
LOCAL HISTORIC DISTRICT: Fourth Ward

PROPERTY ADDRESS: 229 North Church Street

SUMMARY OF REQUEST: Gutter removal

APPLICANTR : James Anzalone

Details of Proposed Request

Existing Context

The existing structure is the Settlers Place condominium building constructed in 1907. It is a local historic landmark. The building is three stories with an original brick façade. A COA for routine repair and maintenance was issued April 2017.

Proposal

The applicant is requesting the removal of the gutters around the building.

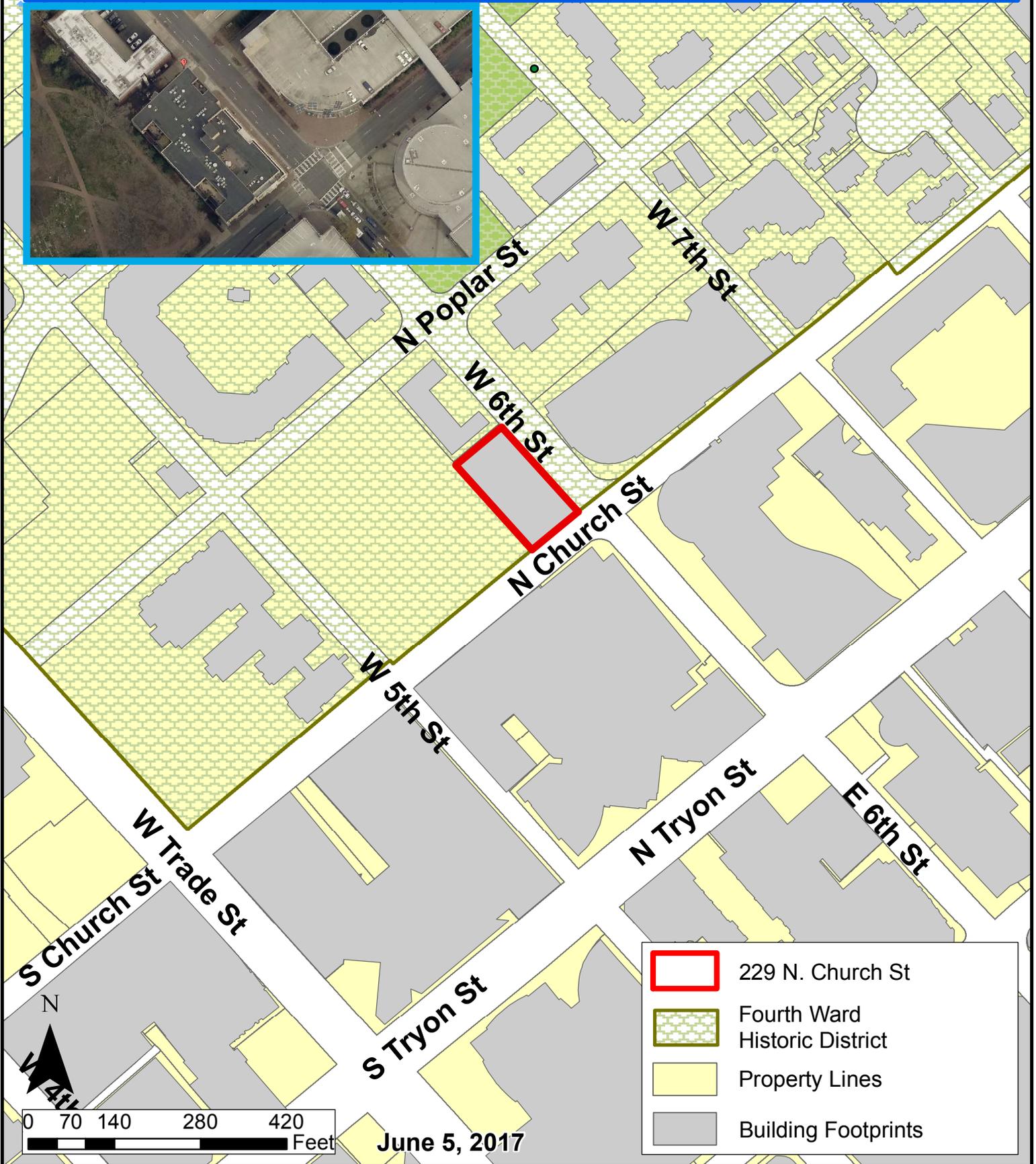
Policy & Design Guidelines – Gutters, page 4.6

1. Retain existing metal gutters and downspouts. Repair existing gutters and downspouts and provide ongoing maintenance to prevent their deterioration. Built-in gutters, which were common during the period when many of Charlotte’s properties were built, are considered important design elements and should be repaired and preserved.
2. Replace gutters and downspouts to match the original. In most instances, the historic profile of the gutter is a half-round rather than an ogee, square, or rectangular shape. Avoid the removal of historic fabric from the building when installing gutters and downspouts.
3. Make certain new metal gutters and downspouts are of the appropriate size and scale. Ensure that the finish color is compatible with the overall color scheme for the building.
4. All downspouts should be placed as unobtrusively as possible.

Staff Analysis

The Commission shall determine if gutter removal is appropriate.

Charlotte Historic District Commission Case 2017-184
HISTORIC DISTRICT: FOURTH WARD
GUTTERS





View of the Settlers Place from Church Street. There are three visible downspouts.



Settlers Place from the Discovery Center prior to the initiation of the façade restoration.



View of the corner of the building with a downspout removed.



View of the 6th Street elevation with one downspout removed and one downspout removed.

SETTLERS PLACE | GUTTERS AND DOWNSPOUTS



The downspouts are indiscernible against the brick except where cornice and precast details are cut out.



Downspouts are cut through the banding at various levels making them difficult to maintain. Birds and other animals can build nests and gain access to the cornice detail.



Typical downspout style. Note the precast was cut out to make room for the downspout.



View behind a downspout showing the increased degradation behind this element.

SETTLERS PLACE | GUTTERS AND DOWNSPOUTS



Obvious signs of the precast detail being cut out for the downspout.



View behind a downspout showing the increased degradation behind this element.



Downspouts are cut through the banding at various levels making them difficult to maintain. Birds and other animals can build nests and gain access to the cornice detail.



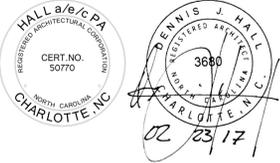
The downspouts are painted to match the brick color and the current material is not "historic". These downspouts are typical of what homeowners purchase and install today.

