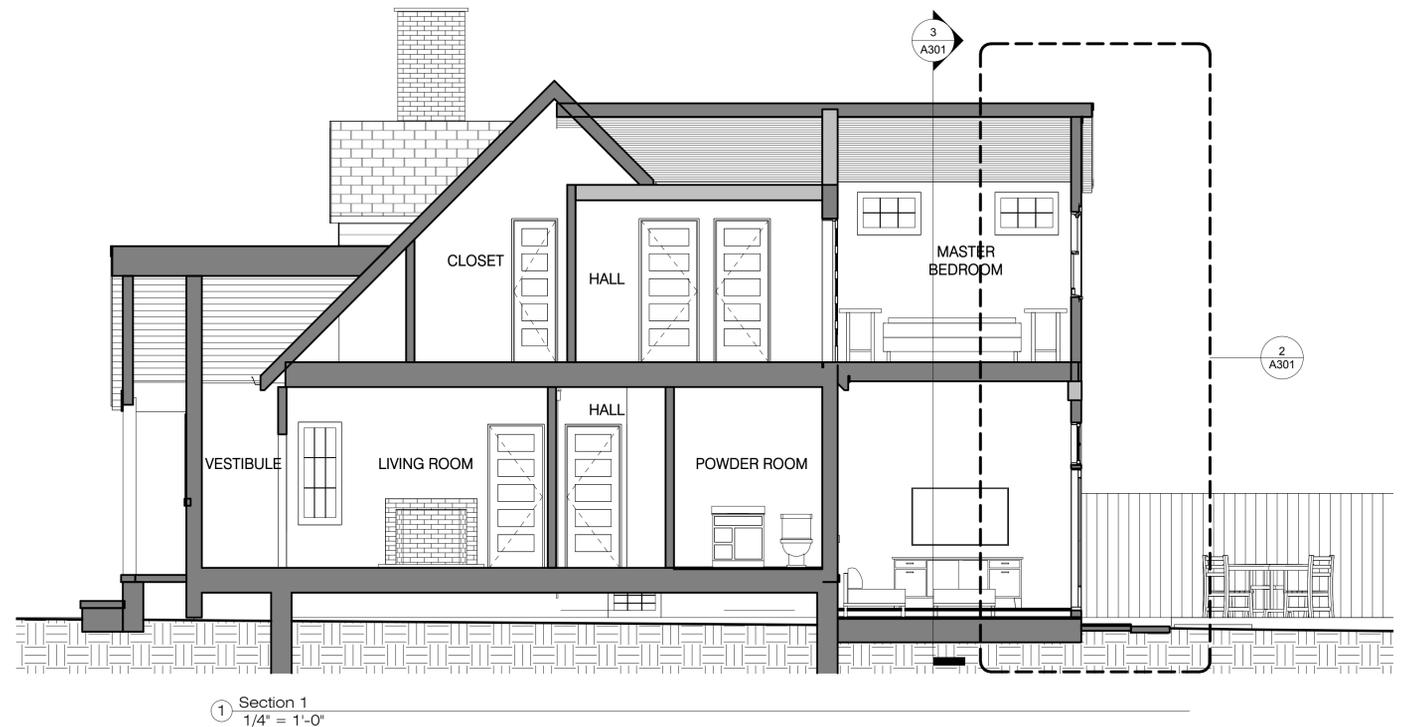


② Section 1 - Callout 1
3/4" = 1'-0"



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③ Section 4
1/4" = 1'-0"



① Section 1
1/4" = 1'-0"

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Issue Date:	Revisions:
	Revisions:
	Revisions: