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**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 1824 South Mint Street

**SUMMARY OF REQUEST:** New Construction

**APPLICANT:** Liliana Jimenez

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The application was continued for the following: 1) Improve massing along the West Kingston elevation with architectural details, 2) Identify types of trees to be removed and update the landscaping plan. Provide landscaping along West Kingston Avenue side of the house, 3) Revise driveway entrance to one car width, 4) Include the garage and house on side elevations.

**Details of Proposed Request**

*Existing Conditions*

The existing site is a vacant corner lot with parcel dimensions of approximately 36.6' x 160'. The previous structure was a two story commercial structure. Adjacent structures are two stories in height. The required setback is 30 feet from ROW.

*Proposal*

The proposal is the construction of a single family house and garage. Design features include a brick foundation, wood lap siding, wood shakes in the gables, wood windows, metal porch roof and wood trim details. Building height is approximately 24'-11". The garage is one story with materials to match the house. The garage is setback approximately 25' from the rear property line. Two mature trees will be removed and new trees planted.

*Revised Proposal – May 10, 2017*

1. The left side elevation includes a new window pattern and second floor balcony
2. Trees to be removed and planted are identified on the site plan
3. The driveway width along the street is one car wide
4. The garage and house are shown on the side elevations

**Policy & Design Guidelines for New Construction, page 34**

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
<b>1. Size</b>	<i>the relationship of the project to its site</i>
<b>2. Scale</b>	<i>the relationship of the building to those around it</i>
<b>3. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>4. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>5. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>6. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>7. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>8. Context</b>	<i>the overall relationship of the project to its surroundings</i>
<b>9. Landscaping</b>	<i>as a tool to soften and blend the project with the district</i>

**Staff Analysis** - The Commission will determine if the proposal meets the guidelines for new construction.

*Charlotte Historic District Commission Case 2017-114*  
**HISTORIC DISTRICT: Wilmore**  
**NEW CONSTRUCTION**



-  1824 S. Mint Street
-  Wilmore Historic District
-  Property Lines
-  Building Footprints

April 5, 2017

This application was continued from April for the following:

- Improve massing along the W. Kingston elevation with architectural details
- Identify types of trees to be removed and update the landscaping plan. Provide landscaping along W. Kingston Avenue side of house
- Revise driveway entrance to one car width
- Include the garage and house on side elevations.

# ABBREVIATIONS

A	Amperage	DEPT	Department	HP	High Point	NA	Not Applicable	SCH	Schedule
AB	Anchor Bolt	DET	Detail	HS	High Strength	NAT	Natural	SECT	Section
A/C	Air Conditioning	DF	Drinking Fountain	HT	High Tension	NEG	Negative	SEL	Select
ABV	Above	DIAG	Diagonal	HTR	Heater	NF	Noise Frequency	SEP	Separate
ACT	Acoustical Ceiling Tile	DIM	Dimension	HTS	High Tensile Strength	NIC	Not In Contract	SER	Serial
ACT	Actual	DIV	Divide	HVAC	Heating, Ventilation & Air Conditioning	NO	Number	SF	Smooth Faced
ADH	Adhesive	DL	Dead Load	HW	Hot Water	NOM	Nominal	SF	Square Feet
ADJ	Adjacent	DN	Down	HWY	Highway	NP	Nickel Plated	SGL	Single
AFF	Above Finish Floor	DOZ	Dozen	HYDR	Hydrant	NRC	Noise Reduction Coefficient	SIM	Similar
AGGR	Aggregate	DP	Dampproofing	ID	Inside Diameter	NS	Near Side	SK	Sink
AL	Aluminum	DR	Door	IJ	Isolation Joint	NTS	Not To Scale	SM	Small
ALLOW	Allowance	DR	Drain	ILLUM	Illuminate	OC	On Center	SOG	Slab on Grade
ALT	Alternate	DS	Double Strength	IJ	Isolation Joint	OCT	Octagonal	SOL	Solid
ALUM	Aluminum	DS	Downspout	ILLUM	Illuminate	OD	Outside Diameter	SP	Soil Pipe
APPX	Approximate	DUP	Duplicate	IMPG	Impregnate	OFF	Office	SP	Stand Pipe
APT	Apartment	E	East	INCL	Included	OPNG	Opening	SPEC	Specification
ARCH	Architectural	EA	Each	INC	Incorporated	OPT	Optional	SPKR	Speaker
ASPH	Asphalt	EF	Each Face	INDL	Industrial	ORIG	Original	SPKR	Spinkler
ASSN	Association	EIFS	Exterior Insulation and Finish System	INF	Infinite	OUT	Outlet, Outside	SQ	Square
AUTO	Automobile	EJ	Expansion Joint	INFO	Information	OV	Over	SS	Single Strength
AVE	Avenue	EL	Elevation	INR	Impact Noise Rating	OVHD	Overhead	SSK	Soil Stack
AVG	Average	ELEC	Electric	INST	Institute	PART	Part	ST	Street
B / (B.O.)	Bottom of	ELEV	Elevation	INSL	Insulation	PC	Partition	STAG	Staggered
BC	Bottom Chord	EMB	Embedment	INT	Interior	PCT	Pieces	STATN	Stationary
BD	Bottom Chord	ENAM	Enamel	INTL	International	PER	Percent	STD	Standard
BDY	Board	ENGR	Engineer	IPS	Iron Pipe Size	PERF	Perforated	STL	Steel
BL	Boundary	ENTR	Entrance	J	Joist	PERM	Permanent	STN	Stone
BLDG	Building Line	EQUIP	Equipment	JB	Junction Box	PH	Perpendicular	STR	Storage
BLW	Below	EST	Estimated	JCT	Junction	PL	Phase	STR	Straight
BM	Beam	EW	Each Way	JR	Junior	PL	Plate	STRM	Storeroom
BOT	Bottom	EXC	Excavate	JT	Joint	P-LAM	Property Line	STRUCT	Structural
BR	Bedroom	EXH	Exhaust	K	Kips (Kilopounds)	PLG	Plastic Laminate	SUB	Substitute
BRC	Basement	EXP	Exposed	KD	Knock Down	PLUMB	Plumbing	SURF	Surface
BWTN	Between	EXT	Exterior	KD	Knock Down	PLN	Plane	SUSP	Suspended
C/C	Center to Center	FAB	Fabricate	L	Left	PLYWD	Plywood	SWM	Storm Water Management
CAB	Cabinet	FAB	Fabricate	L	Left	PMP	Plywood	SWM	Symmetrical
CAP	Capacity	FB	Floor Bar	LAB	Laboratory	PNL	Pump	SYS	System
CAT	Catalog	FND	Foundation	LAM	Laminate	PNT	Panel	TT(T.O.)	Top of
CB	Circuit Breaker	FFE	Finish Floor Elevation	LAQ	Laquer	PORT	Portable	T&G	Tongue & Groove
CF	Cubic Feet	FIG	Figure	LAV	Lavatory	POS	Positive	TC	Top Chord
CI	Cast Iron	FIN	Finish	LF	Low Frequency	LG	Large	TD	Trench Drain
CIP	Cast Iron Pipe	LGTH	Length	LH	Left Hand	PREFAB	Prefabricated	TECH	Technical
CIRC	Circular	FL	Floor	LIC	Licensed	PREP	Preliminary	TEMP	Temperature, Temporary
CJ	Control Joint	FLDG	Folding	LIN	Linear	PRGAM	Program	THK	Thickness
CL	Clearance	FLG	Flange	LINO	Linoleum	PRL	Parallel	THRES	Threshold
CLG	Centerline	FLG	Flooring	LIQ	Liquid	PROP	Property	THRU	Through
CLKG	Caulking	FLUR	Fluorescent	LLH	Long Leg Horizontal	PT	Part	TOL	Tolerance
CLOS	Closet	FO	Face of	LLV	Long Leg Vertical	PTD	Pointed	TOS	Top Of Steel
CLR	Clear	FP	Freezing Point	LNTL	Lintel	PVC	Polyvinyl Chloride	TOT	Total
CMPTR	Computer	FRP	Fiber Reinforced Plastics	LP	Low Point	PWR	Power	TRANS	Transparent
CMU	Concrete Masonry Unit	FRP	Fireproof	LT	Light	QC	Quality Control	TRANSV	Transverse
CNC	Concealed	FRT	Fire Retardant Treated	LTD	Limited	QT	Quarry Tile	TV	Television
CND	Conduit	FS	Footing	LVL	Level	QTR	Quarter	TYP	Typical
CO	Change Order	FTG	Footing	LWC	Light Weight Concrete	QTY	Quantity	UNF	Unfinished
CO	Cleanout	FURN	Furnished	MAINT	Maintenance	QUAL	Quality	UNGD	Underground
COM	Common	FUT	Future	MAN	Manual	R/RAD	Radius	UNO	Unless Noted Otherwise
COMB	Combination	GA	Gage	MANUF	Manufacturer	R/W	Right of Way	UNTRD	Untreated
COMP	Composition	GAHV	Galvanized	MAS	Masonry	RBR	Rubber	UPR	Upper
CONC	Concrete	GAR	Garage	MATL	Material	RCPT	Receptacle	UV	Ultra Violet
CONC	Compressive	GFRC	Glass Fiber Reinforced Concrete	MAX	Maximum	RCVD	Received	V	Voltage
CONSTR	Construction	GFRC	Glass Fiber Reinforced Concrete	MECH	Mechanical	RD	Received	VAR	Variable/Varies
CONT	Continuous	GFRC	Glass Fiber Reinforced Concrete	MECH	Mechanical	RECP	Receptacle	VENT	Ventilation
CONTR	Contractor	GI	Gypsum	MEMBR	Membrane	REF	Refrigerator	VERT	Vertical
COP	Copper	GVT	Gypsum Wall Board	MEMO	Memorandum	REIN	Reinforcement	VIB	Vibrate
CORP	Corporation	GWB	Gypsum Wall Board	MFG	Manufacturing	REL	Relative	VOL	Volume
CORR	Corrugated	GWT	Gypsum Wall Board	MGR	Manager	REV	Revision	VS	Versus
CPM	Critical Path Method	GYP	Gypsum	MIN	Minimum	REPL	Replace	W	West
CR	Cold Rolled	HB	Hose Bib	MISC	Miscellaneous	REPRO	Reproduce	W/	With
CSK	Countersink	HD	Hard	MOLDG	Molding	REQD	Required	W/C	Watercloset/Watercloser
CTD	Ceramic Tile	HD	Head	MOD	Modification	REV	Revision	WD	Wood
CTR	Center	HDWR	Hardware	MP	Melting Point	RH	Rough	WDW	Window
CV	Cubic	HGT	Height	MKB	Mark	RH	Right Hand	WH	Waterheater
CW	Check Valve	HM	Hollow Metal	MSW	Master Switch	RO	Room	WM	Wire Mesh
o	Diameter	HMDR	Hollow Metal Door	MT	Marble Threshold	RPR	Rough Opening	W/O	Without
D	Datum	HNDRL	Handrail	MTG	Mounting	RTN	Return	WP	Waterproofing
DAT	Penny (Nails)	HOL	Hollow	MTL	Metal	RVS	Reverse	WP	Working Point
DB	Datum	HOR	Horizontal	MULT	Multiple	S	South	WRG	Wiring
DBL	Dry Bulb	HOSP	Hospital	N	North	SAN	Sanitary	WT	Weight
DCL	Double	HP	High Performance					WVF	Welded Wire Fabric
DEG	Door Closer							WWM	Welded Wire Mesh
	Degree								

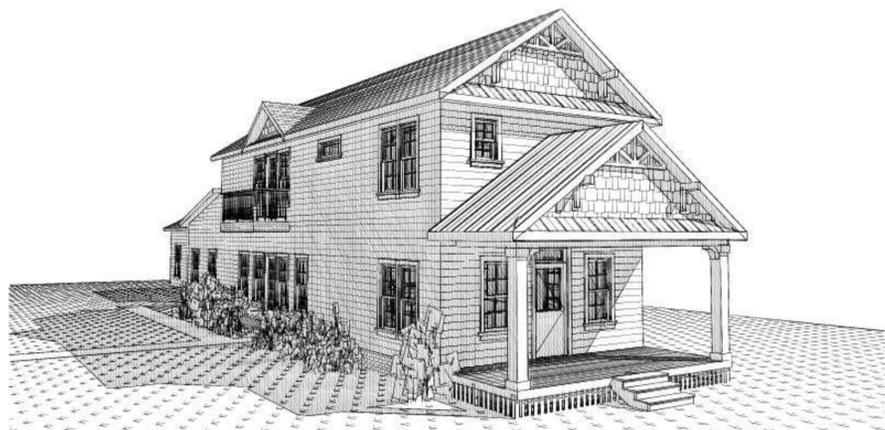
# MATERIAL SYMBOLS

	GYPSUM WALLBOARD		RIGID INSULATION
	ACOUSTICAL TILE		BATT INSULATION
	STEEL: LARGE SCALE		EARTH
	STEEL: SMALL SCALE		CONCRETE
	ROUGH WOOD		CONCRETE
	WOOD BLOCKING OR SHIM		LIGHTWEIGHT CONCRETE
	FINISH WOOD		BRICK
	PLYWOOD		CONCRETE MASONRY UNIT
	SPLIT FACE/GROUND FACE CMU		

# RESIDENCE

## 1824 MINT ST.

## CHARLOTTE, NC



### DRAWINGS

ID	Name	XX/XX/XX							
A-001	COVER SHEET	04/26/2017							
A-101	SITE PLAN	04/26/2017							
A-102	1st FLOOR PLAN	04/26/2017							
A-103	2ND FLOOR & ROOF PLAN	04/26/2017							
A-104	GARAGE PLANS	04/26/2017							
A-201	ELEVATION	04/26/2017							
A-202	ELEVATIONS	04/26/2017							
A-301	INTERIOR ELEVATIONS	04/26/2017							
A-401	DETAILS	04/26/2017							
A-501	SPECIFICATIONS	04/26/2017							

### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE LIFE SAFETY CODE, ALL LOCAL AND STATE FIRE CODES AND CURRENT BUILDING CODES.
- THE CONTRACTOR SHALL COMPLY WITH ANY EXISTING STATE AND APPLICABLE COUNTY OR CITY REGULATIONS AND LEGISLATION REGARDING THE CONTROL OF POLLUTION AS IT APPLIES TO THE WORK.
- CODES: ALL MATERIALS, CONSTRUCTION TECHNIQUES, AND PRACTICES IN ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE CODES AND REGULATIONS OF THE STATE AND ITS LOCAL JURISDICTION AND ALL INDUSTRY STANDARDS.
- CLARIFICATION: IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PART OF THE PROJECT WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND STANDARDS TO INSURE THE SAFETY OF ALL PERSONS ON THE SITE.
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

### BUILDING INFORMATION

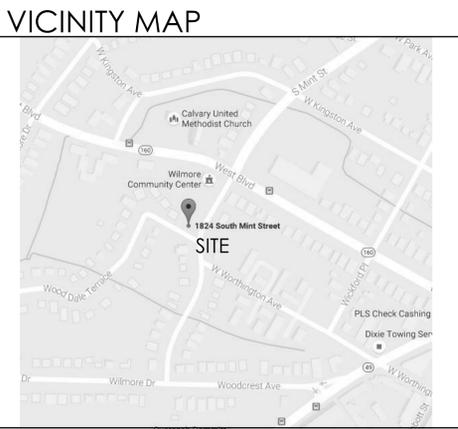
CODES: North Carolina Residential Code 2012

AREA: FIRST FLOOR: 1169 SQ. FT.  
SECOND FLOOR: 898 SQ. FT.  
TOTAL HEATED: 2067 SQ. FT.  
GARAGE: 441 SQ. FT.

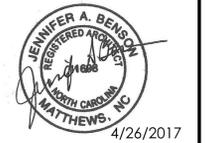
BUILDING USE: RESIDENTIAL

### SYMBOLS

	SECTION	Drawing Number
	ELEVATION	Drawing Number
	DETAIL SECTION	Drawing Number
	INTERIOR ELEVATION	Drawing Number
	COLUMN GRID LINE	Column Number
	COLUMN GRID LINE-EXISTING	Column Number-Existing
	PARTITION	Partition Type
	HEIGHT SYMBOL	Elevation
	REVISION SYMBOL	Revision Number
	KEYNOTE SYMBOL	Keynote Number
	WINDOW SYMBOL	Window Number
	DOOR SYMBOL	Door Number
	ROOM SYMBOL	Room Number
	PROPERTY LINE	
	TENANT LEASE LINE	
	COLUMN GRID LINE	



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**RESIDENCE**  
1824 MINT ST.  
CHARLOTTE, NC

Date:	Revision:
4/26/2017	JAB
Scale:	Project No:
	16.580

THE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF JENNIFER BENSON ARCHITECTURE. USE OF THIS DRAWING IS LIMITED TO A SPECIFIED PROJECT FOR THE PERSONS NAMED HEREON AND FOR THE CONSTRUCTION OF ONE BUILDING. ANY USE OR REUSE OF SAID DRAWING IS STRICTLY PROHIBITED WITHOUT PERMISSION FROM JENNIFER BENSON ARCHITECTURE.

CHECKED BY: JENNIFER BENSON  
SHEET TITLE: COVER SHEET  
SHEET NUMBER:

# A-001

ISSUED FOR CONSTRUCTION

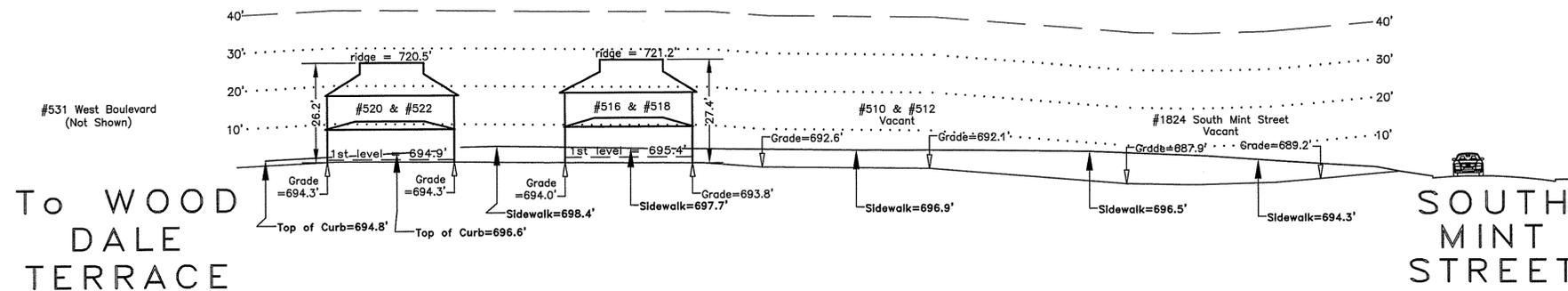


I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 3rd day of April, 2017.



*Andrew G. Zoutewelle*  
 Andrew G. Zoutewelle  
 Professional Land Surveyor  
 NC License No. L-3098

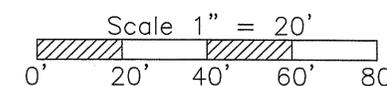


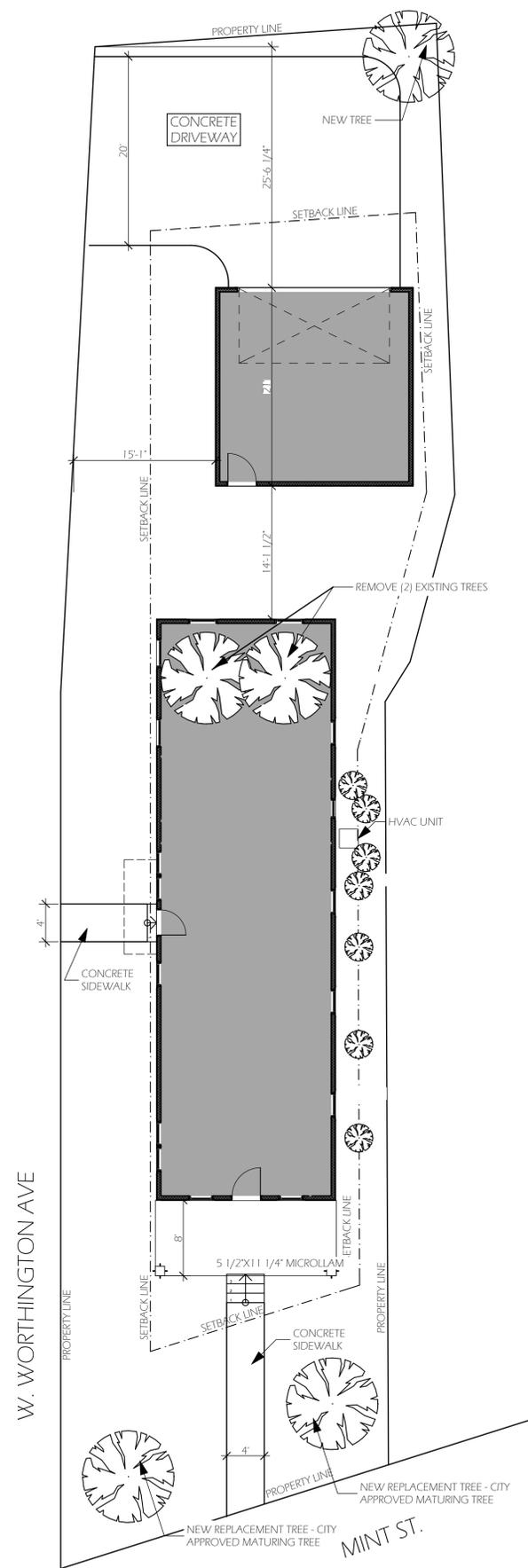
WEST WORTHINGTON AVENUE

**A.G. ZOUTEWELLE**  
**SURVEYORS**  
 1418 East Fifth St. Charlotte, NC 28204  
 Phone: 704-372-9444 Fax: 704-372-9555  
 Firm Licensure Number C-1054

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 Building Heights Sketch of  
**500 BLOCK of WEST WORTHINGTON AVENUE**  
**FACING NORTHEAST - EVEN SIDE**  
 CHARLOTTE, MECKLENBURG COUNTY, N.C.  
 for Charlotte-Mecklenburg Planning Department  
 March 28, 2017

General Notes:  
 1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.  
 2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.





April

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**RESIDENCE**  
**1824 MINT ST.**  
**CHARLOTTE, NC**

0	Date:	Revision:

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DATE: 4/7/2017	DRAWN BY: JAB
SCALE:	PROJECT NO: 16.580

CHECKED BY:  
JENNIFER BENSON

SHEET TITLE:  
SITE PLAN

SHEET NUMBER:

**A-101**

**1 SITE PLAN**  
 SCALE: 1/8" = 1'-0"



ISSUED FOR CONSTRUCTION



**RESIDENCE**  
**1824 MINT ST.**  
**CHARLOTTE, NC**

**1 SITE PLAN**  
 SCALE: 1/8"=1'-0"

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DATE: 4/26/2017	DRAWN BY: JAB
SCALE:	PROJECT NO: 16.580

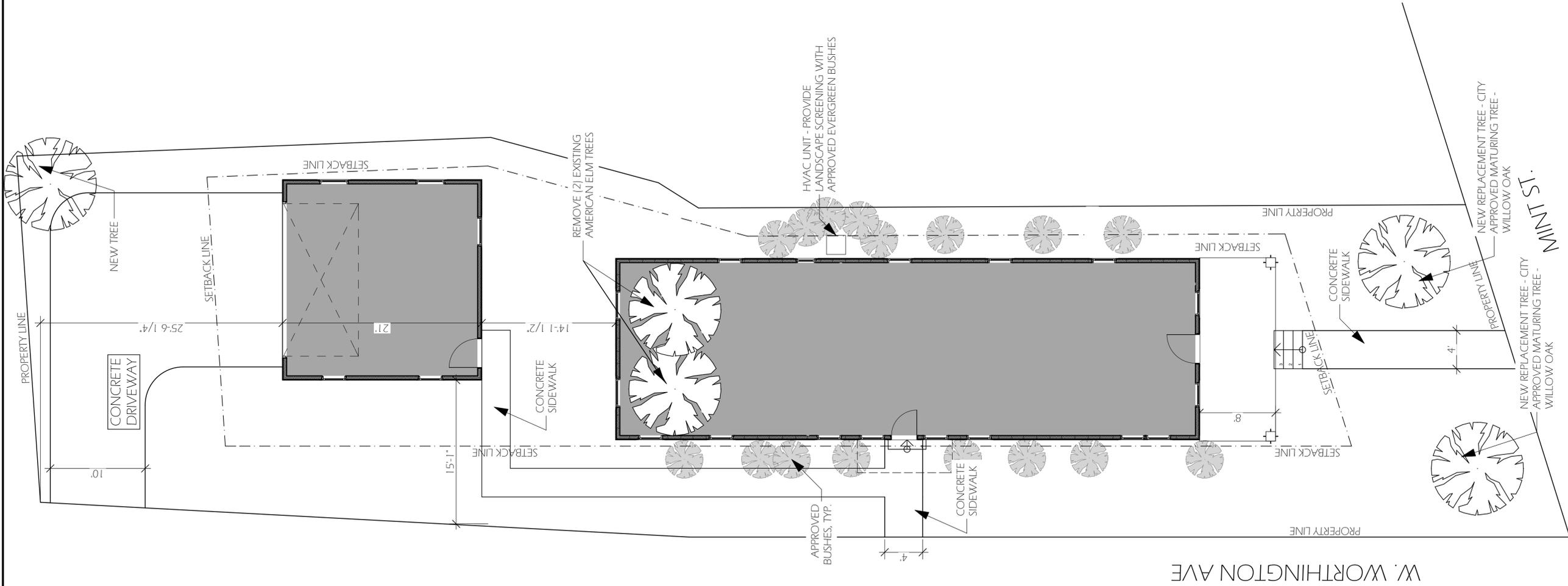
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JENNIFER BENSON

SHEET TITLE:  
SITE PLAN

SHEET NUMBER:

**A-101**

ISSUED FOR CONSTRUCTION

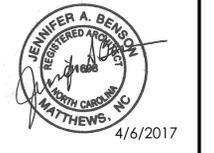


W. WORTHINGTON AVE

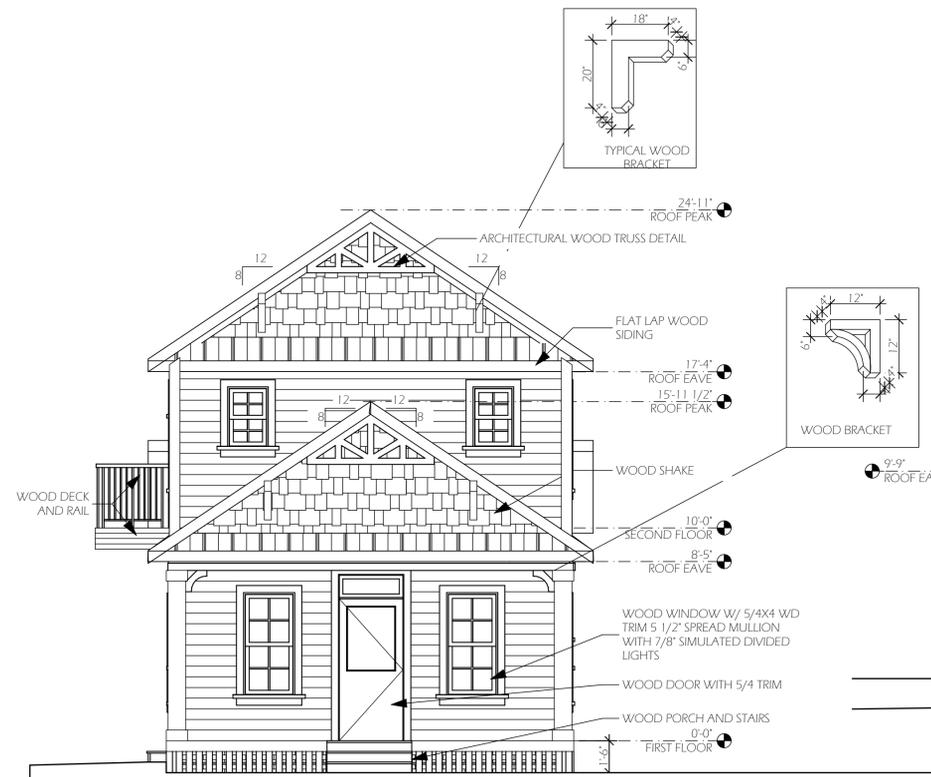
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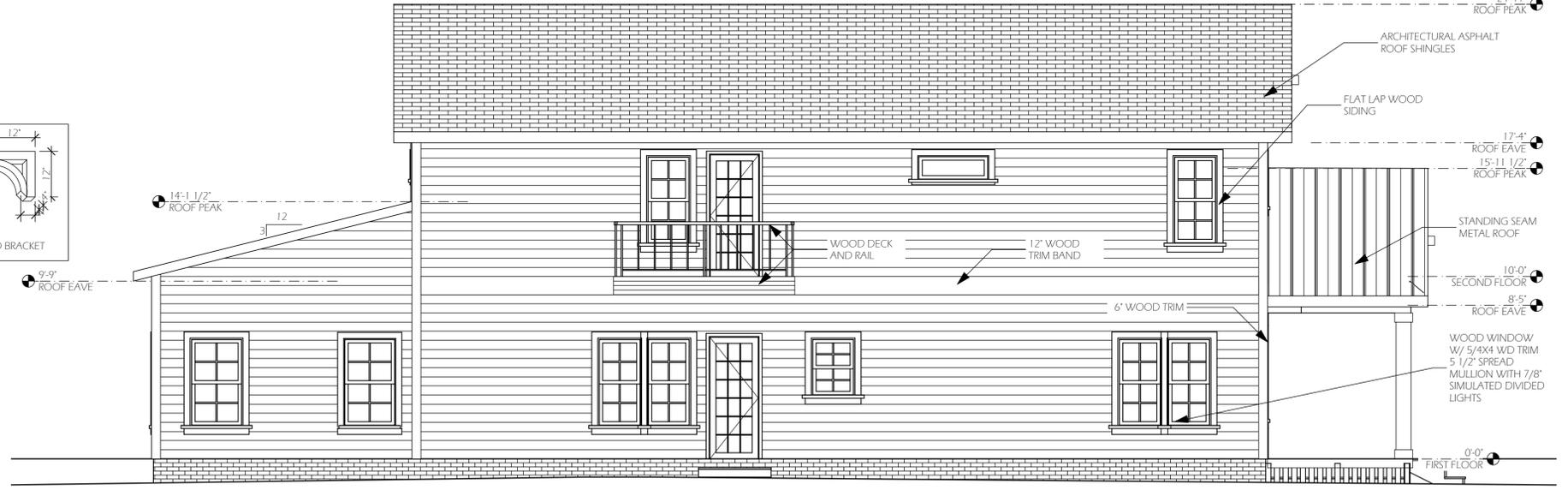
April



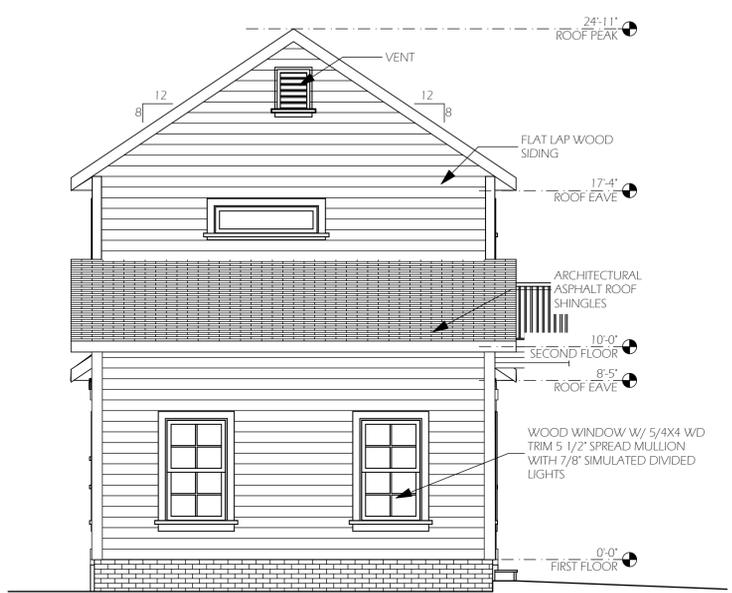
**RESIDENCE**  
 1824 MINT ST.  
 CHARLOTTE, NC



**1 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



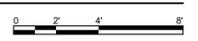
**2 LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"



0	Date:	Revision:

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DATE: 4/6/2017	DRAWN BY: JAB
SCALE:	PROJECT NO: 16.580

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SHEET TITLE:  
ELEVATION

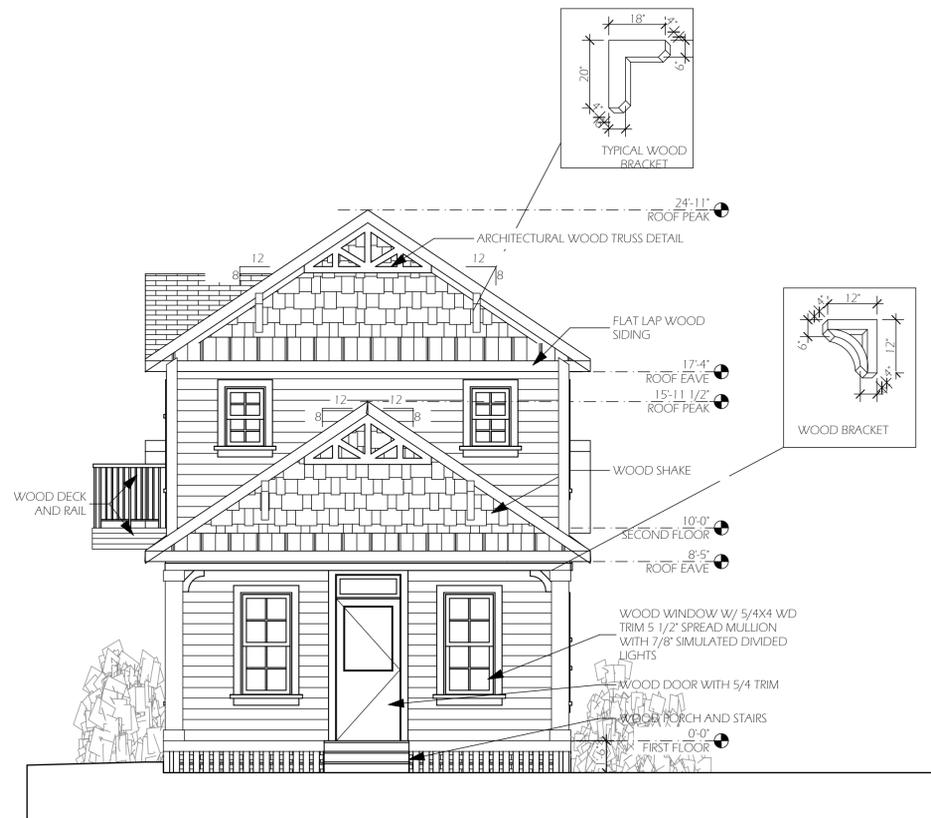
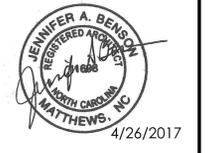
SHEET NUMBER:

**A-201**

ISSUED FOR CONSTRUCTION

May

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**1 FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

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**CHARLOTTE, NC**

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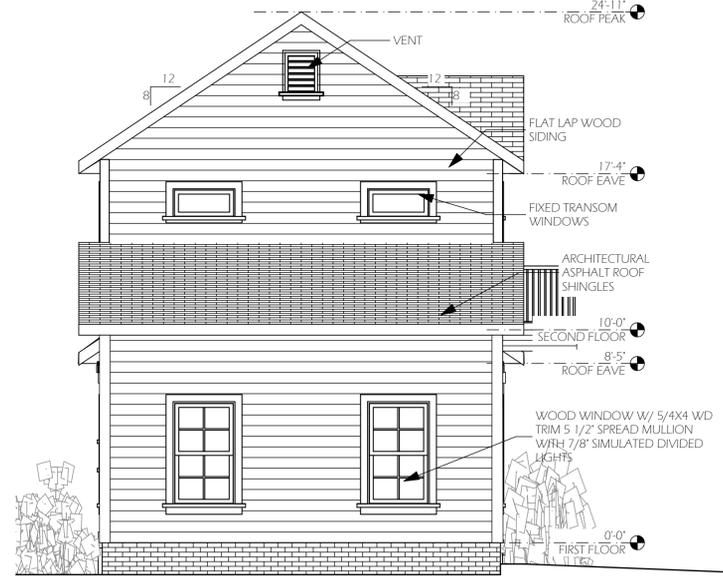
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 ELEVATION

SHEET NUMBER:

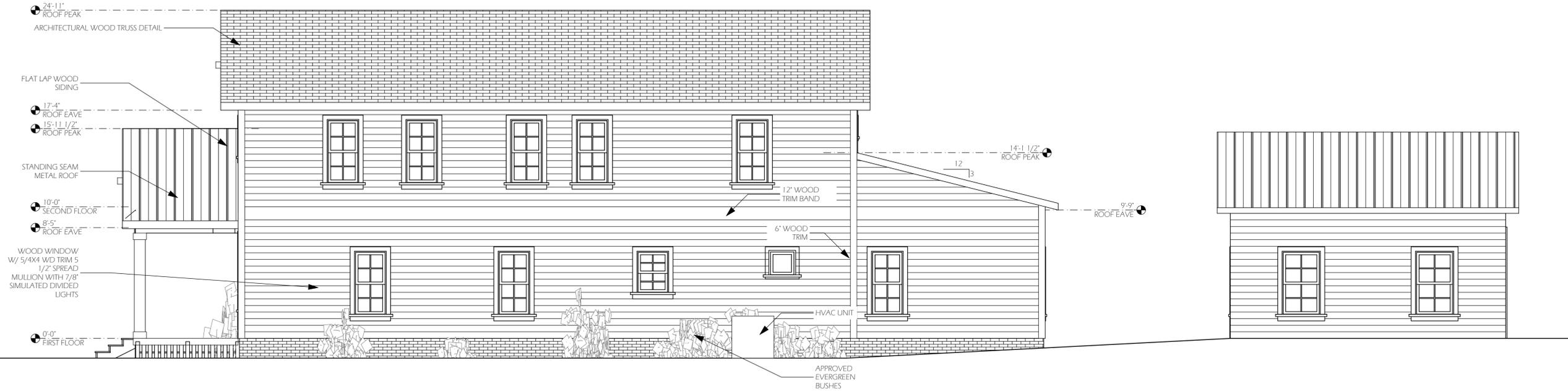
**A-201**

ISSUED FOR CONSTRUCTION

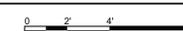
May



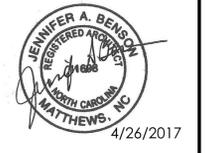
1 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