REFERENCE KEYNOTES

1. INSTALL WEEP SCREED AT BALCONY (NOT SHOWN ON THIS ELEVATION)
2. REMOVE AND REPLACE WINDOW TO MATCH EXISTING (NOT SHOWN ON THIS ELEVATION)
3. INSTALL METAL THROUGHWALL FLASHING AT EIFS TO CAST STONE INTERSECTION ABOVE STAIRWELL ENTRY DOOR (NOT SHOWN ON THIS ELEVATION)
4. REMOVE DOWNSPOUTS
5. TUCK-POINT DEFICIENT MORTAR JOINTS GREATER THAN 3/8".
6. CLEAN, REPAIR AND COAT EIFS WITH ELASTOMERIC COATING TO MATCH EXISTING COLOR. REMOVE AND REPLACE EIFS JOINT SEALANT.
7. CLEAN AND COAT SPECIFIED BALCONY GUARDRAILS, RESEAL BASE AND REPLACE FASTENERS W/ STAINLESS. INCREASE FASTENER DIAMETER FROM EXISTING FOR PROPER ANCHORAGE.
8. CLEAN AND PAINT INDICATED BALCONY FASCIA (NOT SHOWN ON THIS ELEVATION)
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14. CLEAN AND APPLY MASONRY WATER REPELLENT TO CAST STONE ELEMENTS
15. INSTALL 24 GAUGE KYNAR COATED STEEL COPING AT CORNICE
16. CLEAN AND COAT WHITE STUCCO ELEMENT AT ENTRY



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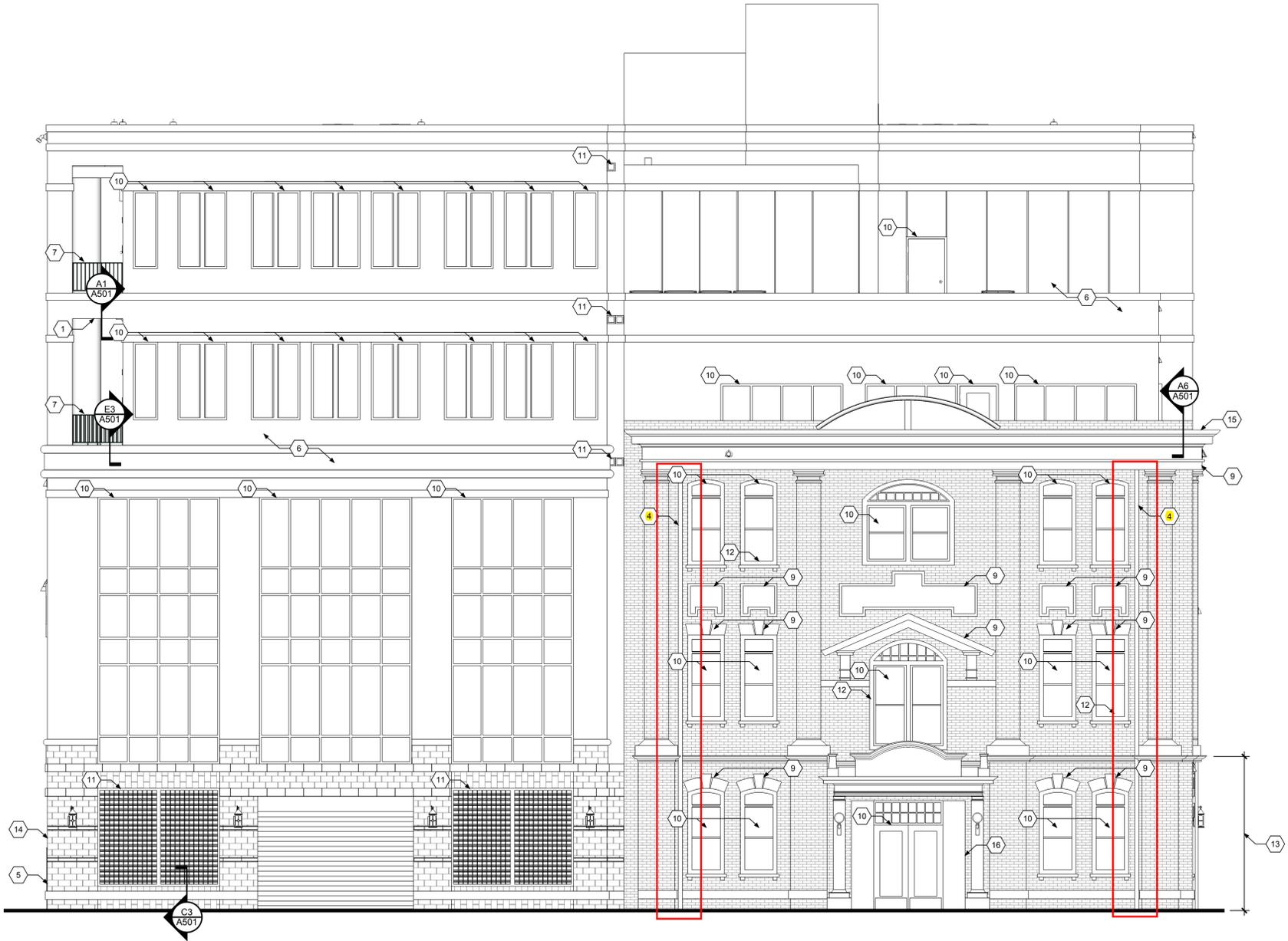


**SETTLERS PLACE
CONDOMINIUM FAÇADE
RESTORATION**

229 N. CHURCH ST.
CHARLOTTE, NC 28202

ISSUE	DATE	DESCRIPTION
1	02/23/17	FOR CONSTRUCTION

PROJECT ID: H17007.0
ENLARGED ELEVATION



A1 **SOUTHEAST ELEVATION**
A205 3/16" = 1'-0"

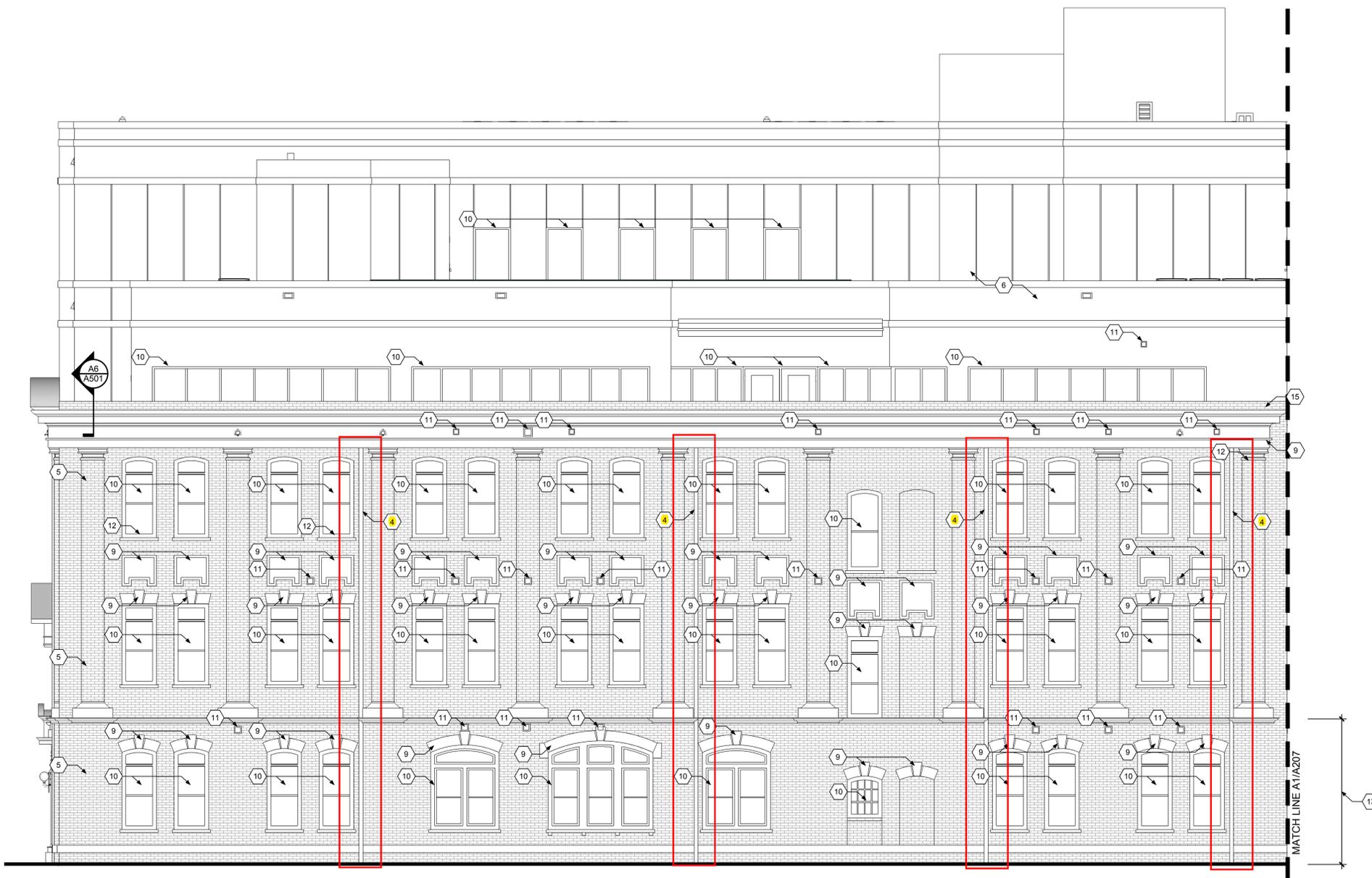
A205

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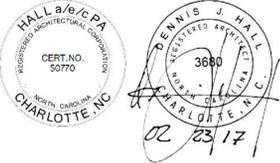
ENLARGED PARTIAL
ELEVATION

A1
A206
NORTHEAST ELEVATION
3/16" = 1'-0"

A206



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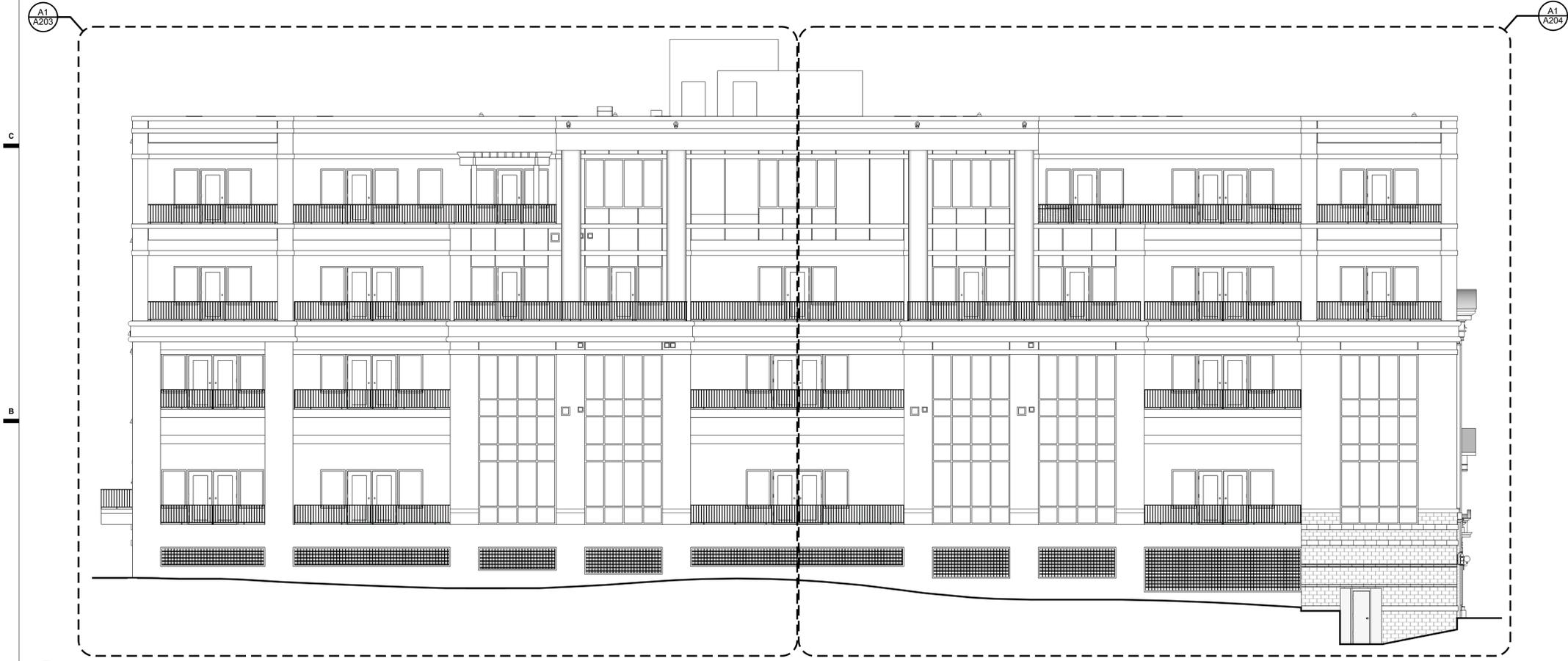
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BUILDING ELEVATIONS

A201



D1 A201 NORTHEAST ELEVATION
 1/8" = 1'-0"



A1 A201 SOUTHWEST ELEVATION
 1/8" = 1'-0"

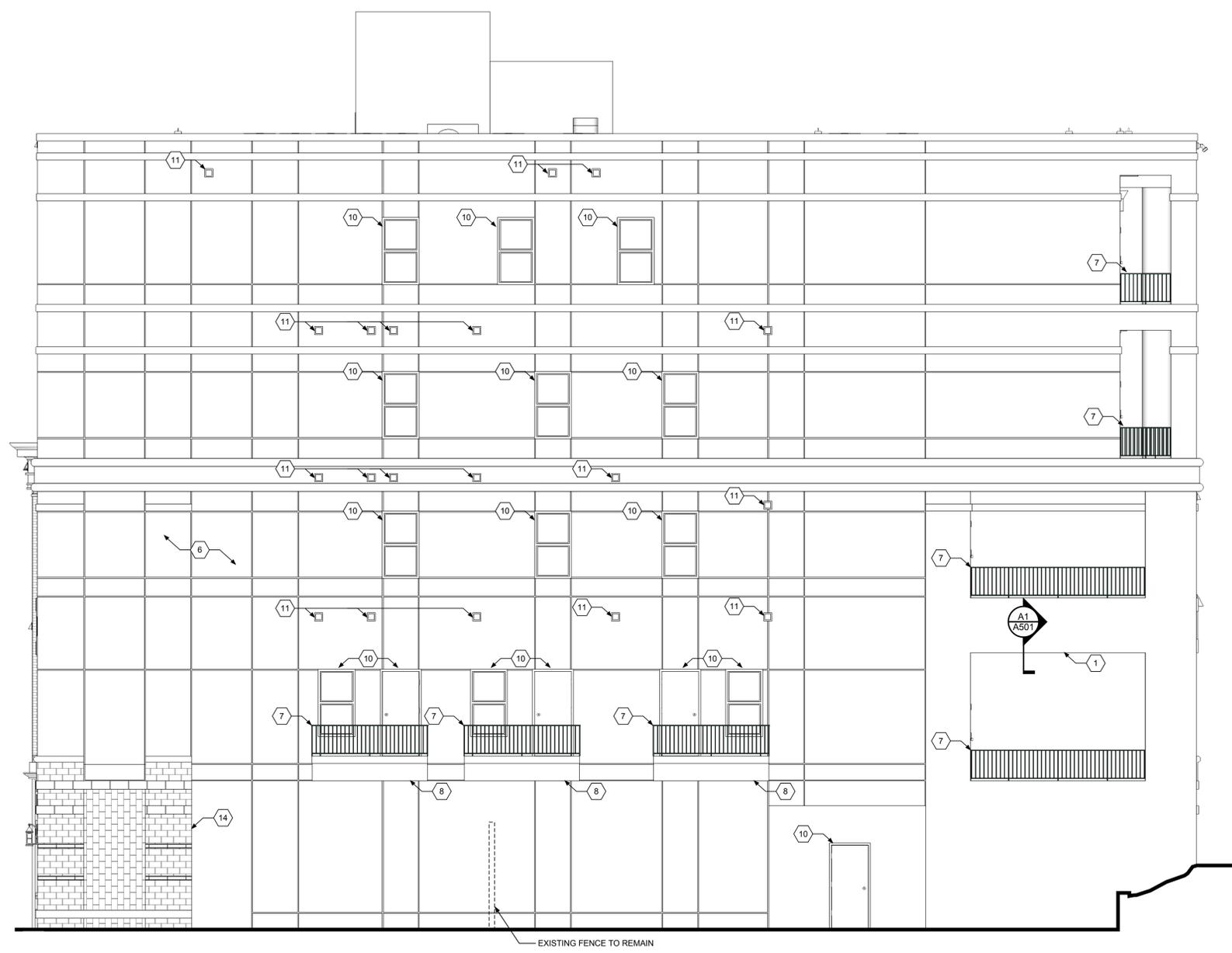
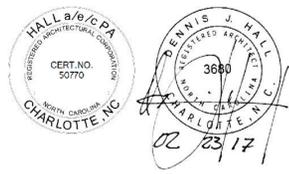
1 2 3 4 5 6

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A1
A202
NORTHWEST ELEVATION
3/16" = 1'-0"

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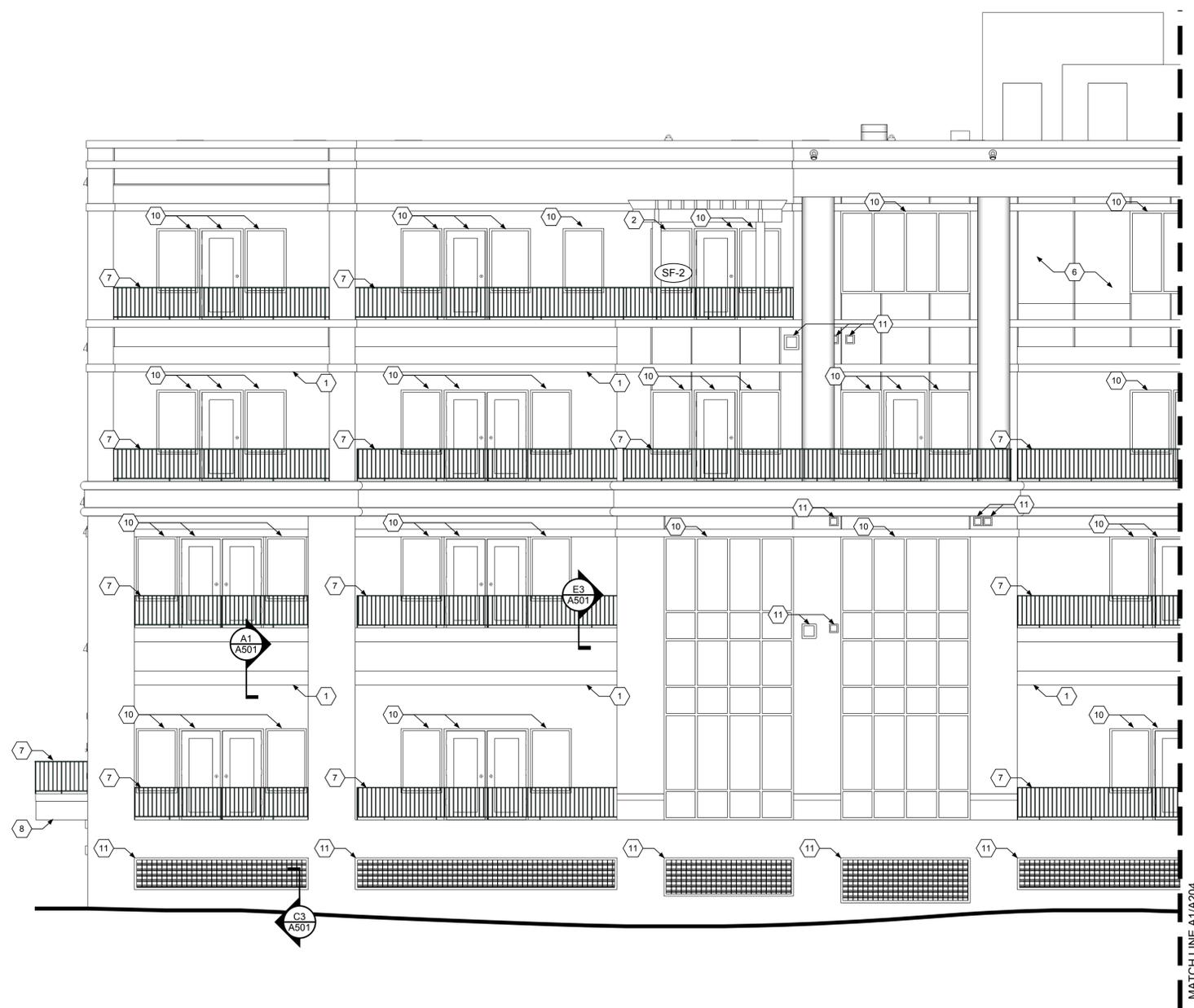
A202

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A1 A203 SOUTH WEST ELEVATION
3/16" = 1'-0"

