

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1726 South Mint Street

SUMMARY OF REQUEST: Door, tree and window removal

APPLICANT: Kim Flood

Details of Proposed Request

Existing Conditions

The existing structure is a one story cottage style house constructed in 1940 at the corner of South Mint Street and West Boulevard. Adjacent structures include a quadraplex and one story cottage type houses. COA's were issued for an addition and site improvements.

A Notice of Violation was issued for the removal of the front door, a window in the front gable and large mature tree in the front yard.

Proposal

A front door, a window in the front gable and large mature tree were removed without a COA.

Policy & Design Guidelines - Windows and Doors, page 26

The placement and relationship of windows and doors are often critical parts of the style of a building. The demands of modern energy efficiency and security standards can lead owners of older buildings to consider replacement windows. These guidelines are designed to accommodate replacement windows in a manner that respects the original character of Local Historic District properties.

1. All replacement doors and windows should retain the same configuration and details as the originals.
2. Replacing panes with stained, leaded, or beveled glass is potentially acceptable as long as the configuration remains the same and the new design does not conflict with the style of the building.
3. All replacement windows must have either true divided lights, or molded exterior muntins, if appropriate. Flat exterior or interior false muntins are not in keeping with the character of most older structures. Muntin design must reflect the original window configuration. False muntin bars, if used, will be permanently affixed to the exterior of the new windows.
4. Ideally, window and door openings cannot be reduced or enlarged in size. When approved, alterations to window and door openings must remain in proper proportion to the overall design of the building.
5. All newly installed and replacement windows must have proper trim that recognizes historic precedent on the building and its context.
6. Sensitively designed exceptions to these guidelines will be considered by the Historic District Commission when such proposals are intended to accommodate the adaptive reuse of older structures.
7. Glass block replacement windows are allowed only on side and rear elevations. Only one such change is allowable per elevation. Such windows are eligible for administrative approval if the window opening is not altered.

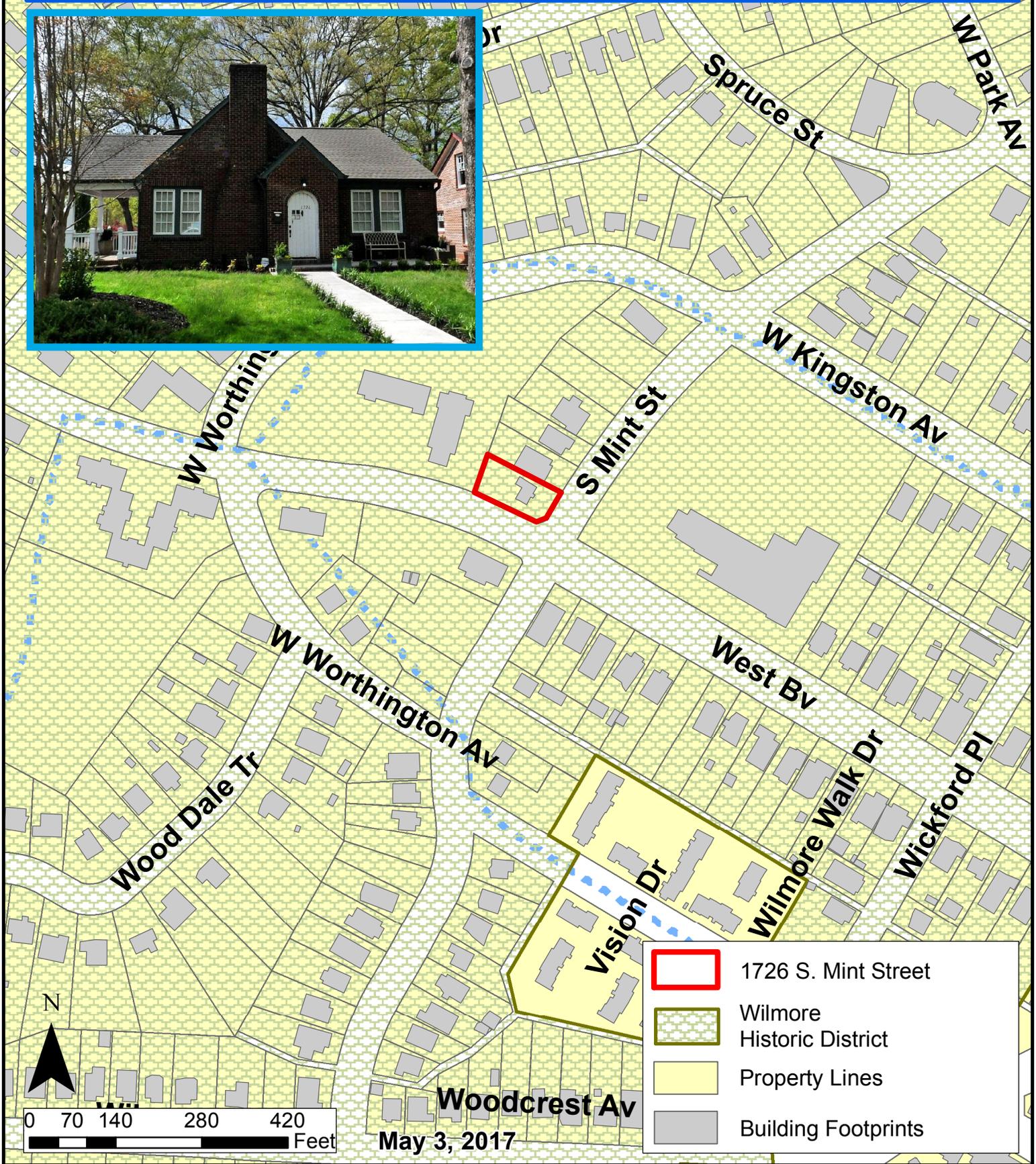
Policy & Design Guidelines - Tree Removal, page 59

