

LOCAL HISTORIC DISTRICT: Dilworth
PROPERTY ADDRESS: 612 East Worthington Avenue
SUMMARY OF REQUEST: Addition
APPLICANT/OWNER: Angie Lauer

Details of Proposed Request

Existing Conditions

The existing structure is a 2.5 story Four Square/Bungalow style house constructed in 1915. Features include a brick main floor with wraparound porch and a shingled second floor with a gabled front and eave brackets. Other houses on the block are a mix of 1 and 2 story houses.

Proposal

The project is an addition of a cross gabled dormer which requires removal of a portion of the roof. The addition is approximately 2'-6" above the existing ridge. The chimney will be extended approximately 3'. Window details, siding and trim materials will match existing. Final ridge height is +/-33' from grade.

Policy & Design Guidelines for Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

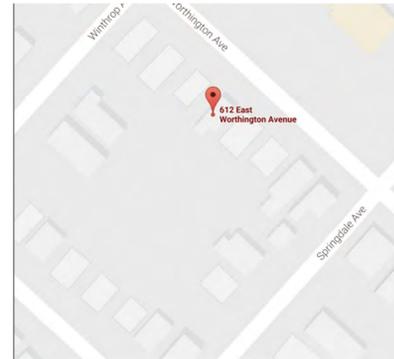
Staff Analysis

The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-107
HISTORIC DISTRICT: Dilworth
ADDITION







VICINITY MAP

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NOTE:
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PROJECT #: 16062
ISSUED: 10 FEB 2017
REVISIONS:

COVER SHEET

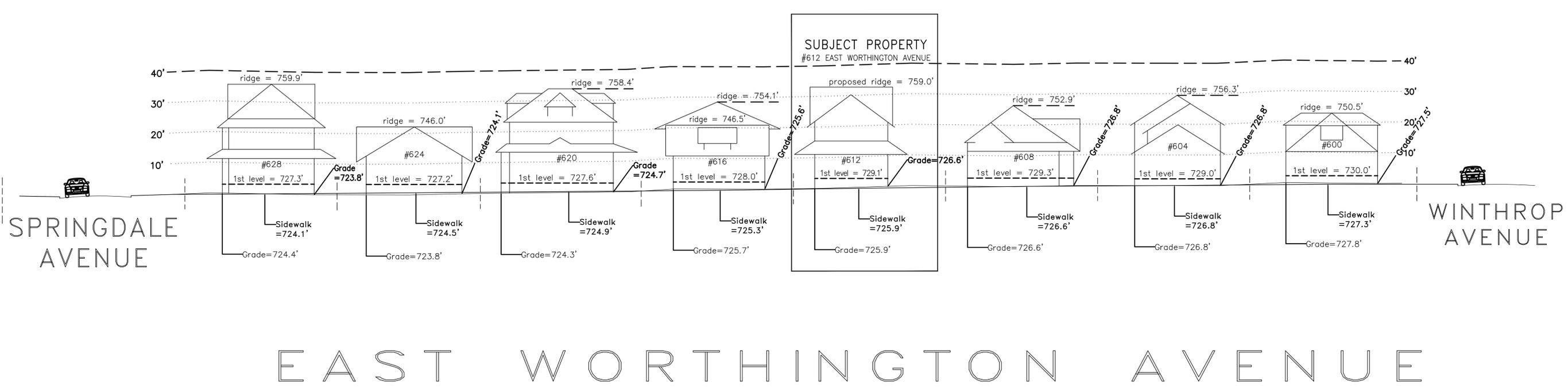
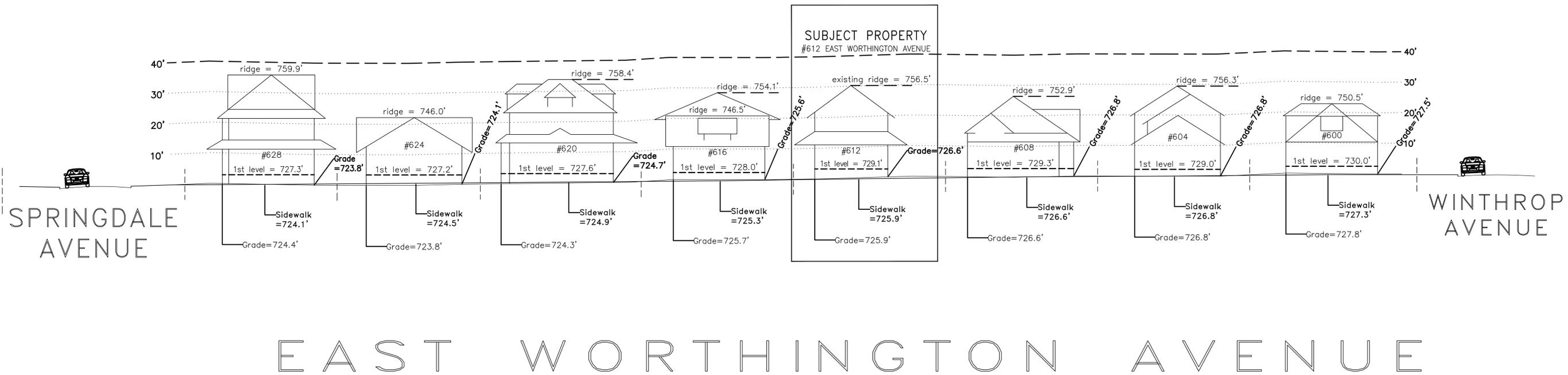
A-0