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ENLARGED PARTIAL
ELEVATION

A203

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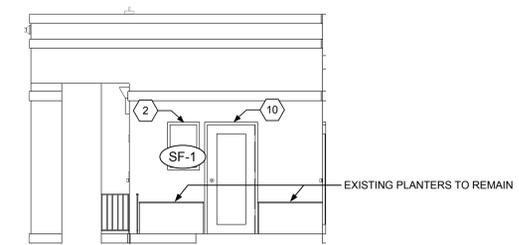
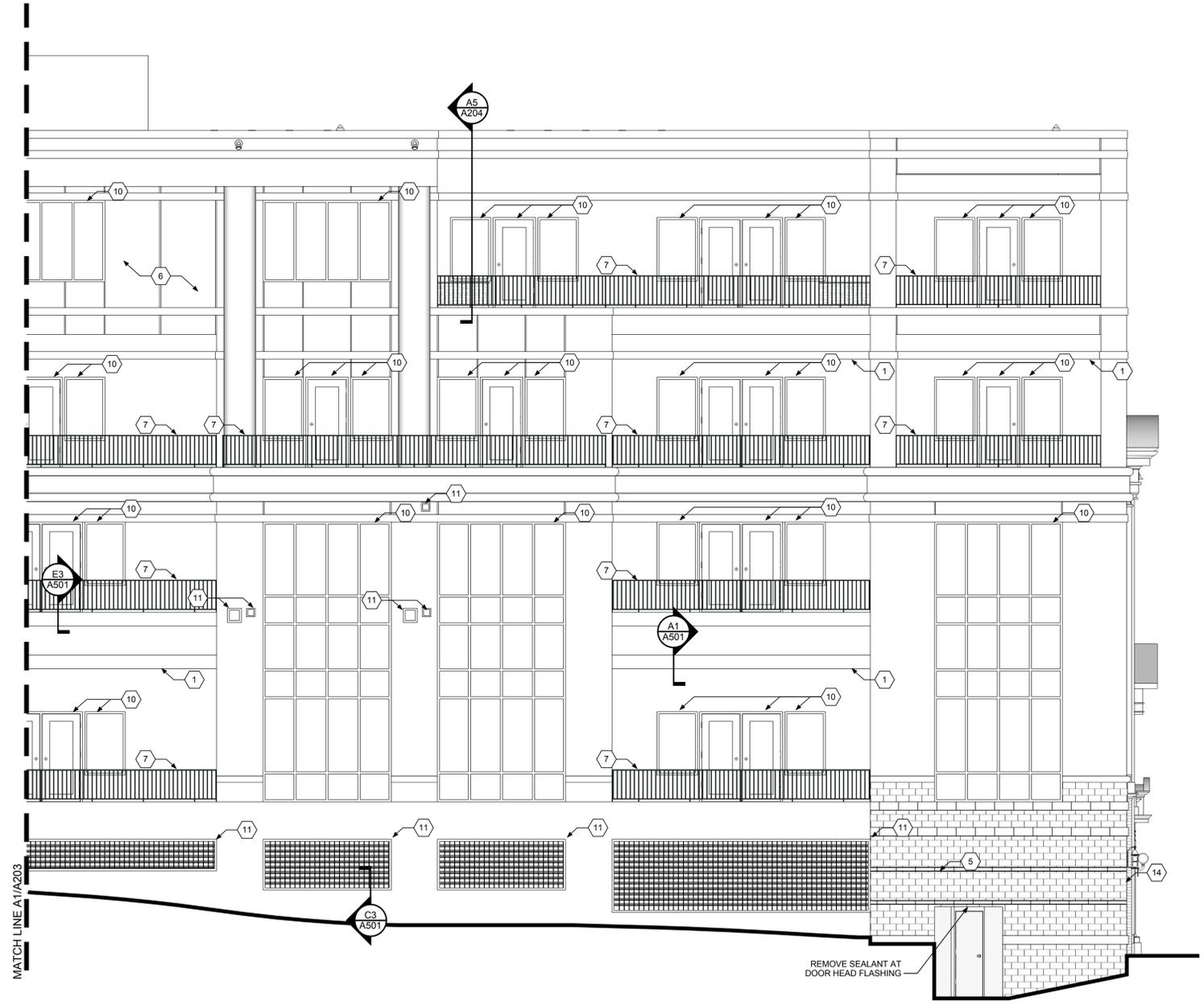
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ENLARGED PARTIAL
ELEVATION



A1
A204
SOUTHWEST ELEVATION
3/16" = 1'-0"

A5
A204
ELEVATION SECTION
3/16" = 1'-0"

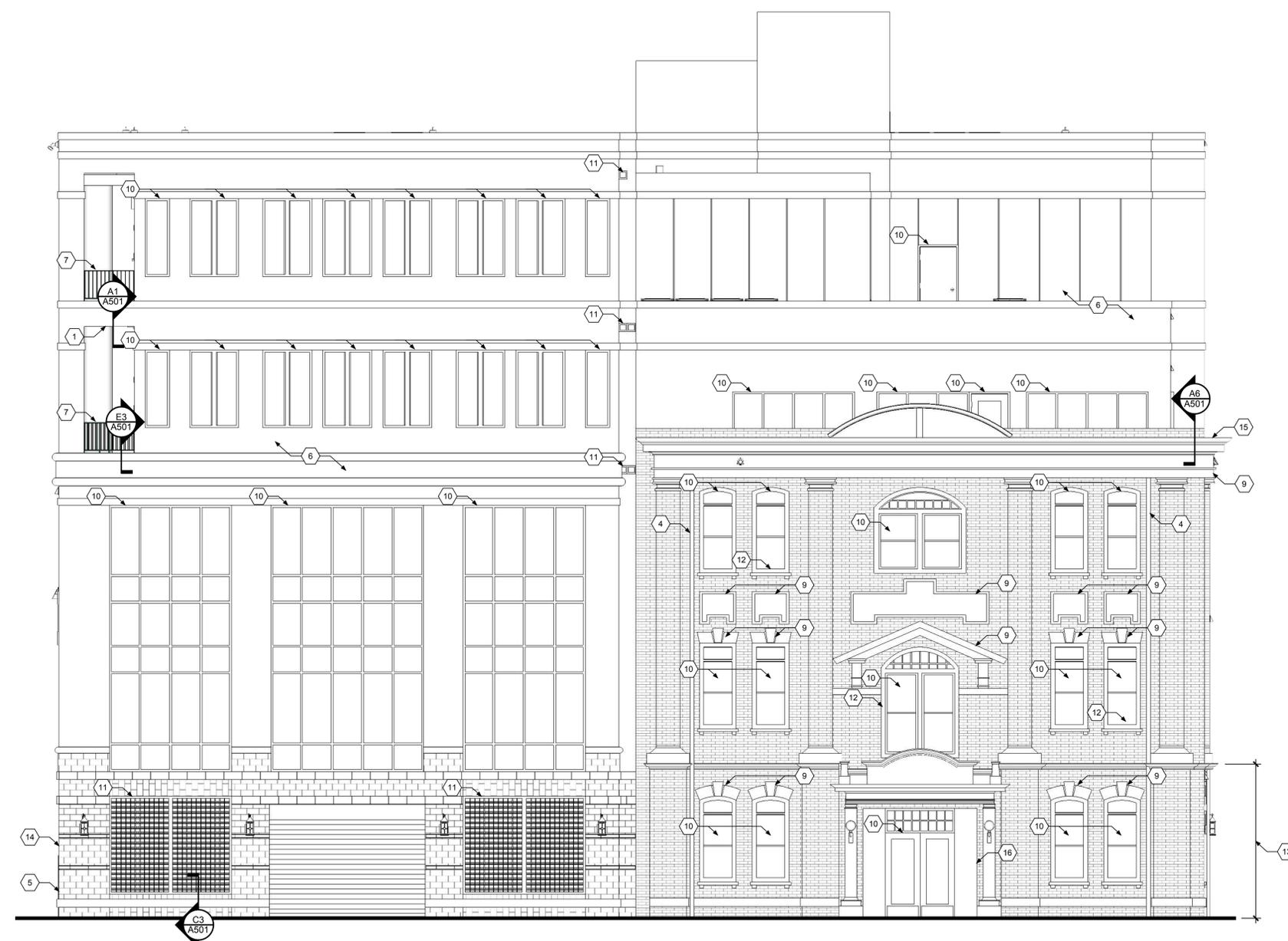
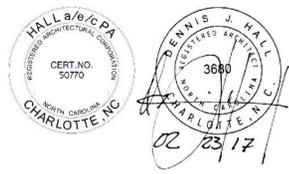
A204

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A1 A205 3/16" = 1'-0" SOUTHEAST ELEVATION