1. A Certified Arborist should be consulted in all applications regarding the removal of trees, and regarding the planting of trees when necessary. For full HDC review cases, a written recommendation from a Certified Arborist may be required.
2. The removal of dead or diseased trees will not require a Certificate of Appropriateness, provided a written assessment by a Certified Arborist is submitted to HDC Staff in advance, and that the HDC Staff judges that removal is justified. Otherwise, the removal request will be reviewed by the full Historic District Commission.
3. Trees in rear yards that are less than six inches in diameter may be removed with administrative approval.
4. Large healthy trees in rear and side yards that make a major contribution to the neighborhood tree canopy cannot be removed without the approval of the full Historic District Commission.
5. Front yard trees less than six inches in diameter may be removed with administrative approval. The removal of larger trees will require the approval of the full Commission, unless a written assessment by a Certified Arborist is submitted to HDC Staff in advance, and that the HDC Staff judges that removal is justified.
6. Where necessary, applicants are responsible for obtaining a tree protection plan approval from the Charlotte Engineering Department for new construction and additions, as required by the Charlotte Tree Ordinance.

Staff Analysis

The Commission will determine the appropriate corrective actions for the removal of the window, door and tree.

Charlotte Historic District Commission Case 2017-261
HISTORIC DISTRICT: Wilmore
TREE REMOVAL



-  1726 S. Mint Street
-  Wilmore Historic District
-  Property Lines
-  Building Footprints

0 70 140 280 420 Feet

May 3, 2017



11907301 001





1726



1726



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2015.173

DATE: 17 July 2015

ADDRESS OF PROPERTY: 1726 South Mint Street

HISTORIC DISTRICT: Wilmore

TAX PARCEL NUMBER: 119.073.01

OWNER(S): Kim Flood APPLICANT: Daniel DeLaPena of DLP Custom Finishes, LLC

DETAILS OF APPROVED PROJECT: Dormer Addition. Small shed dormer will be added to existing roofline away from side street. Dormer will tie to roof below existing ridge and over existing one story portion of house. Two bands of transom windows will be added to face into back yard. Materials (including siding windows, roofing, etc.) and details (including soffit/fascia treatment, overhang, corner boards, trim, etc.) will match existing. See exhibit labeled 'Side Elevation July 2015' and 'Rear Elevation July 2015'.