OF: NINETEEN



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STREET SCAPE
A-1
OF NINETEEN



628 E WORTHINGTON AVE



SUBJECT PROPERTY



616 E WORTHINGTON AVE



624 E WORTHINGTON AVE



VICINITY MAP



608 E WORTHINGTON AVE



620 E WORTHINGTON AVE



SUBJECT PROPERTY

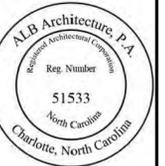
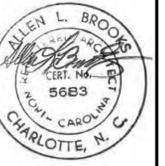


604 E WORTHINGTON AVE



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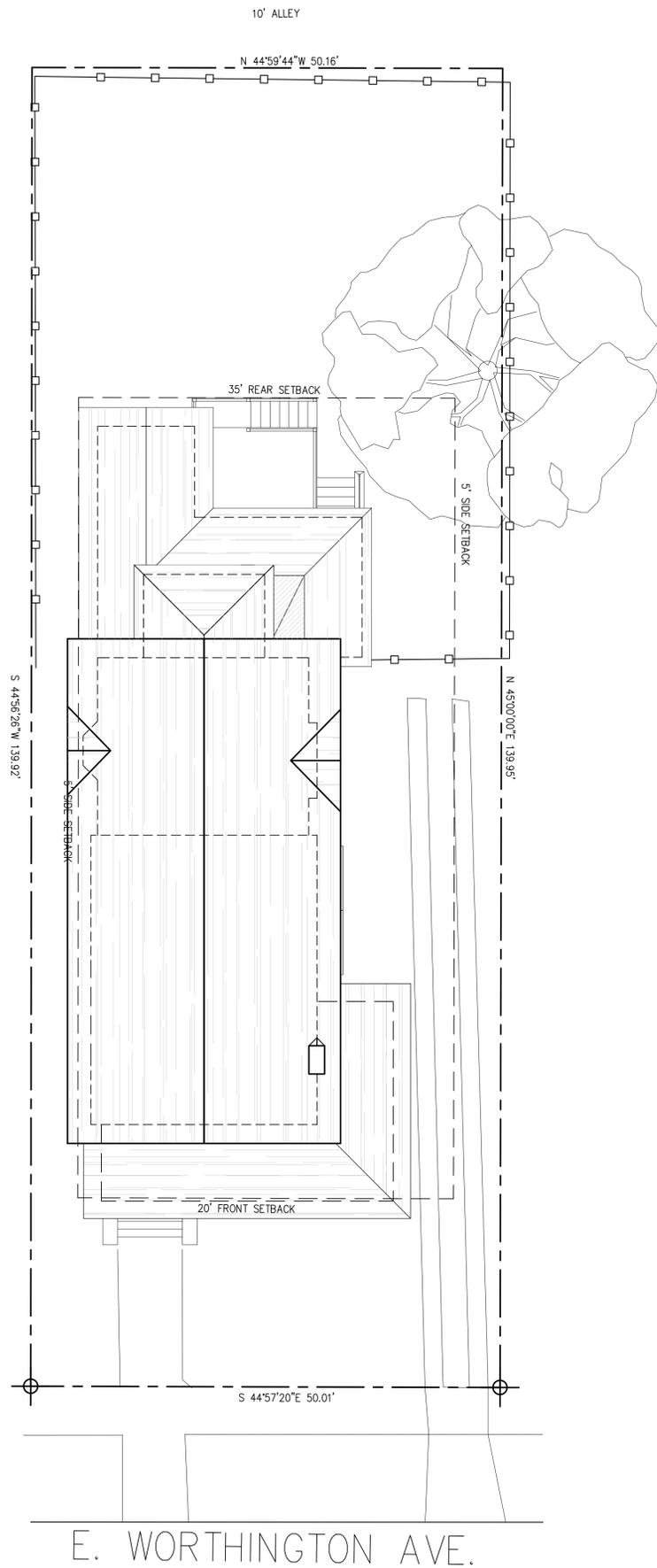
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STREET STUDY