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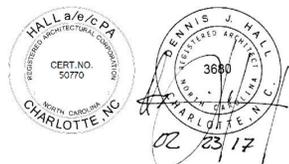
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SETTLERS PLACE
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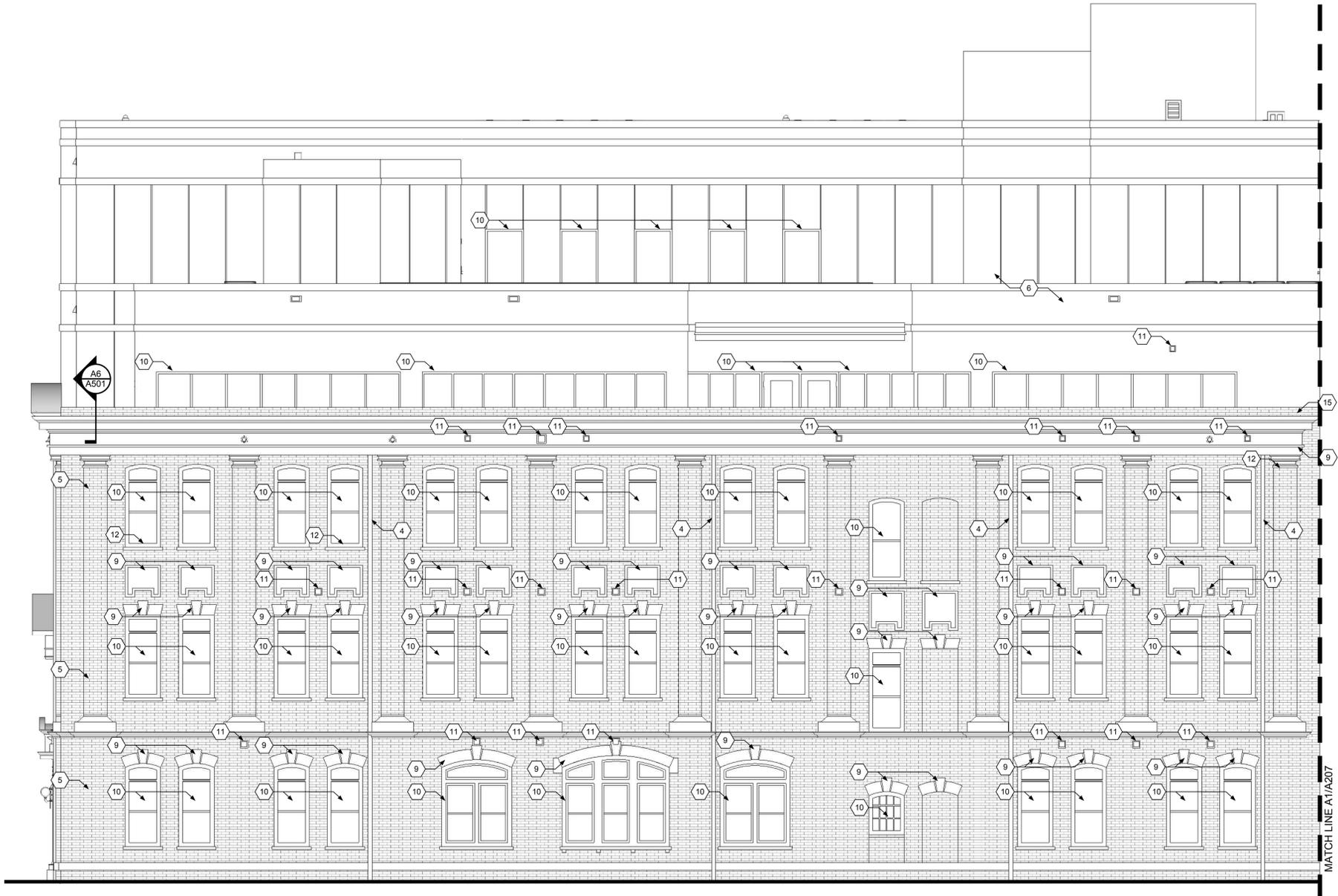
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ENLARGED PARTIAL
ELEVATION

A206



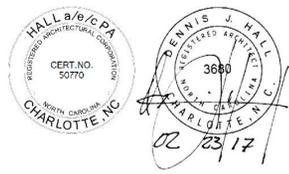
A1
A206
NORTHEAST ELEVATION
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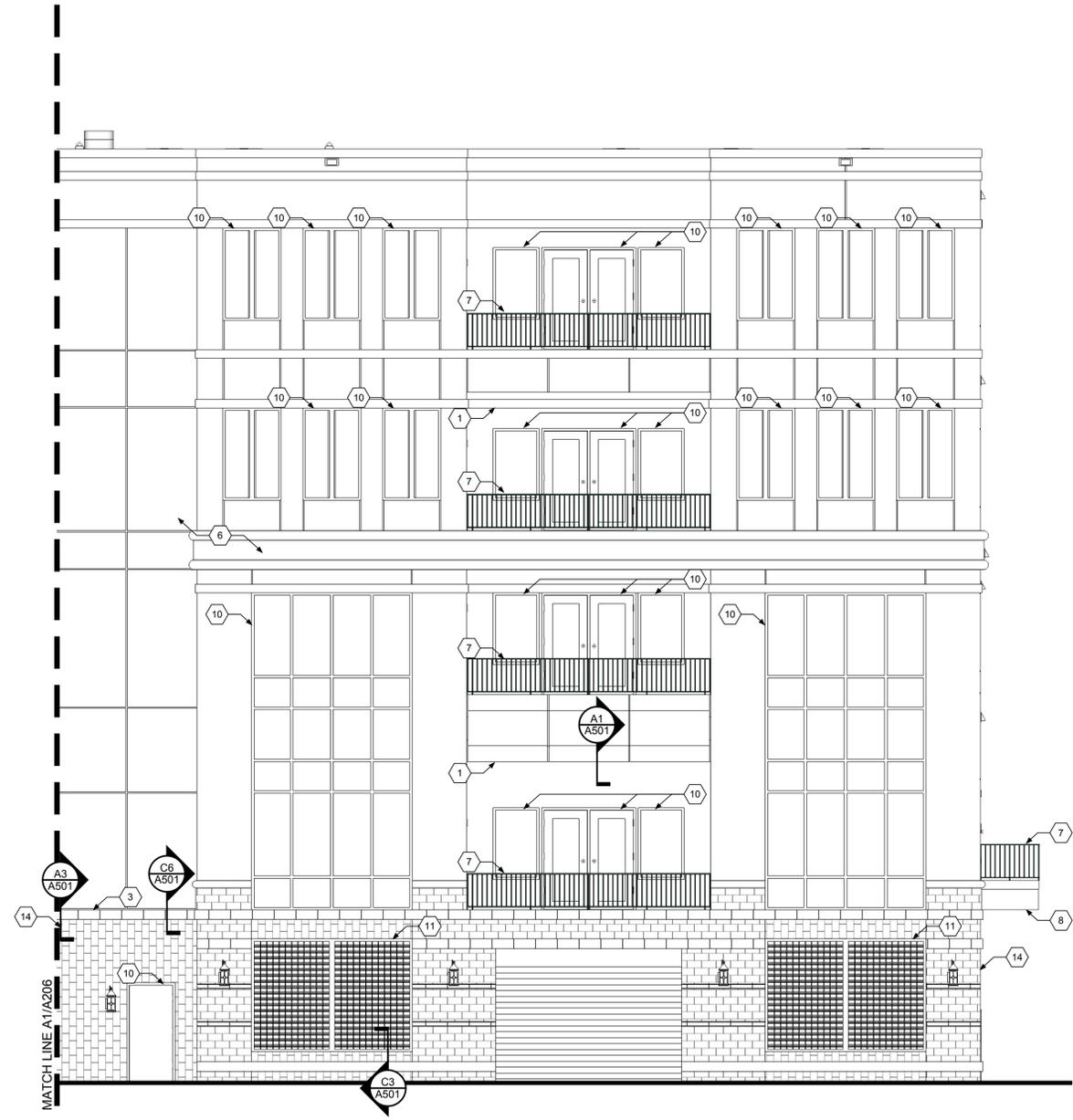