Applicable *Policy & Design Guidelines* REAR YARDS page 64

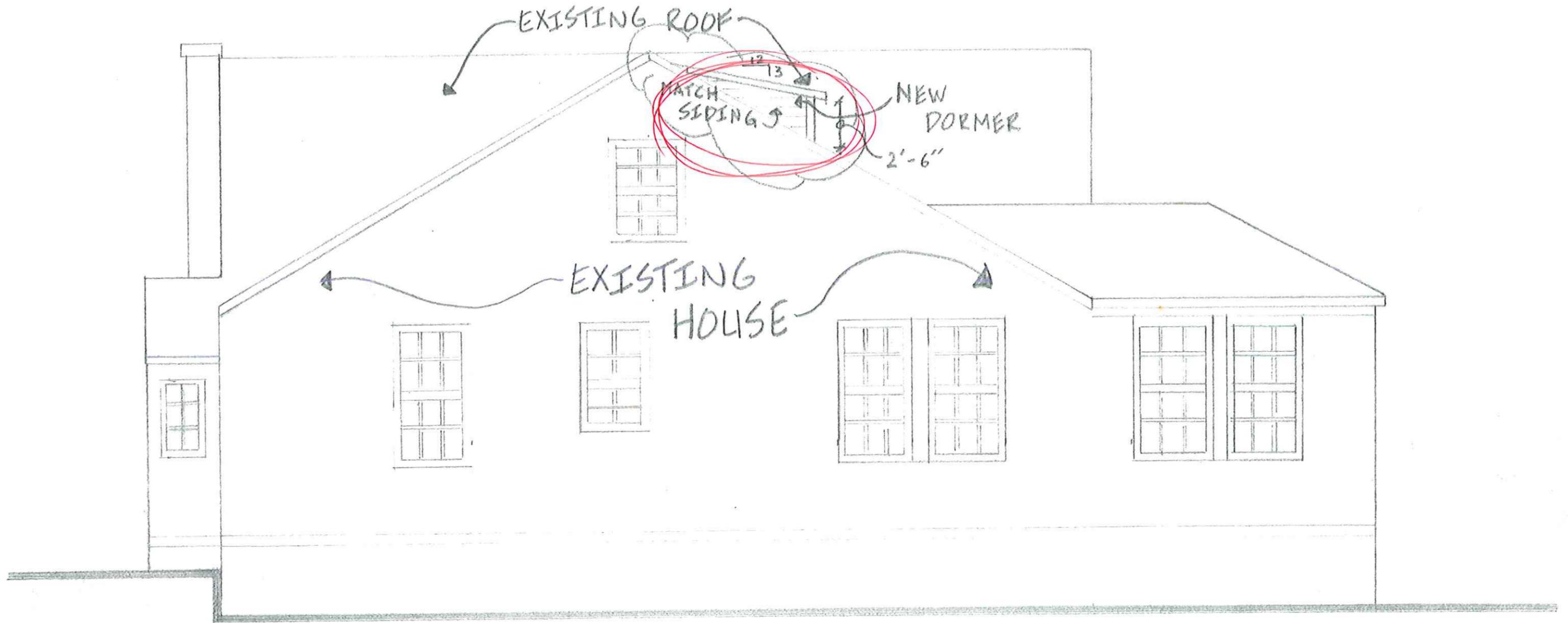
1. The Commission may allow Staff Approval of work in rear yards that will not be substantially visible from a street. This includes fencing, landscaping, driveways, parking pads, decks, patios, pools, and additions that are neither wider than the present house nor higher than the original roof line.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.