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Date:	Revision:

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DATE: 4/26/2017	DRAWN BY: JAB
SCALE:	PROJECT NO: 16.580

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JENNIFER BENSON

SHEET TITLE:  
ELEVATIONS

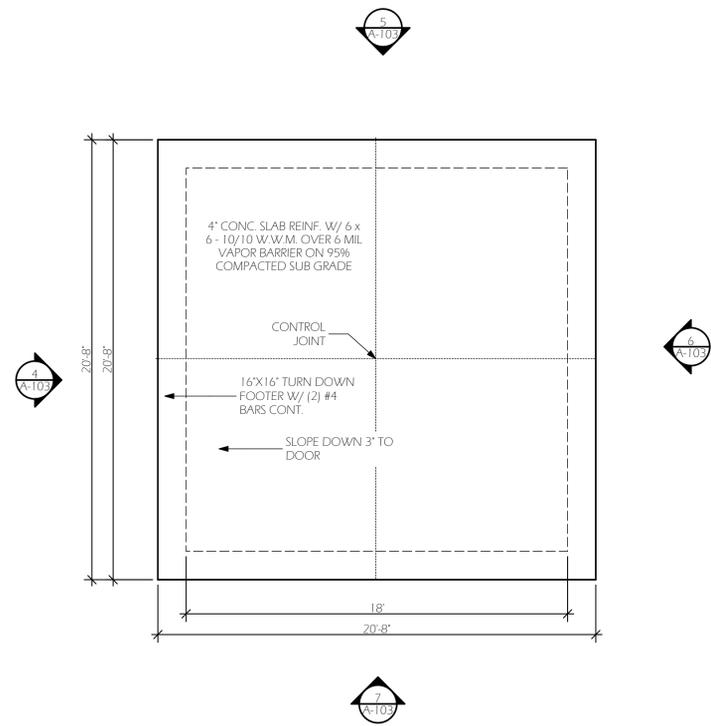
SHEET NUMBER:

**A-202**

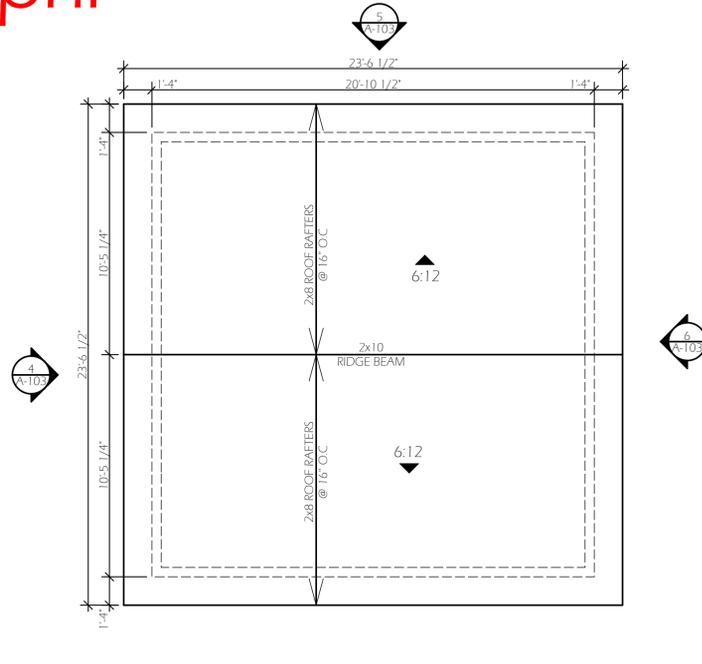
ISSUED FOR CONSTRUCTION



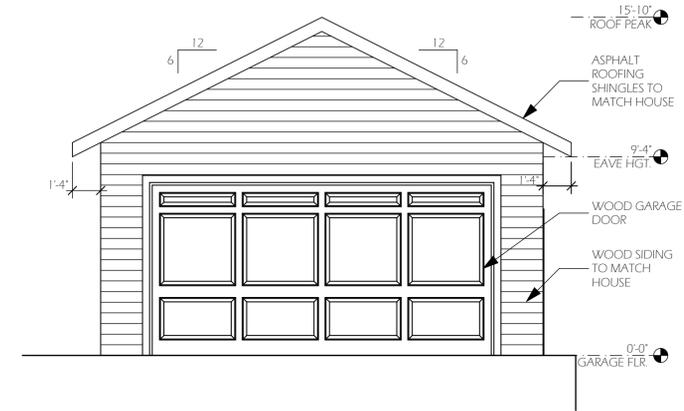
April



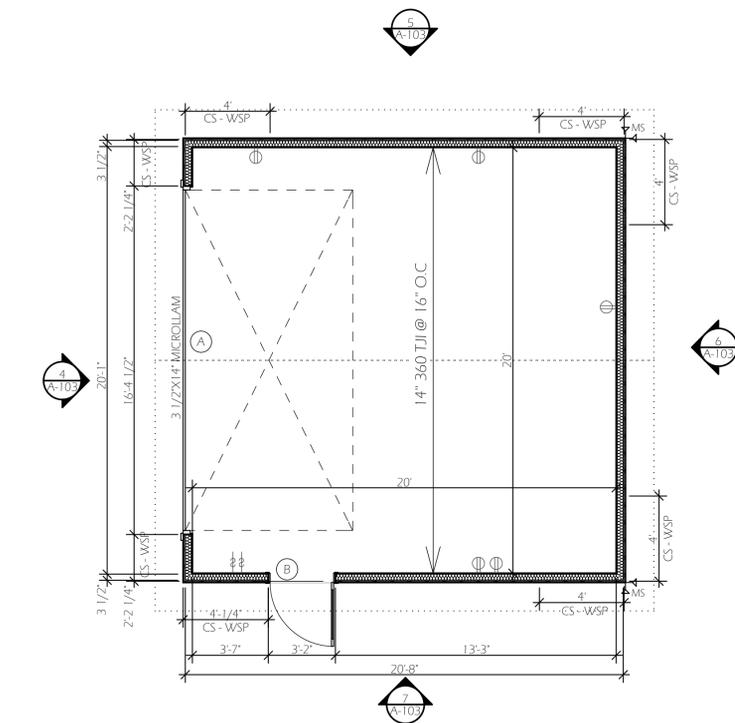
1 GARAGE FOUNDATION  
SCALE: 1/4" = 1'-0"



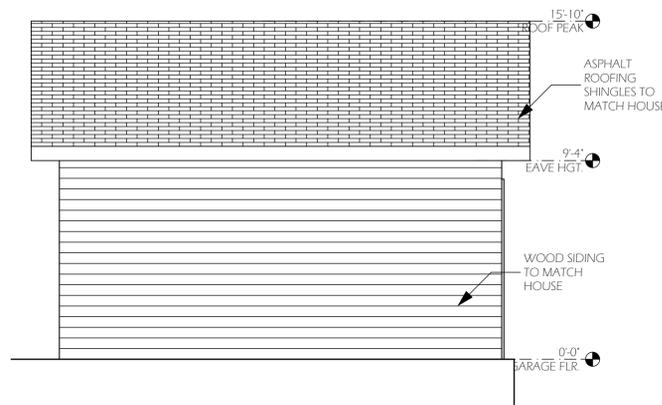
3 GARAGE ROOF  
SCALE: 1/4" = 1'-0"



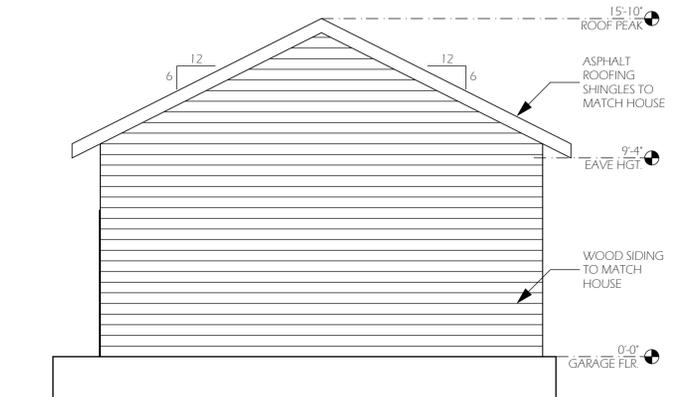
4 GARAGE ELEVATION 1  
SCALE: 1/4" = 1'-0"



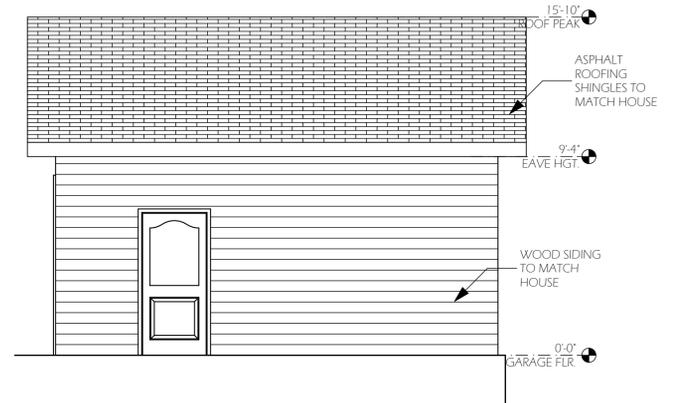
2 GARAGE PLAN  
SCALE: 1/4" = 1'-0"



5 GARAGE ELEVATION 2  
SCALE: 1/4" = 1'-0"

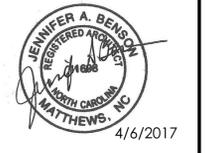


6 GARAGE ELEVATION 3  
SCALE: 1/4" = 1'-0"



7 GARAGE ELEVATION 4  
SCALE: 1/4" = 1'-0"

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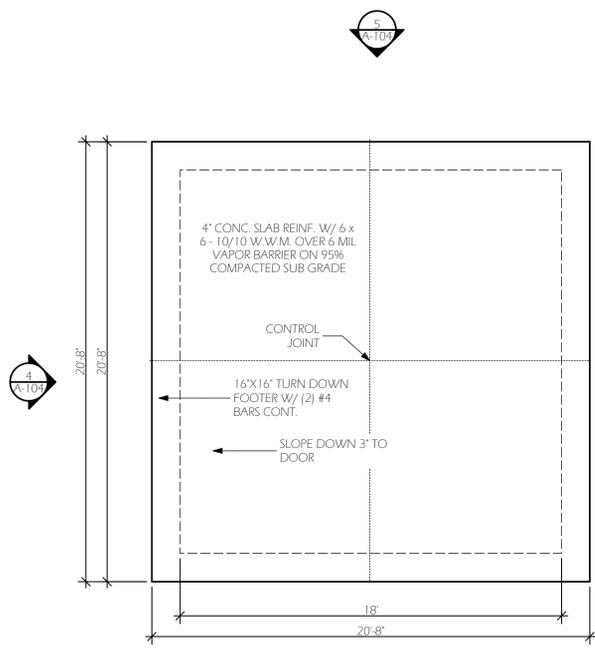
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GARAGE PLANS

SHEET NUMBER:

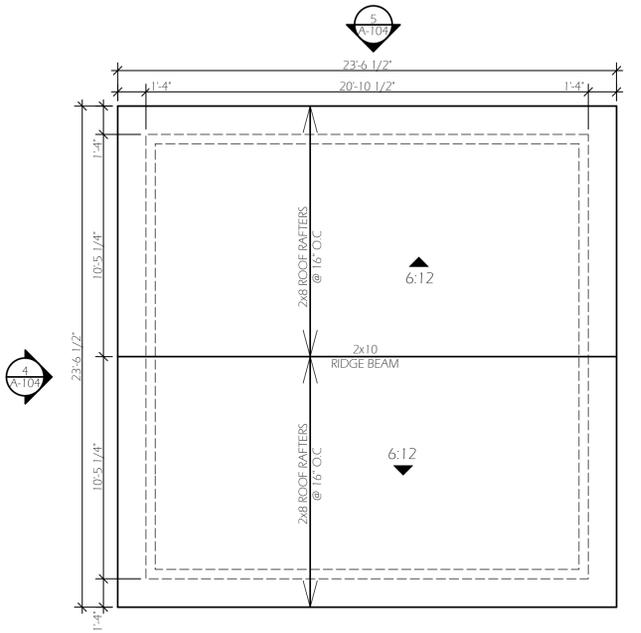
A-103

ISSUED FOR CONSTRUCTION

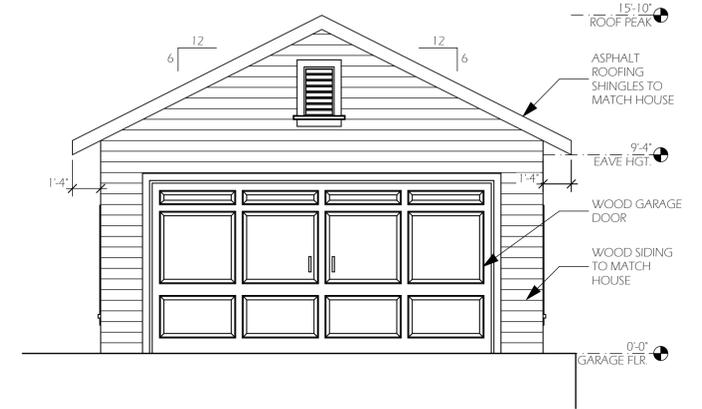
May



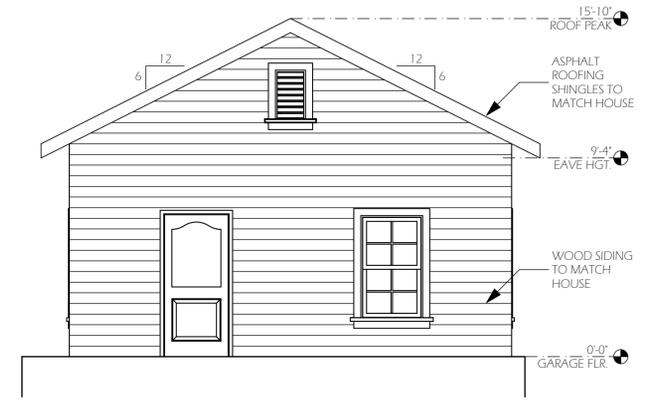
**1 GARAGE FOUNDATION**  
SCALE: 1/4" = 1'-0"



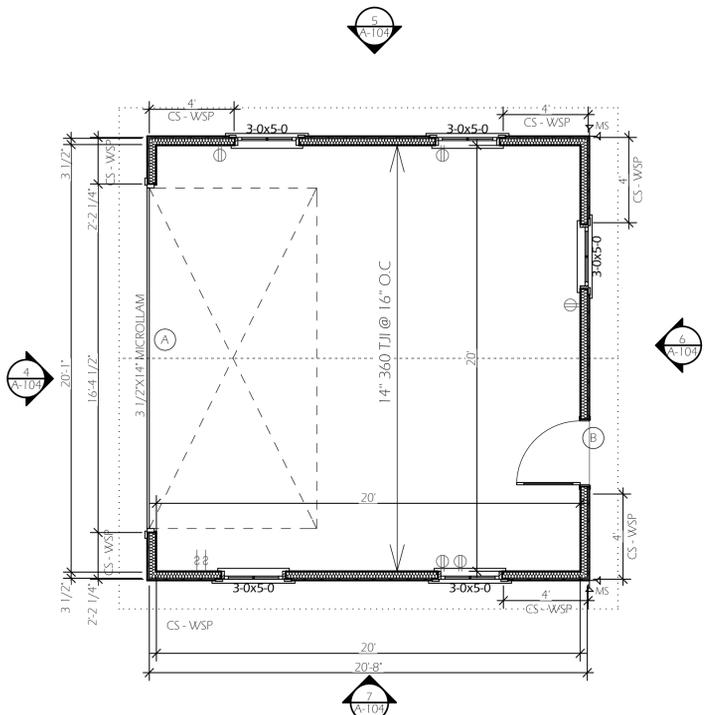
**3 GARAGE ROOF**  
SCALE: 1/4" = 1'-0"



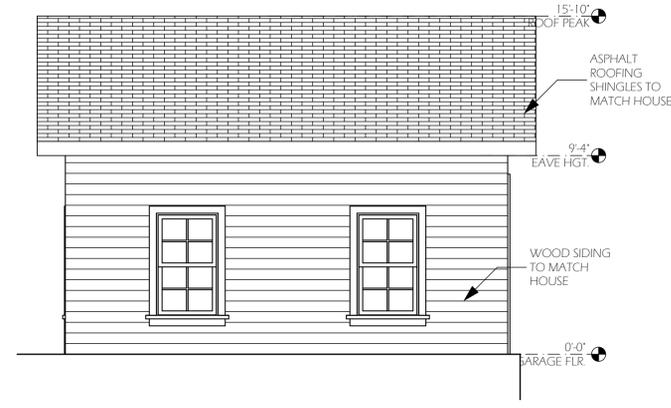
**4 GARAGE ELEVATION 1**  
SCALE: 1/4" = 1'-0"



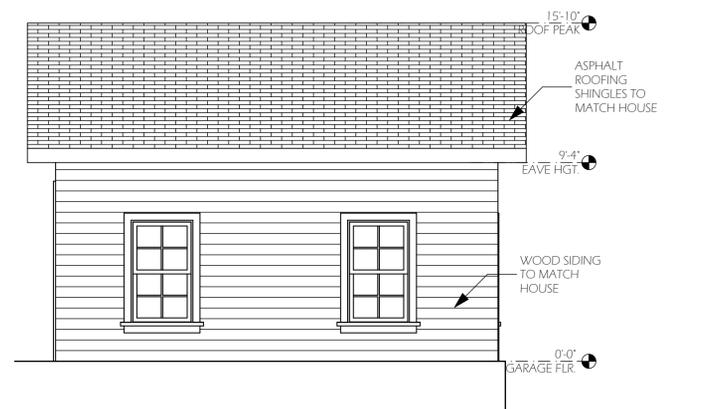
**6 GARAGE ELEVATION 3**  
SCALE: 1/4" = 1'-0"



**2 GARAGE PLAN**  
SCALE: 1/4" = 1'-0"



**5 GARAGE ELEVATION 2**  
SCALE: 1/4" = 1'-0"



**7 GARAGE ELEVATION 4**  
SCALE: 1/4" = 1'-0"

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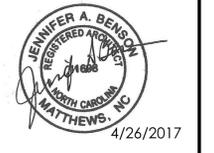
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JENNIFER BENSON

SHEET TITLE:  
GARAGE PLANS

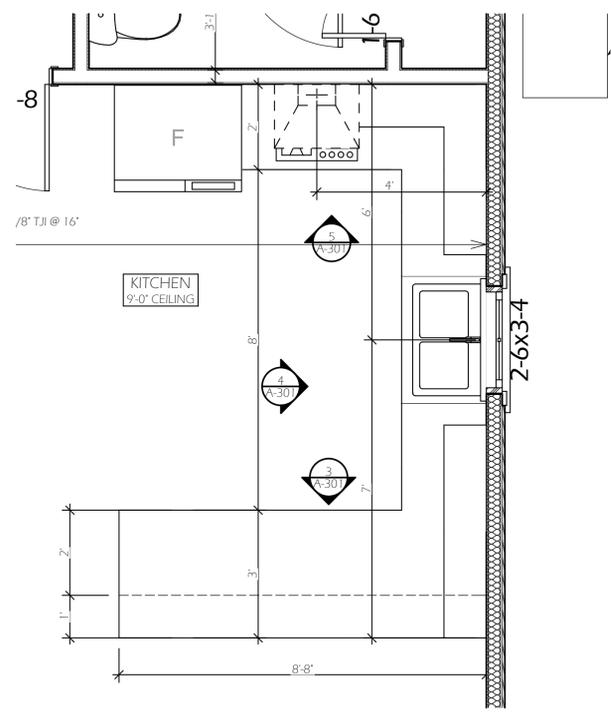
SHEET NUMBER:

**A-104**

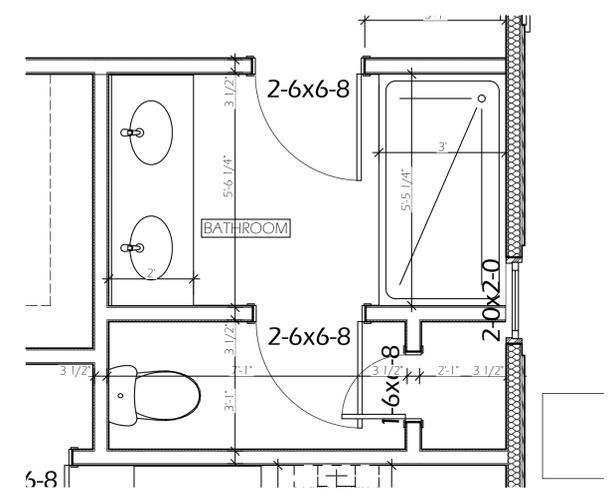
ISSUED FOR CONSTRUCTION



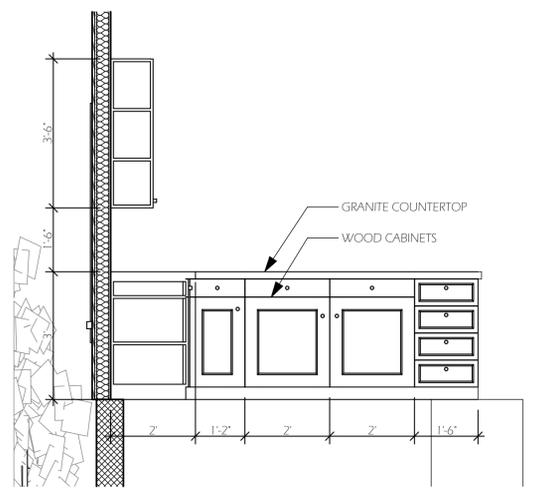
**RESIDENCE**  
**1824 MINT ST.**  
**CHARLOTTE, NC**



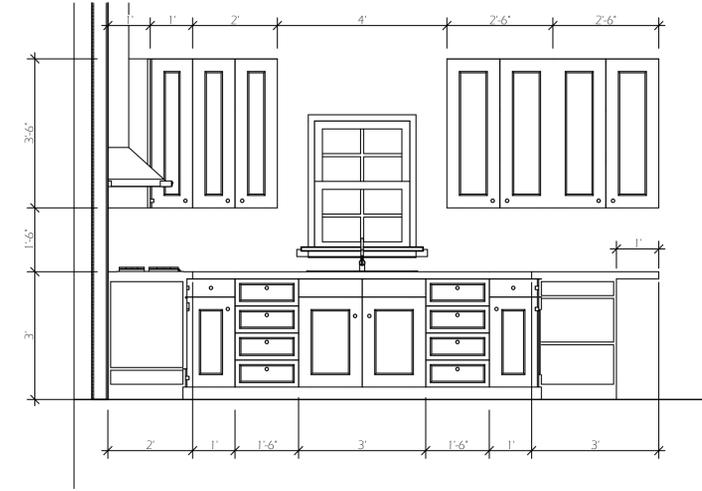
**1 ENLARGED PLAN**  
 SCALE: 1/2" = 1'-0"  
 0 1' 2' 4'



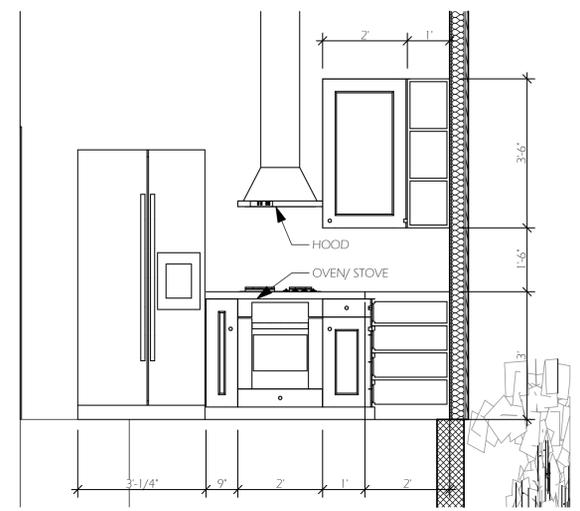
**2 ENLARGED PLAN**  
 SCALE: 1/2" = 1'-0"  
 0 1' 2' 4'