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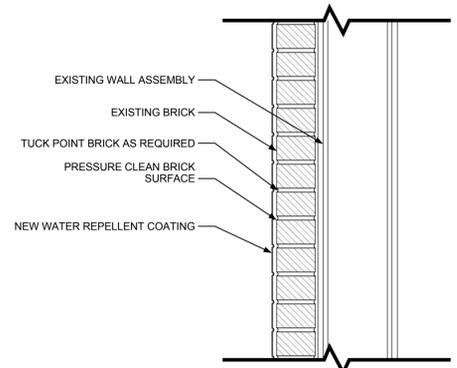
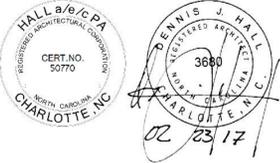


A1/A207
NORTHEAST ELEVATION
3/16" = 1'-0"

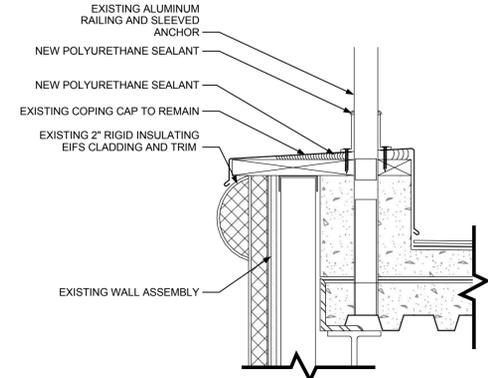
A207



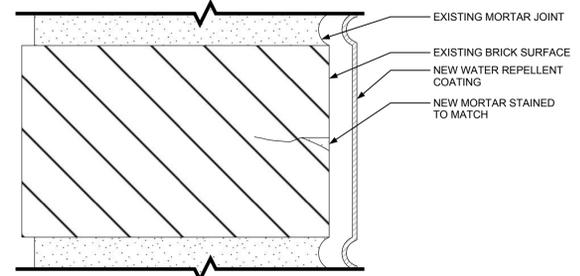
501 North Church Street
Charlotte, NC 28202
704.334.2101
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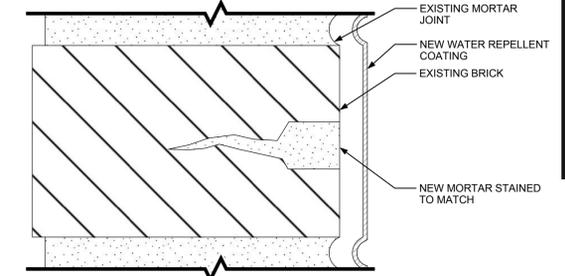
E1 TYP. TUCK POINT DETAIL
A501 1 1/2" = 1'-0"



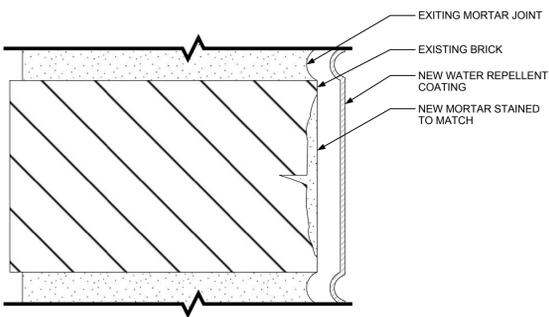
E3 TYP. COPING AT BASE OF BALCONY RAILING
A501 1 1/2" = 1'-0"



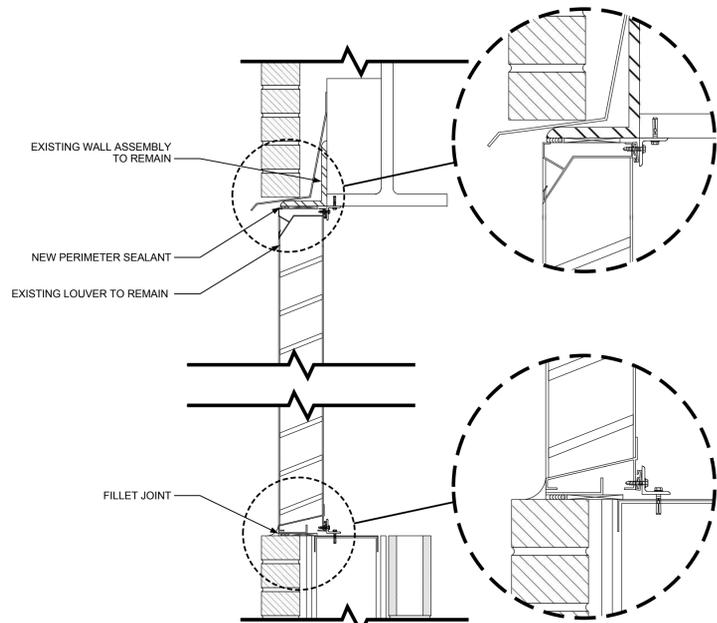
E5 TYP. SMALL CRACK REPAIR
A501 FULL SIZE



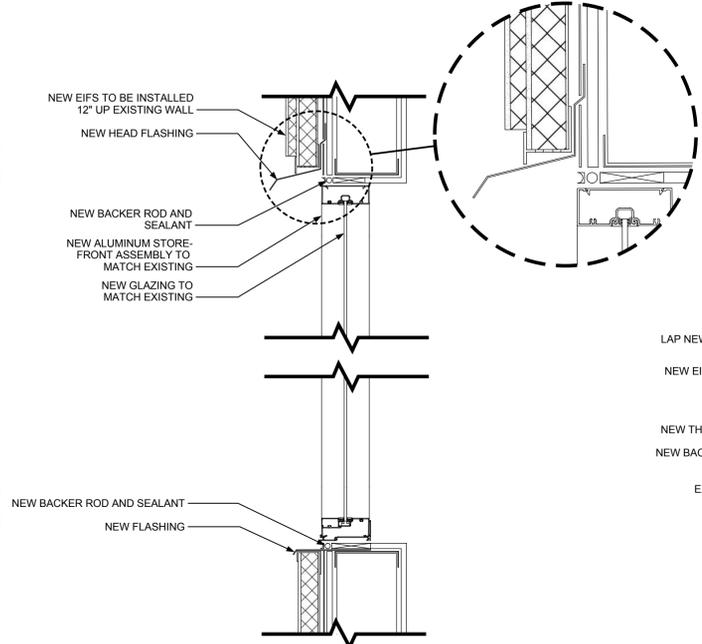
E6 TYP. LARGE CRACK REPAIR
A501 FULL SIZE