Chairman, Tom Egan


Staff, Wanda Birmingham



NOTE:
~~* NOTHING NEW IS VISIBLE FROM THIS ELEVATION~~
 see small dormer

SIDE
 ELEVATION
 July 2015

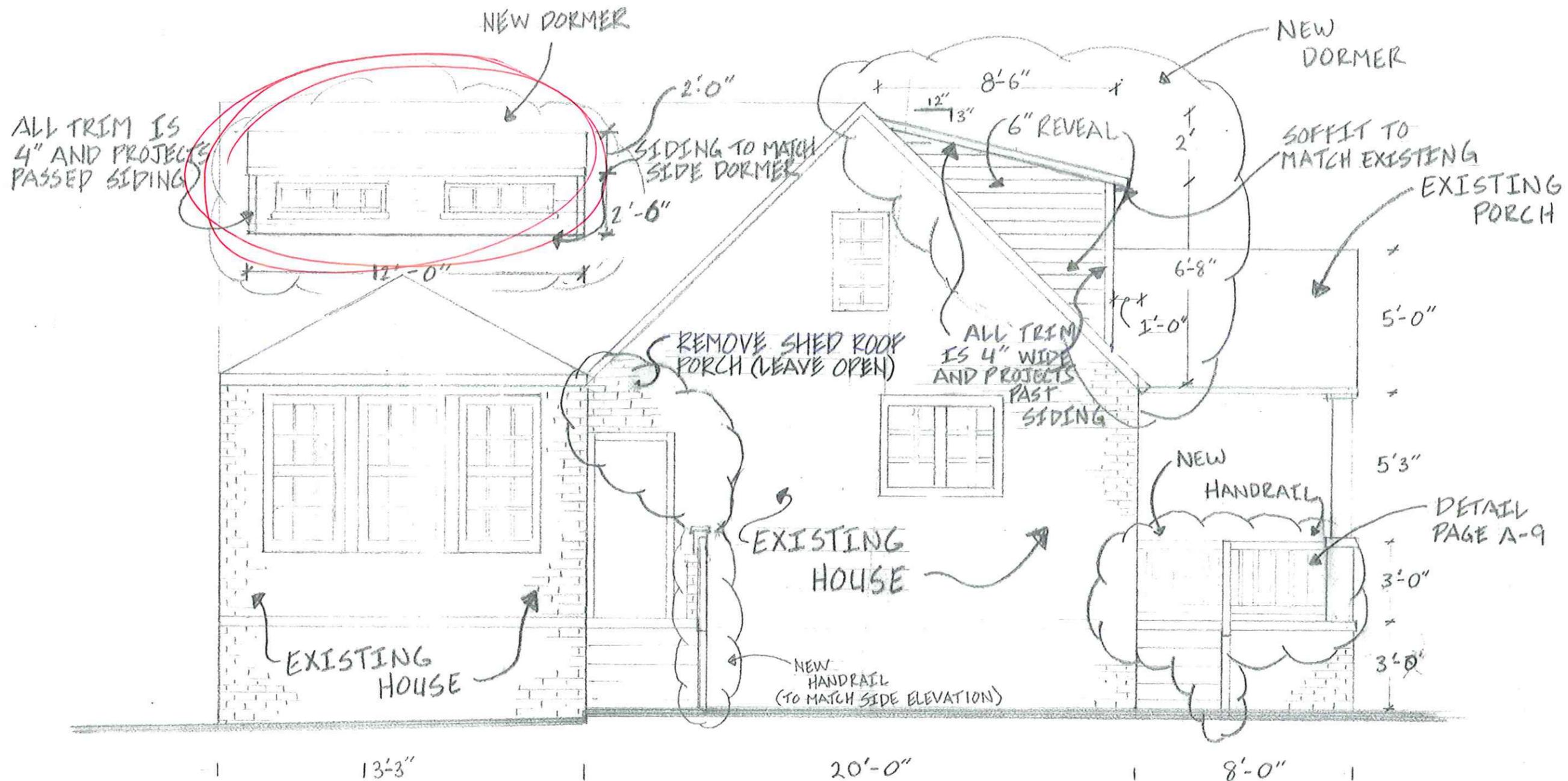


Certificate of Appropriateness
 # HDC 2015.173

APPROVED

Charlotte
 Historic District
 Commission

NORTH ELEVATION		
SCALE: $\frac{1}{4}'' = 1'-0''$	APPROVED BY:	DRAWN BY
DATE:		REVISED
		DRAWING NUMBER
		A8



REAR
ELEVATION
July 2015



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

KPLC

WEST ELEVATION		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY
DATE:		REVISED
DLP CUSTOM FINISHES		
		DRAWING NUMBER A6



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: HDC 2015.210

DATE: 5 October 2015

ADDRESS OF PROPERTY: 1726 South Mint Street

HISTORIC DISTRICT: Wilmore

TAX PARCEL NUMBER: 119.073.01

OWNER(S): Kim Flood

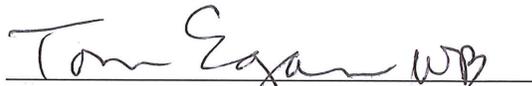
DETAILS OF APPROVED PROJECT: Porch Roof. Rear facing gable will be added over side porch. New gable will be tucked into line of primary rear facing gable and no higher than hipped roof to the side. See exhibit labeled 'West Elevation October 2015'. Columns and piers and rail will match ones on side porch. See exhibit labeled 'South Elevation October 2015'. A beam will be across top of column. Siding in gable end will match other siding on the house.