**3 KITCHEN ELEVATION 1**  
 SCALE: 1/2" = 1'-0"  
 0 1' 2' 4'



**4 KITCHEN ELEVATION 2**  
 SCALE: 1/2" = 1'-0"  
 0 1' 2' 4'



**5 KITCHEN ELEVATION 3**  
 SCALE: 1/2" = 1'-0"  
 0 1' 2' 4'

0	Date:	Revision:

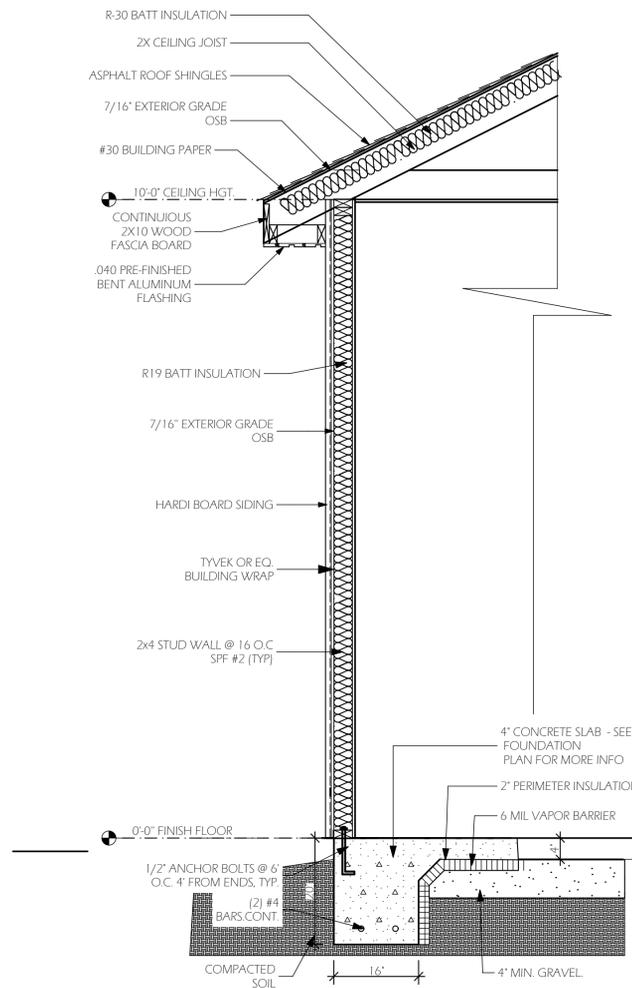
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DATE: 4/26/2017	DRAWN BY: JAB
SCALE:	PROJECT NO: 16.580

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 SHEET TITLE:  
INTERIOR ELEVATIONS  
 SHEET NUMBER:

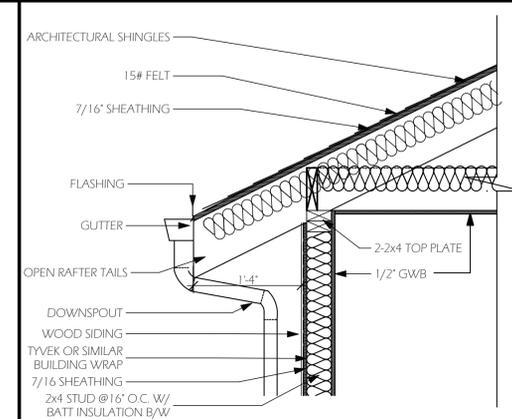
**A-301**

April



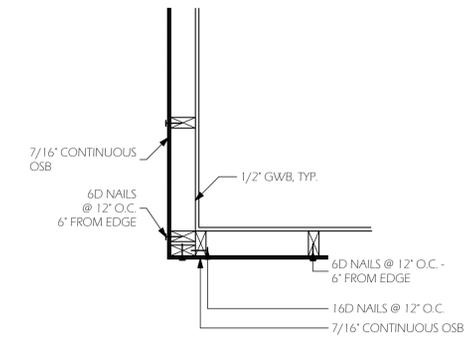
1 TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"



10 EAVE

SCALE: 1" = 1'-0"



11 FRAMING CORNER

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**RESIDENCE - GARAGE**  
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 CHARLOTTE, NC

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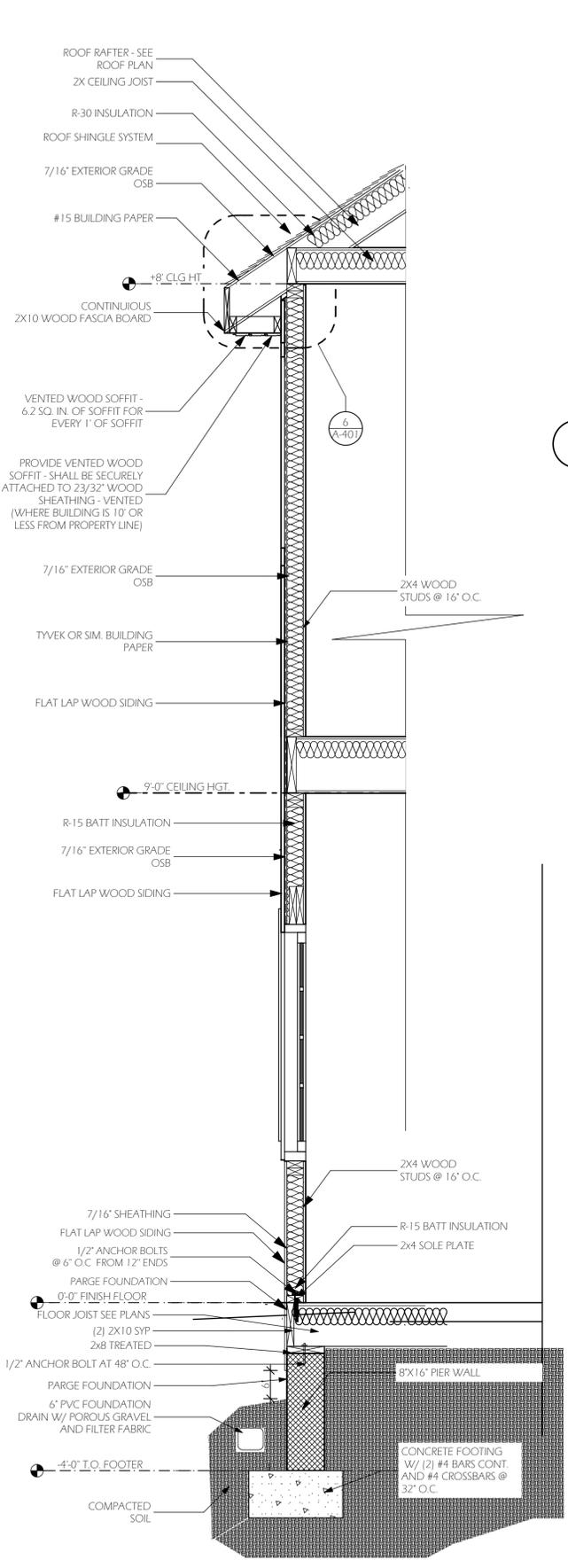
CHECKED BY:  
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SHEET TITLE:  
DETAILS

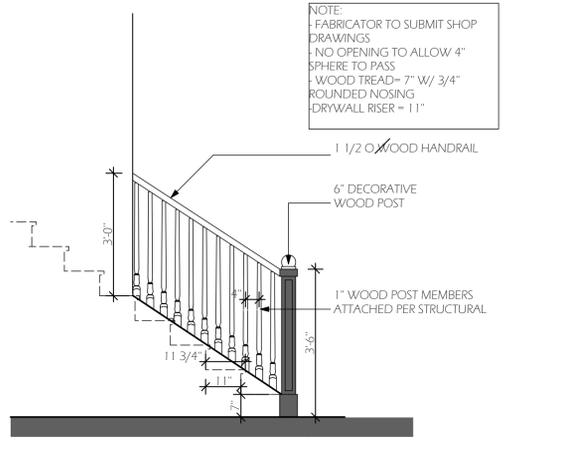
SHEET NUMBER:

**A-401**

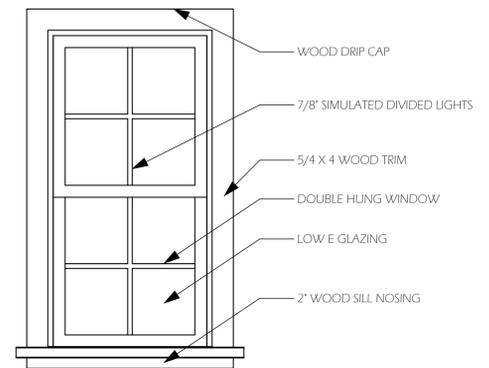
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**2** TYPICAL WALL SECTION  
SCALE: 3/4" = 1'-0"

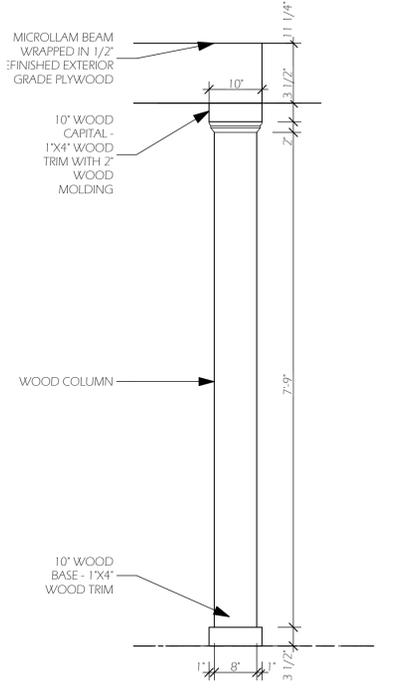


**1** STAIR DETAIL  
SCALE: 1/2" = 1'-0"



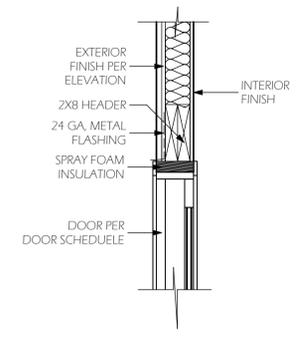
NOTE: TWIN UNITS HAVE 5 1/2" MULLION

**3** TYPICAL WINDOW DETAIL  
SCALE: 3/4" = 1'-0"

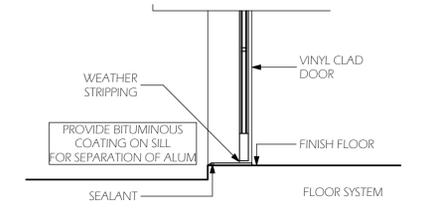


**4** TYPICAL COLUMN  
SCALE: 3/4" = 1'-0"

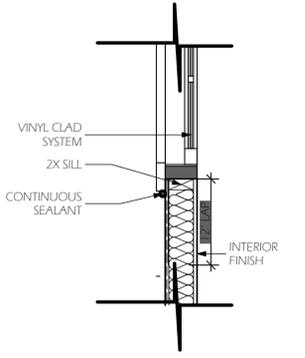
May



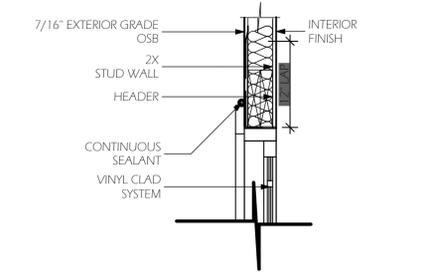
**05** DOOR HEAD  
SCALE: 1" = 1'-0"



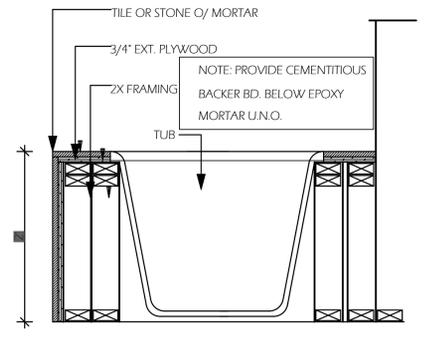
**06** DOOR THRESHOLD  
SCALE: 1" = 1'-0"



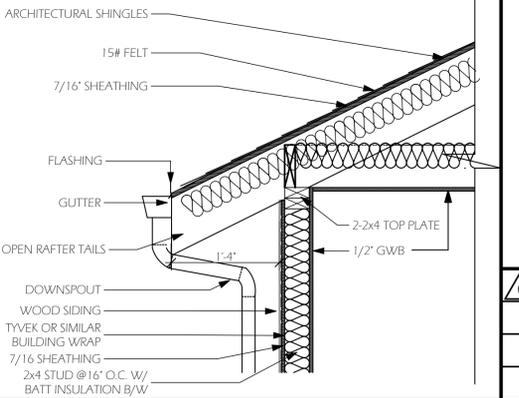
**07** WINDOW SILL  
SCALE: 1" = 1'-0"



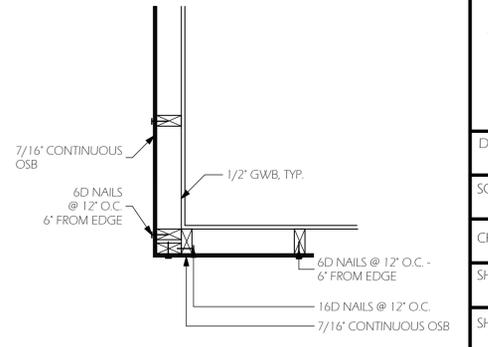
**08** WINDOW HEAD  
SCALE: 1" = 1'-0"



**09** SHOWER TUB  
SCALE: 1" = 1'-0"

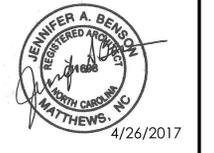


**10** EAVE  
SCALE: 1" = 1'-0"



**11** FRAMING CORNER  
SCALE: 1" = 1'-0"

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DRAWN BY: JAB  
SCALE: PROJECT NO: 16.580

CHECKED BY: JENNIFER BENSON  
SHEET TITLE: DETAILS  
SHEET NUMBER:

**A-401**

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SCALE:	PROJECT NO: 16.580

CHECKED BY:  
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SHEET TITLE:  
SPECIFICATIONS

SHEET NUMBER:

**A-501**

ISSUED FOR CONSTRUCTION

**DIVISION ONE - GENERAL CONDITIONS**

1. THESE DRAWINGS ARE DESIGNED IN ACCORDANCE WITH CURRENT EDITION OF THE NORTH CAROLINA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, REGULATIONS AND AMENDMENTS AND ALL OTHER AUTHORITIES HAVING JURISDICTION. THE WORK SHALL COMPLY WITH INTERPRETATIONS OF THE LOCAL BUILDING OFFICIAL. IF THE INTERPRETATION OF THE LOCAL BUILDING OFFICIAL IS AT VARIANCE WITH THESE DOCUMENTS, INFORM THE BUILDER PRIOR TO PROCEEDING.