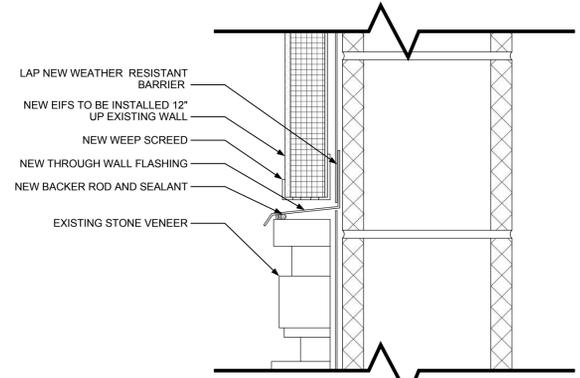
C1 TYP. SURFACE REPAIR
A501 FULL SIZE



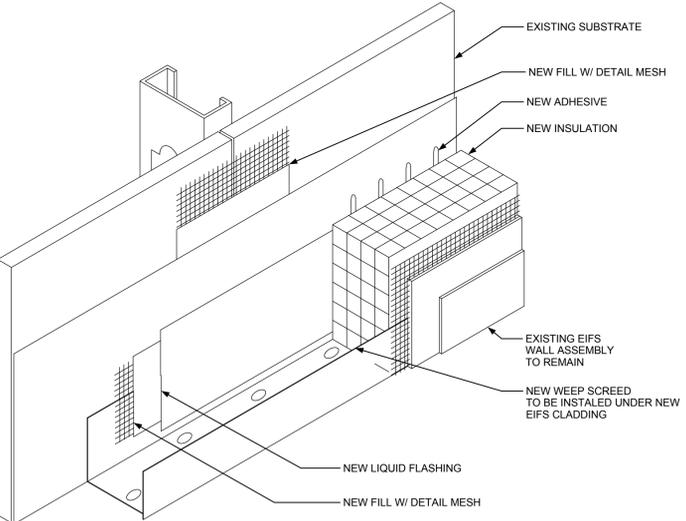
C3 TYP. LOUVER PERIMETER SEALANT
A501 1 1/2" = 1'-0"



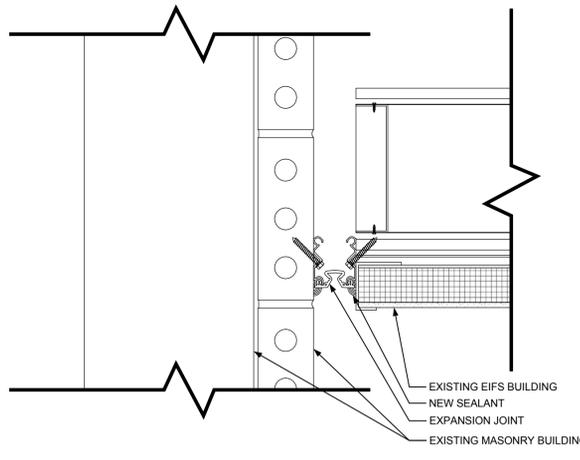
C5 STOREFRONT WINDOW
A501 1 1/2" = 1'-0"



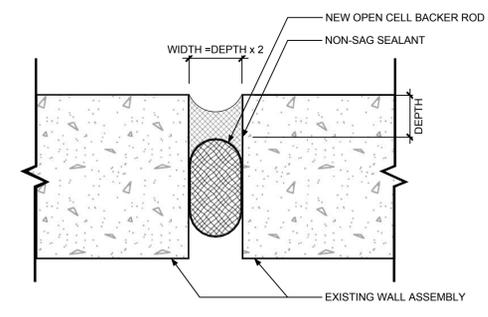
C6 HORIZONTAL JOINT AT DISSIMILAR MATERIAL
A501 3" = 1'-0"



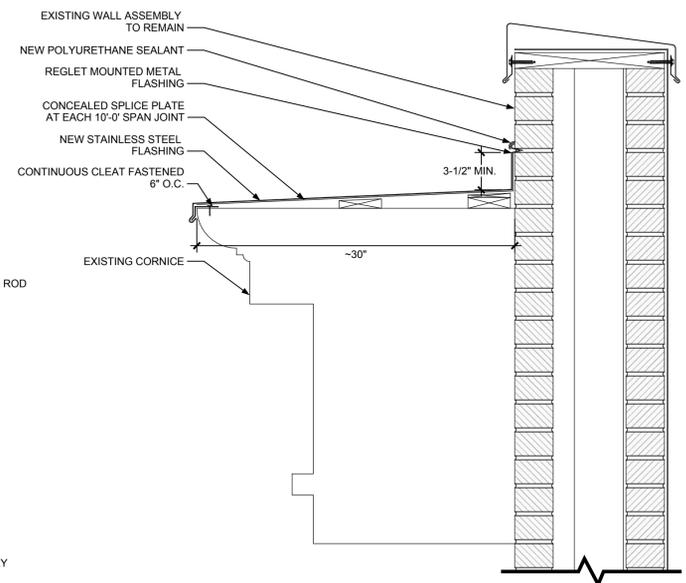
A1 TYP. WEEP SCREED DETAIL
A501 NTS



A3 EXPANSION JOINT DETAIL
A501 3" = 1'-0"



A4 TYP. JOINT DETAIL
A501 FULL SIZE



A6 CORNICE COPING
A501 1 1/2" = 1'-0"

**SETTLERS PLACE
CONDOMINIUM FAÇADE
RESTORATION**

229 N. CHURCH ST.
CHARLOTTE, NC 28202

ISSUE	DATE	DESCRIPTION
1	02/23/17	FOR CONSTRUCTION

PROJECT ID: H17007.0
ENLARGED DETAILS

A501



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**SETTLERS PLACE
 CONDOMINIUM FAÇADE
 RESTORATION**

229 N. CHURCH ST.
 CHARLOTTE, NC 28202

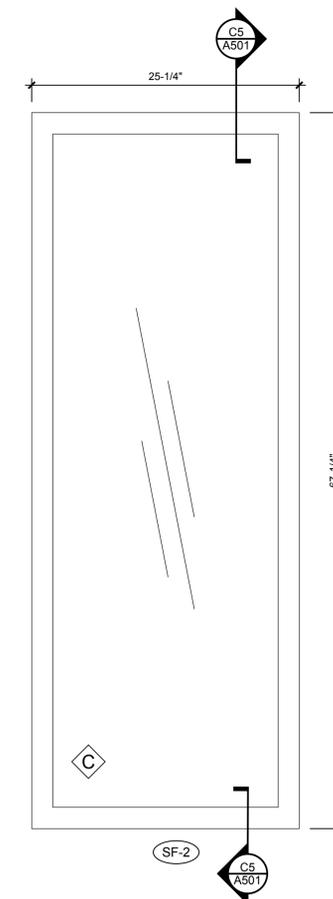
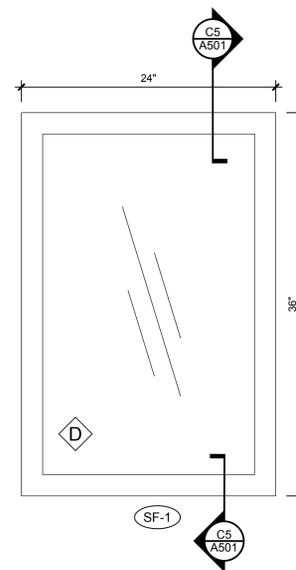
ISSUE	DATE	DESCRIPTION
1	02/23/17	FOR CONSTRUCTION

PROJECT ID: H17007.0

WINDOW SCHEDULE

GLASS SCHEDULE

A	LOW-E ANNEALED IMPACT RESISTANT CLASS A / CATEGORY II
B	< 9 SQFT LOW-E FULLY TEMPERED CLASS B / CATEGORY I
C	> 9 SQFT LOW-E FULLY TEMPERED CLASS A / CATEGORY II
D	< 9 SQFT LOW-E FULLY TEMPERED CLASS N/A / CATEGORY N/A



A4 WINDOW SCHEDULE
 A502 1 1/2" = 1'-0"

A502

A
B
C
D
E

1 2 3 4 5 6