Applicable *Policy & Design Guidelines Additions* page 36

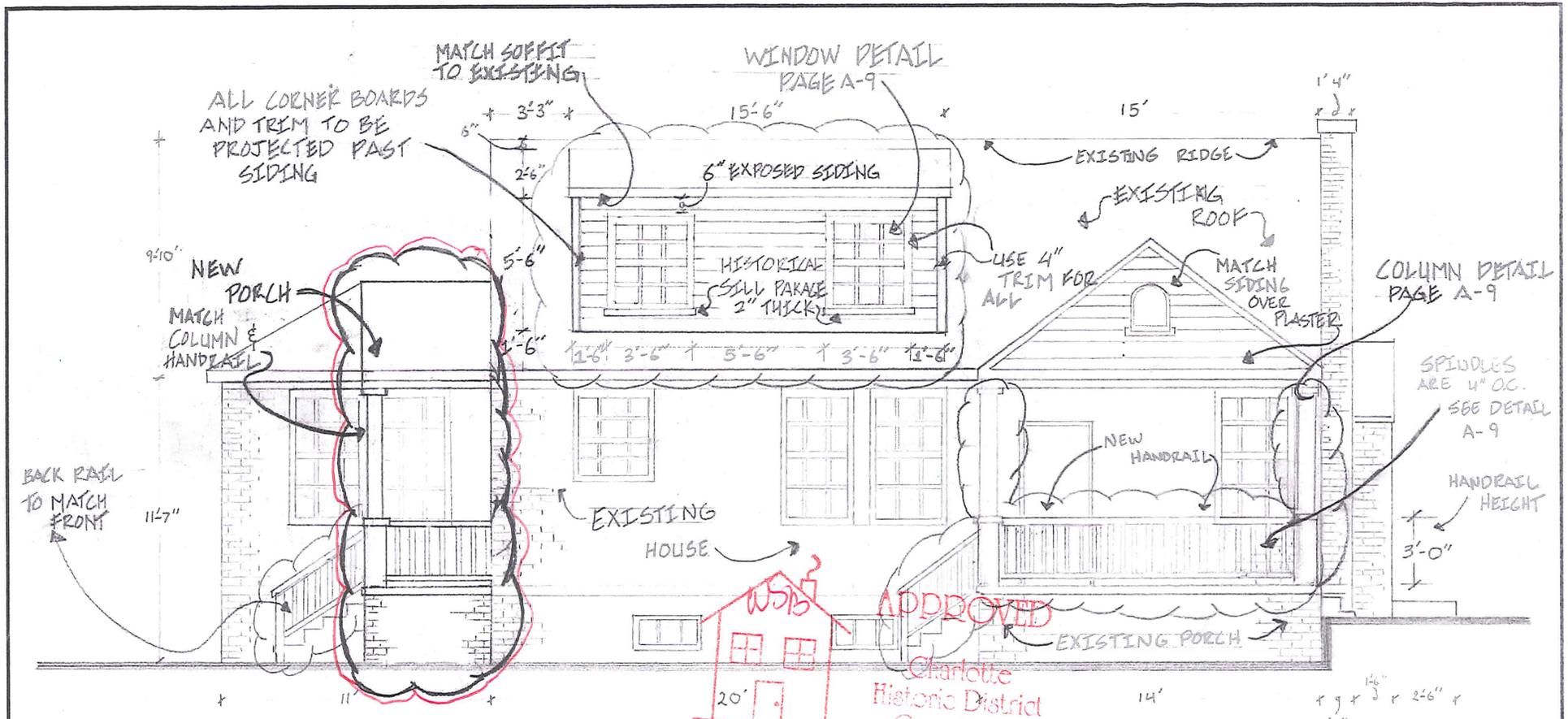
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
5. Additions to the rear of existing structures that are neither taller nor wider than the original structure may be eligible for administrative approval.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.