2. FIELD CONDITIONS AND DIMENSIONS: ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. BUILDER SHALL BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES IN INFORMATION AND OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND INFORMATION ON THE DRAWINGS PRIOR TO CONSTRUCTION. ALL WORK SHALL COMPLY WITH THE MANUFACTURER'S OR FABRICATOR'S INSTRUCTIONS OR RECOMMENDATIONS FOR THE PREPARATION OF SUBSTRATES AND INSTALLATION AND USE OF MATERIAL.

3. TEMPORARY BRACING: TEMPORARY BRACING SHALL BE USED AS REQUIRED TO STABILIZE FOUNDATION AND BASEMENT WALLS AND SUPERSTRUCTURE UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

4. DESIGN LIVE LOADS: ALL FRAMING MATERIAL SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADS:

- a. SLEEPING AREAS - 30 PSF
- b. LIVING AREAS - 40 PSF
- c. DECKS - 60 PSF
- d. EXTERIOR BALCONIES - 60 PSF
- e. ROOF - 30 PSF
- f. GARAGES - 50 PSF
- g. STAIRS - 40 PSF
- h. RAILINGS - 200 PSF
- i. WIND LOADS - 15 PSF
- j. ATTIC FLOOR W/ STORAGE - 20 PSF
- k. ATTIC FLOOR W/O STORAGE - 10 PSF
- l. BASEMENT WALLS - 30 PCF EQUIVALENT FLUID PRESSURE
- m. CANTILEVERED WALLS - 30 PCF EQUIVALENT FLUID PRESSURE

5. FIRE RATED ASSEMBLIES: ALL FIRE RATED ASSEMBLIES ARE CONTINUOUS UNLESS OTHERWISE NOTED. ASSEMBLY MATERIALS SHALL TAKE PRECEDENCE OVER MATERIALS SPECIFIED IN THESE DRAWINGS.

- a. SEAL ALL HORIZONTAL AND VERTICAL PENETRATIONS WITH APPROVED MATERIALS.
- b. ALL SHEATHING PENETRATIONS CAUSED BY CONSTRUCTION SHALL BE PATCHED AND REPAIRED WITH MATERIALS AND METHODS CONSISTENT WITH ORIGINAL CONSTRUCTION.

6. SOIL TREATMENT FOR TERMITE CONTROL IF APPLICABLE: APPLY TOXICANT TO SOIL IN ENTIRE AREA TO BE OCCUPIED BY STRUCTURE AND TO 2' BEYOND PERIMETER LINE OF STRUCTURE. USE APPROVED TOXICANT WITH A FIVE YEAR GUARANTEE. NOTE: THIS ITEM MAY BE WAIVED IF SITE CONDITIONS DO NOT WARRANT IT AND THE OWNER'S APPROVAL.

7. RADON CONTROL: AS REQUIRED, AND IN ACCORDANCE WITH LOCAL CODES.

**DIVISION TWO - SITEWORK**

1. THESE DRAWINGS DO NOT COVER SITE WORK, EXCAVATION, GRADING AND LANDSCAPING. REFER TO THE SITE DRAWINGS PREPARED BY THE CIVIL ENGINEER FOR THESE ITEMS.

2. EXCAVATION - SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON FROZEN EARTH.

3. BACKFILL AND COMPACTION - USE CLEAN MATERIAL CONTAINING NO ORGANIC MATERIAL, TRASH, MUCK, ROOTS, LOGS, STUMPS, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. DO NOT BACKFILL AGAINST MASONRY WALLS UNTIL SUPERSTRUCTURE IS IN PLACE, OR ADEQUATE BRACING IS PROVIDED. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. EQUIVALENT FLUID PRESSURE OF SOIL BACKFILL NOT TO EXCEED 30 PCF UNIFORM CLASS SM OR BETTER.

4. FOUNDATIONS - COMPACTED SOIL NOT LESS THAN 1'-0" BELOW EXISTING GRADE OR PER MINIMUM FROST DEPTH FOR JURISDICTION BELOW ADJACENT FINISHED EXTERIOR GRADE UNLESS OTHERWISE NOTED ON DRAWINGS. SOIL BEARING VALUE ASSUMED TO BE 2,000 PSF MINIMUM UNLESS OTHERWISE NOTED ON DRAWINGS. BUILDER TO BE NOTIFIED IMMEDIATELY SHOULD BEARING CAPACITY OF LESS THAN 2,000 PSF OR HIGH WATER TABLE BE ENCOUNTERED. FOUNDATION WALLS OF MASONRY AND CONCRETE ARE TO BE CONSTRUCTED AS PER PLAN AND IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.

5. DAMPPROOFING AND WATERPROOFING FOR CONCRETE AND MASONRY FOUNDATIONS - AS REQUIRED AND IN ACCORDANCE WITH LOCAL CODES. EXTERIOR FOUNDATION WALLS OF MASONRY CONSTRUCTION THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPECIES SHALL BE DAMPPROOFED BY APPLYING NOT LESS THAN 3/8" PORTLAND CEMENT PARGING TO THE WALL FROM FOOTING TO FINISHED GRADE. THE PARGING SHALL BE COVERED WITH A COAT OF APPROVED BITUMINOUS MATERIAL APPLIED AT THE RECOMMENDED RATE.

6. ANY PLUMBING PASSING UNDER A FOOTING OR THROUGH A FOUNDATION WALL SHALL BE PROVIDED WITH A RELIEVING ARCH OR SLEEVE TWO PIPE SIZES GREATER THAN THE PIPE PASSING THROUGH THE WALL.

**DIVISION THREE - CONCRETE**

1. CONCRETE - SHALL REACH MINIMUM COMPRESSIVE STRENGTH OF (F<sub>c</sub>) (SEE TABLE BELOW) ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 318 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

i. TYPE OF LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH (F <sub>c</sub> )
ii. BASEMENT SLABS AND INTERIOR SLABS ON GRADE EXCEPT GARAGE FLOOR SLABS	2,500
iii. BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3,000

(1) AT 28 DAYS PSI  
 (2) CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL BE NOT LESS THAN 5% OR MORE THAN 7%.

NOTE: USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY

APPROVED BY THE STRUCTURAL ENGINEER. USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

2. REINFORCING RODS SHALL CONFORM TO ASTM A-615 GRADE 60. WWF SHALL CONFORM TO ASTM A-185 AND SHALL BE INSTALLED AS PER TABLE #1 BELOW.

NOTE: ALL REINFORCING STEEL MARKED "CONTINUOUS" SHALL BE LAPED 36 BAR DIAMETERS AT SPLICES AND AROUND CORNERS OR INTERSECTION WITH A STANDARD 90 DEGREE BEND ON CORNER BARS. LAP WELDED WIRE MESH ONE FULL MESH AT END AND LAPS.

3. SLABS ON GRADE - 4" NOMINAL THICK WITH FIBROUS REINFORCING FOR CRACK CONTROL AS PER MANUFACTURER'S SPECIFICATIONS. SLABS TO BE PLACED ON 6 MIL VAPOR BARRIER ON 4" GRAVEL. OVERLAP JOINTS BARRIER 12". SEAL OR TAPE PENETRATIONS BY PLUMBING AND AVOID PUNCTURING. SEAL EDGES OF FOUNDATION WALLS.

- 4. PROVIDE CONCRETE PROTECTION FOR REINFORCING AS FOLLOWS:
  - a. FOOTINGS 3" (BOT TOM)
  - b. WALLS 2" TO OUTSIDE FACE, 1 1/2" TO INSIDE FACE

**DIVISION FIVE - METALS**

1. FOUNDATION ANCHOR BOLTS - SHALL BE PROVIDED AT MAXIMUM 6'-0" O.C. INTERVALS AND PLACED 12" FROM END OF EACH SECTION WITH MINIMUM TOW ANCHOR BOLTS PER SECTION OF WALL. ANCHOR BOLT SHALL BE MINIMUM 1/2" DIAMETER AND SHALL BE EMBEDDED IN FOUNDATION IN DEPTH MINIMUM 7" OF POURED IN PLACE CONCRETE AND NOT LESS THAN 15" IN GROUTED UNIT MASONRY. ANCHOR BOLT CAN BE SUBSTITUTED WITH METAL STRIP PER MANUFACTURER'S SPECIFICATIONS. ALL BEARING PLATES SHALL BE ON MINIMUM 8" DEEP SOLID MASONRY.

2. STEEL - ALL METAL ANCHORS, FASTENERS, JOIST HANGERS, ETC. TO BE GALVANIZED. ALL STRUCTURAL STEEL TO CONFORM TO ASTM-36. PIPE TO BE A53. TUBE TO BE A500 OF A501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. CONNECTIONS SHALL BE CAPABLE OF SUPPORTING ALLOWABLE UNIFORM LOAD STRESS OF 24 KSI. STEEL COLUMNS AND BASES TO BE GIVEN A SHOP COAT OF RUST INHIBITIVE PAINT OR EQUIVALENT. BOTTOM OF STEEL COLUMNS SHALL BE ANCHORED IN CONCRETE.

3. NAILING SCHEDULE - AS PER CURRENT IRC AND OTHER APPLICABLE BUILDING CODES, OR MANUFACTURER'S RECOMMENDED STANDARDS, BUT NOT LESS THAN THAT REQUIRED BY MANUFACTURER'S RECOMMENDED STANDARDS, AND NOT LESS THAN THAT REQUIRED BY CODE.

**DIVISION SIX - WOOD**

1. SILL PLATE - PLATE TREATED TO MEET AWP A STANDARDS WHERE INDICATED ON PLANS AND AS REQUIRED BY APPLICABLE CODE.

2. ALL EXPOSED EXTERIOR LUMBER OR LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH AWP A STANDARDS. PROVIDE FIRE RETARDANT SHEATHING AND LUMBER WHERE INDICATED ON DRAWINGS. ALL WOOD SHALL BE A MINIMUM OF 8" ABOVE FINISH GRADE OR PRESSURE PRESERVATIVE TREATED LESS THAN 8" ABOVE FINISH GRADE.

3. MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL BE 19%, KILN DRIED IN ACCORDANCE WITH AWP A STANDARDS.

**4. STRENGTH OF FRAMING MATERIALS:**

a. ALL FRAMING LUMBER EXCEPT WALL STUDS SHALL BE AF & PANDS (OR OTHER APPROVED AGENCY) RATED SOUTHERN YELLOW PINE, GRADE 2 OR BETTER HAVING THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS "F<sub>b</sub>"= 2x8 = 1210
- BENDING STRESS "F<sub>b</sub>"= 2x10 = 1105
- BENDING STRESS "F<sub>b</sub>"= 2x12 = 1005
- HORIZONTAL SHEAR "F<sub>v</sub>"= 70 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" - 425 PSI
- MODULUS OF ELASTICITY "E" - 1,400,000 PSI

b. ALL STRUCTURAL POSTS EXCEPT built up TACK STUDS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS "F<sub>b</sub>"= 1200 PSI FOR SINGLE MEMBER USE
- BENDING STRESS "F<sub>b</sub>"= 1400 PSI FOR REPETITIVE MEMBER USE
- HORIZONTAL SHEAR "F<sub>v</sub>"= 80 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" - 565 PSI
- MODULUS OF ELASTICITY "E" - 1,600,000 PSI

c. BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

- LAMINATED BEAMS (LVL)
- SHALL BE 1 3/4" WIDE
- BENDING STRESS "F<sub>b</sub>"=2600 PSI
- HORIZONTAL SHEAR "F<sub>v</sub>"= 285 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" - 750 PSI
- MODULUS OF ELASTICITY "E" - 1,900,000 PSI
- COMPRESSION PARALLEL TO GRAIN = 2510 PSI

- PSL
- SHALL BE 3 1/2" WIDE
- BENDING STRESS "F<sub>b</sub>"=2900 PSI
- HORIZONTAL SHEAR "F<sub>v</sub>"= 290 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" - 750 PSI
- MODULUS OF ELASTICITY "E" - 2,000,000 PSI
- COMPRESSION PARALLEL TO GRAIN = 2900 PSI

NOTE: PREFABRICATED STRUCTURAL TIMBERS SHALL CONFORM TO ONE OF THE FOLLOWING SPECIFICATIONS:

- NER-481
- ICBOES ER-4979
- FHA/HUD - PARALAM - MR-1303
- FHA/HUD - MICROLAM - HUD - 925g

d. WOOD STUDS TO BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS, F<sub>b</sub> REP = 650 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F<sub>c</sub>" - 425 PSI
- MODULUS OF ELASTICITY "E" - 1,200,000 PSI

i. STUDS AT BEARING WALLS TO BE 2x4'S AT 16" O.C. EXCEPT AS NOTED ON DRAWINGS. WHENEVER HEIGHT OF STUD WALL EXCEEDS 10'-0", STUDS SHALL EXTEND CONTINUOUSLY, IN ONE PIECE, TO FULL HEIGHT OF WALL, UNLESS OTHERWISE NOTED ON PLANS.

ii. INTERIOR NON-BEARING STUDS TO BE 2x4" O.C. UNLESS OTHERWISE NOTED. INTERIOR NON-BEARING STUDS SUPPORTING CABINERY TO BE 16" O.C.

e. PRE-ENGINEERED WOOD FLOOR JOISTS AND FLOOR TRUSSES SHALL BE PER DEPTH SHOWN ON DRAWINGS AND SPACING AS PER MANUFACTURER. ALL PRE-ENGINEERED ROOF AND FLOOR TRUSSES AND WOOD JOISTS SHALL BE DESIGNED FOR THE LIVE LOADS AS SHOWN IN THE GENERAL CONDITIONS SECTION AS WELL AS THE FOLLOWING:

- ROOF: DEAD LOAD TOP CHORD - 7 PSF  
DEAD LOAD BOTTOM CHORD - 10 PSF

i. PREFABRICATED TRUSS JOISTS SHALL BE DESIGNED TO RESIST THE LOADINGS SHOWN WITH A MAXIMUM LIVE LOAD DEFLECTION OF L/480 OF THE SPAN.

**5. INSTALLATION**

a. WHERE DOUBLE MEMBERS ARE INDICATED ON THE DRAWINGS, MECHANICALLY FASTEN BOTH MEMBERS IN A MANNER SUCH THAT BOTH MEMBERS SHARE THE SUPERIMPOSED LOADS, INCLUDING LOADS FROM HEADERS.

b. WOOD JOISTS SHALL HAVE A MINIMUM BEARING OF 1 1/2". WOOD FLOOR TRUSSES TO HAVE MINIMUM BEARING AS PER MANUFACTURER'S RECOMMENDATIONS.

c. PRE-ENGINEERED JOISTS AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATIONS. HOLES THROUGH WOOD I BEAMS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS. NO HOLES OR CUTS ARE ALLOWED THROUGH TOP OR BOTTOM CHORD.

d. WOOD FLOOR AND ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED BY THE TRUSS MANUFACTURER AND SHALL COMPLY WITH THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS. SUBMIT SHOP DRAWINGS AND CALCULATIONS SEALED BY A P.E. TO THE PLAN REVIEWER AS REQUIRED. METAL PLATE CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANS/I/PI H18.

ii. THE DESIGN AND DETAIL OF ALL TRUSSES WILL MEET THE REQUIREMENTS OF FHA G4541.1 DESIGN CRITERIA FOR TRUSSED RATERS, THE "NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS", AND ALL APPLICABLE BUILDING CODES.

6. PROVIDE CONTINUOUS BAND JOINTS AND REINFORCING AT CONCENTRATED LOADS PER MANUFACTURER'S INSTRUCTIONS.

f. BEARING STUDS SHOULD BE AT 16" O.C. WITH 2 TOP PLATES, AND CARE SHOULD BE EXERCISED TO ENSURE LOCATING SUPPORTED FLOOR JOISTS OR ROOF TRUSSES WITHIN 5 INCHES OF THE STUDS BENEATH.

- 6. HEADERS - ALL HEADERS OVER ALL FRAMED OPENINGS TO BE AS SHOWN ON THE DRAWINGS. IF NO HEADER SIZE IS INDICATED, THE FOLLOWING SHALL APPLY:
  - a. 2 - 2x8 - OPENINGS UP TO 4'-6"
  - b. 2 - 2x10 - OPENINGS UP TO 5'-6"
  - c. 2 - 2x12 - OPENINGS UP TO 6'-5"

7. PLYWOOD AND O.S.B. USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE US COMMERCIAL STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY.

8. SHEATHING - SUBFLOOR TO BE 5/8" OR 3/4" TONGUE AND GROOVE PLYWOOD OR OSB STURD-I-FLOOR AS SHOWN ON THE DRAWINGS. DIRECT BEARING AT ALL ENDS, GLUED AND NAILED. ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD OR 7/16" OSB. ALL END JOIST SHALL BE STAGGERED. THE FACE GRAIN SHALL BE LAID AT RIGHT ANGLES TO THE JOIST AND TRUSSES AND PARALLEL TO THE STUDS. EXTERIOR SHEATHING SHALL BE OSB OR PLYWOOD SHEATHING (APA rated STRUC. 1 24/16) INSTALL PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.

9. ALL STRUCTURAL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O.C. AND SHALL BE STAGGERED. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULLOUT UNLESS NOTED OTHERWISE.

10. PANEL BUTT JOINTS, PLATES AT FLOOR AND CEILING AND ALL WINDOW, DOOR FLANGES/ JAMBS SHALL BE GLUED AND SEALED PRIOR TO AND DURING ERECTION.

**DIVISION 7 - THERMAL AND MOISTURE PROTECTION**

1. SILL SEAL - INSTALL COMPRESSIBLE SEAL BENEATH ALL EXTERIOR SILL PLATES.

**2. INSULATION:**

- a. WALLS - R-15, 3 1/2" BATT INSULATION WITH KRAFT PAPER FACE VAPOR BARRIER, MIN. UNLESS OTHERWISE NOTED.
- b. CEILINGS AT ROOF - R-30 FIBERGLASS BATT WITH KRAFT PAPER FACE VAPOR BARRIER, OR BLOWN INSULATION, R-30 MIN. OR PER LOCAL CODE.
- c. PERIMETER SLAB INSULATION TO BE RIGID, EXTERIOR GRADE, MIN. R-7 EXTENDING 2'-0" VERTICALLY AND 2'-0" HORIZONTALLY, MIN. PERIMETER INSULATION TO BE EXTRUDED POLYSTYRENE CLOSED CELL.
- d. VAPOR BARRIERS TO FACE WARM SIDE OF SPACE (INTERIOR) UNLESS OTHERWISE NOTED ON DRAWINGS.

**3. ROOFING:**

- a. SHINGLES - COMPOSITE SHINGLES ON 15# ROOFING FELT ON SLOPES OF 4" OR 12" OR GREATER, ON SLOPES 2" TO 12" UP TO 4" TO 12" PROVIDE DOUBLE LAYERS OF UNDERLAYMENT FELT PROTECTION IN ACCORDANCE WITH BUILDING CODE. SHINGLES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE BUILDING CODES.
- b. ROOF VALLEY LINING - SHALL BE OF APPROVED MATERIAL AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

**4. EXTERIOR WALLS:**

- a. FLASHING - FLASH AND COUNTERFLASH AT ROOF AND WALL INTERSECTIONS, VALLEYS, CRICKETS AND SADDLES, AND SIDEWALLS PER CODE. FLASHING AT VENT PIPERS, SOIL STACKS, VERTICAL FRONT WALLS TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. FLASHING MATERIAL TO BE MIN. .019 CORROSION RESISTANT METAL, MINERAL SURFACED ROLL ROOFING, OR APPROVED EQUAL.
- b. FLASH ALL EXTERIOR OPENINGS AND ALL BUILDING CORNERS AS REQUIRED. FLASH AND CAULK WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS AND ROOF SURFACES.
- c. CAULKING - CAULKING SEALANTS AS SELECTED BY BUILDER (OWNER). FILL ALL JOINTS OF DIFFERENT MATERIALS AND ALL PENETRATIONS AS REQUIRED.
- d. SIDING - TO BE AS CALLED FOR ON DRAWINGS AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

**DIVISION 8 OPENINGS**

1. EXTERIOR ENTRANCE DOORS - SIDE HINGED DOOR NOT LESS THAN 3 FEET IN WIDTH AND 6'-8" IN HEIGHT. 1 3/4" SOLID CORE WOOD DOORS OR HOLLOW METAL MIN. 20 GAUGE FILLED WITH SOLID SLAB POLYSTYRENE INSULATION PERMANENTLY BONDED TO PANELS. PROVIDE 1 1/2 PAIR HINGES FOR DOORS UP TO 7'-2" AND 2 PAIR FOR DOORS TO 8'-0" IN HEIGHT. PROVIDE COMPLETE WEATHER STRIPPING AND METAL THRESHOLD.

**3. WINDOWS AND GLASS DOORS:**

- a. GENERAL. TEMPERED GLASS SHALL BE USED IN ALL AREAS AS REQUIRED BY IRC. PROVIDE WINDOWS CONFORMING TO REQUIREMENTS OF BUILDING CODE FOR PERFORMANCE, TESTING AND LABELING, ANCHORAGE METHODS AND STRUCTURAL REQUIREMENTS.
- b. ALL OPERABLE WINDOWS - SHALL HAVE NONCORROSIVE SCREENS AND SASH LOCKS. SCREENS ARE PROVIDED TO PREVENT THE ENTRY OF INSECTS AND ARE NOT INTENDED TO PREVENT CHILDREN FROM FALLING OUT OF OPEN WINDOWS.

4. WEATHER PROOFING - ALL SLIDING, SWINGING DOORS AND WINDOW OPENINGS TO THE EXTERIOR SHALL BE FULLY WEATHERSTRIPPED, CAULKED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. DOORS AND WINDOWS SHALL MEET AIR INFILTRATION AND OTHER PERFORMANCE FACTORS AS REQUIRED BY THE CURRENT EDITION OF THE INTERNATIONAL ENERGY CONSTRUCTION CODE AND INTERNATIONAL RESIDENTIAL CODE.

**DIVISION 9 FINISHES**

1. GYPSUM, WALLBOARD - SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF ICC AND OTHER APPLICABLE CODES. TYPICAL INTERIOR PARTITIONS TO HAVE 1/2" TAPERED EDGE TAPED AND FINISHED.

2. CERAMIC TILE - CERAMIC WALL TILES SHALL BE 4 1/4" x 4 1/4" GLAZED TILE. THIN SET APPLICATION ON WATER-RESISTANT GYPSUM BOARD AS REQUIRED BY CODE. CERAMIC FLOOR TILE SHALL BE 4 1/4" x 4 1/4" SLIP RESISTANT TILE. TILE COLOR AS SELECTED BY OWNER.

3. UNDERLAYMENT - PROVIDE SUITABLE UNDERLAYMENT FOR CERAMIC TILE FLOORS PER MANUFACTURER'S INSTRUCTIONS.

**DIVISION 22 PLUMBING**

1. THE CURRENT NORTH CAROLINA PLUMBING CODE SHALL COVER THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, RELOCATION, REPLACEMENT, ADDITION TO, USE OR MAINTENANCE OF ELECTRICAL EQUIPMENT AND SYSTEMS. ELECTRICAL SYSTEMS AND EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT VERSION OF THE NORTH CAROLINA PLUMBING CODE.

**DIVISION 23 MECHANICAL**

1. THE CURRENT NORTH CAROLINA MECHANICAL CODE SHALL COVER THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, RELOCATION, REPLACEMENT, ADDITION TO, USE OR MAINTENANCE OF ELECTRICAL EQUIPMENT AND SYSTEMS. ELECTRICAL SYSTEMS AND EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT VERSION OF THE NORTH CAROLINA MECHANICAL CODE.

**DIVISION 26 ELECTRICAL**

1. THE CURRENT NORTH CAROLINA ELECTRICAL CODE SHALL COVER THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, RELOCATION, REPLACEMENT, ADDITION TO, USE OR MAINTENANCE OF ELECTRICAL EQUIPMENT AND SYSTEMS. ELECTRICAL SYSTEMS AND EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT VERSION OF THE NORTH CAROLINA ELECTRICAL CODE.