Chairman, Tom Egan


Staff, Wanda Birmingham



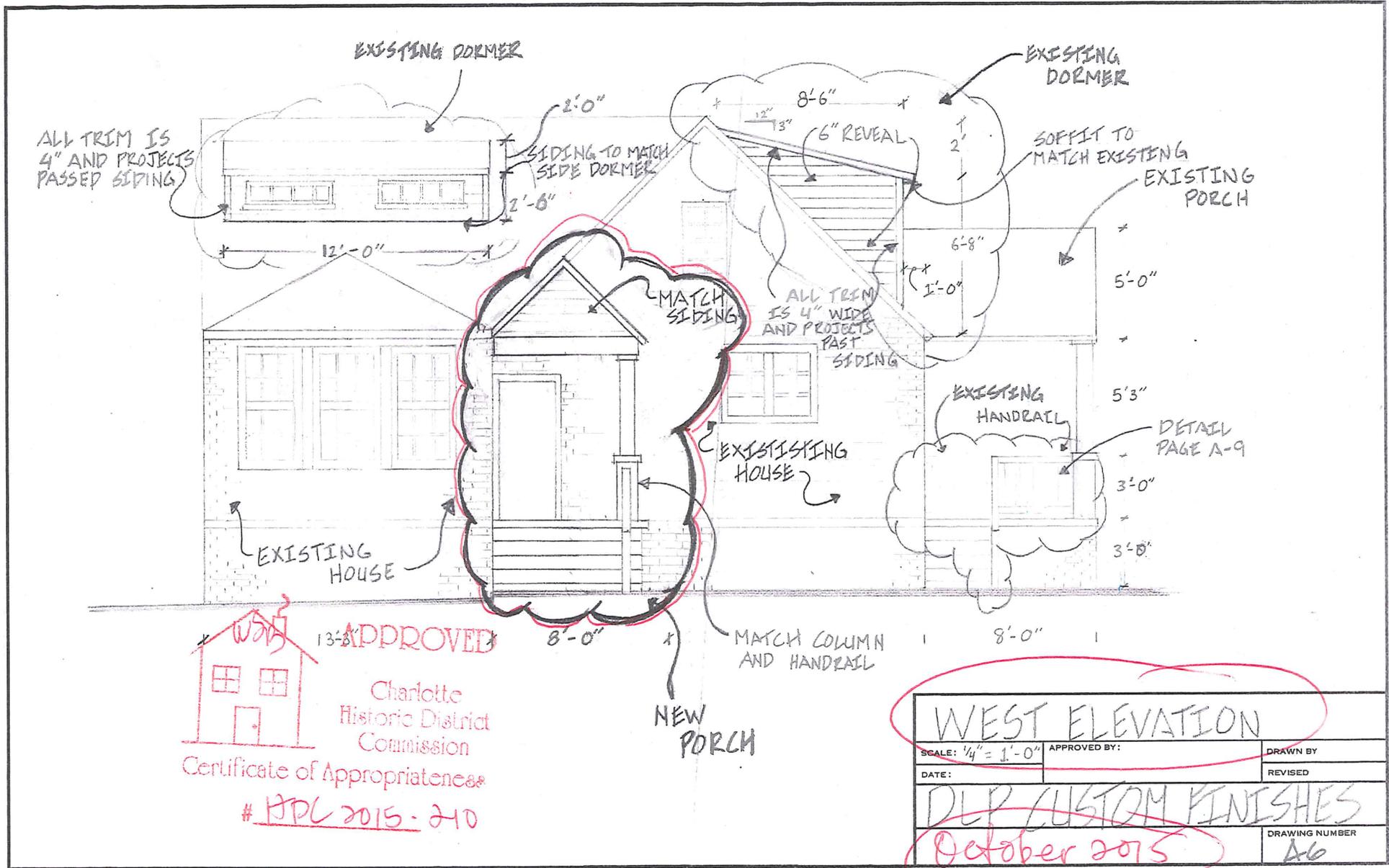
APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # HDC 2015-210

ALL TRADITIONAL MATERIALS

- DORMER**
- * USE 2" x 4" @ 16 O.C BASIC CONSTRUCTION
 - * USE WOOD SIDING TO MATCH SURROUNDING HOUSES
 - * WOOD OR WOOD W/CLAD WINDOWS
 - * SHED ROOF TO MATCH EXISTING

- HANDRAIL**
- * USE WOOD TO RESEMBLE SURROUNDING HOUSES
 - * SPINDLES ARE 1" x 2" @ 4" O.C.
 - * TOP AND BOTTOM PLATES 2" x 4" P.T.
 - * BOTH HANDRAILS ARE THE SAME

SOUTH ELEVATION		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY DLP
DATE:		REVISED
DLP CUSTOM FINISHES		
October 2015		DRAWING NUMBER A5







Bicycle symbol
3
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