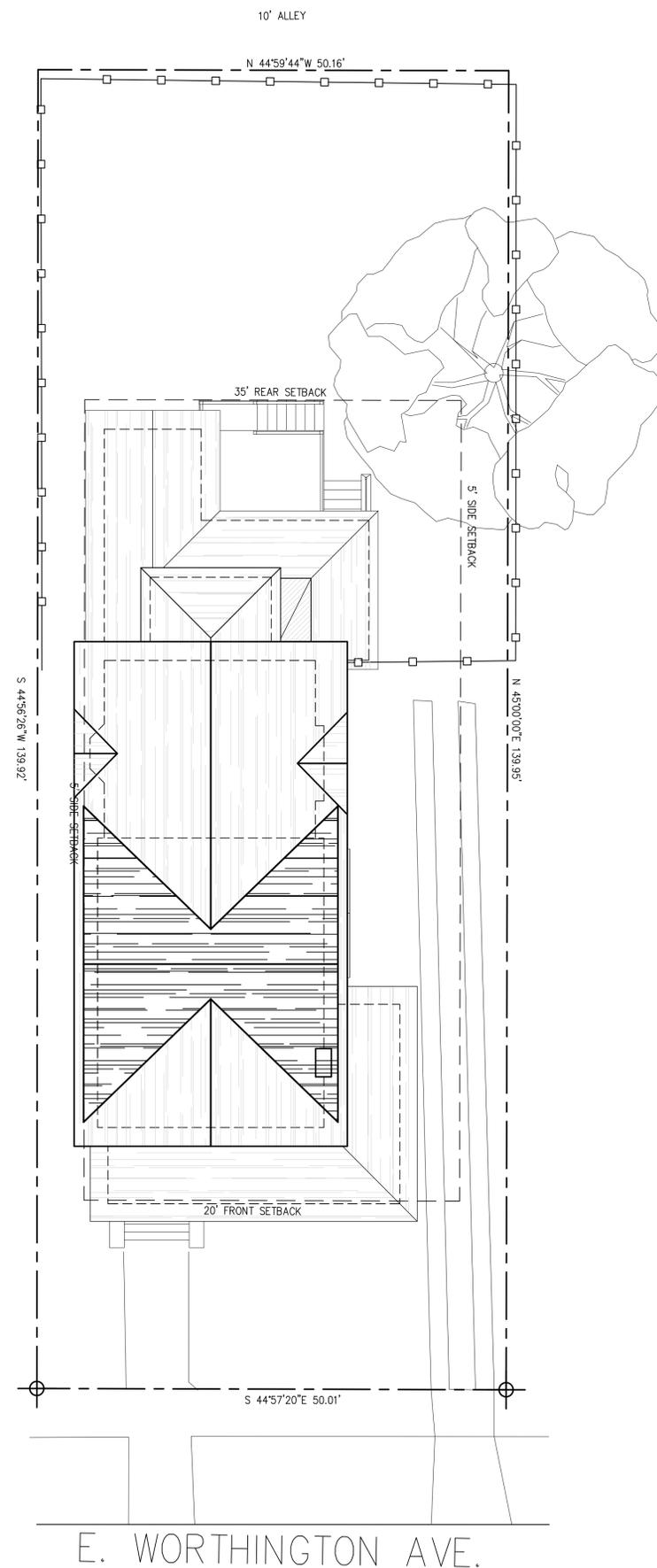
A-2

OF NINETEEN



1 EXISTING SITE PLAN
1/8" = 1'-0"

RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA (THIRD FLOOR)	201
TOTAL PROPOSED HEATED AREA OF GARAGE	0
PROPOSED UNHEATED	
REAR PORCH	0
UNHEATED GARAGE	0
POOL	0
PATIO	0
SHOP	0
TOTAL	0
REAR YARD PERMEABILITY CALCULATIONS (50% AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	2542
SCREENED PORCH/PATIO (NO CHANGE)	284
IMPERVIOUS AREA AT REAR YARD	0
TOTAL AREA	284
TOTAL PERMEABLE AREA (NO CHANGE)	89%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE (NO CHANGE)	7009
FIRST FLR HEATED AREA (NO CHANGE)	1815
PORCHES (NO CHANGE)	854
TOTAL FOOTPRINT (NO CHANGE)	2669
PERCENTAGE OF OPEN SPACE	62%



1 PROPOSED SITE PLAN
1/8" = 1'-0"

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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GENERAL NOTES:

- 8'-0" THIRD FLOOR CEILING HEIGHT.
- RAIL @ 36" A.F.F. IF GRADE EXCEEDS 29" IN HEIGHT WITHIN 3'-0" OF PORCHES.
- ALL EAVES TO MATCH EXISTING U.N.O.
- USE DOUBLE FELT WITH SNOW ICE GUARD FOR ALL ROOFS WITH PITCHES 4:12 & LESS.
- PROVIDE RIGID MATERIAL OR AIR BARRIER ENCLOSING CAVITY INSULATION BEHIND SHOWER & TUB AREAS AS PER N1102.2.12
- PROVIDE REQUIRED CORROSION RESISTANT FLASHING ON ALL LOCATIONS PER R903.2.1

NOTE:

- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE DESIGNER'S PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE DESIGNER HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
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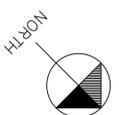
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EXISTING & PROPOSED SITE PLANS

A-3

OF NINETEEN





② EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"



① EXISTING FRONT ELEVATION
1/4" = 1'-0"

STAIRS, RAILING & GUARD NOTES:

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GENERAL NOTES:

1. ALL DIMENSIONS IN FOUNDATION FROM FACE OF BRICK
2. 8'-3" FIRST FLOOR CEILING HEIGHT.
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EXISTING ELEVATIONS

A-7
OF NINETEEN



② EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



① EXISTING REAR ELEVATION
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WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	6'-10"	DOUBLE HUNG
B	2'-0" X 4'-0"	5'-10"	DOUBLE HUNG

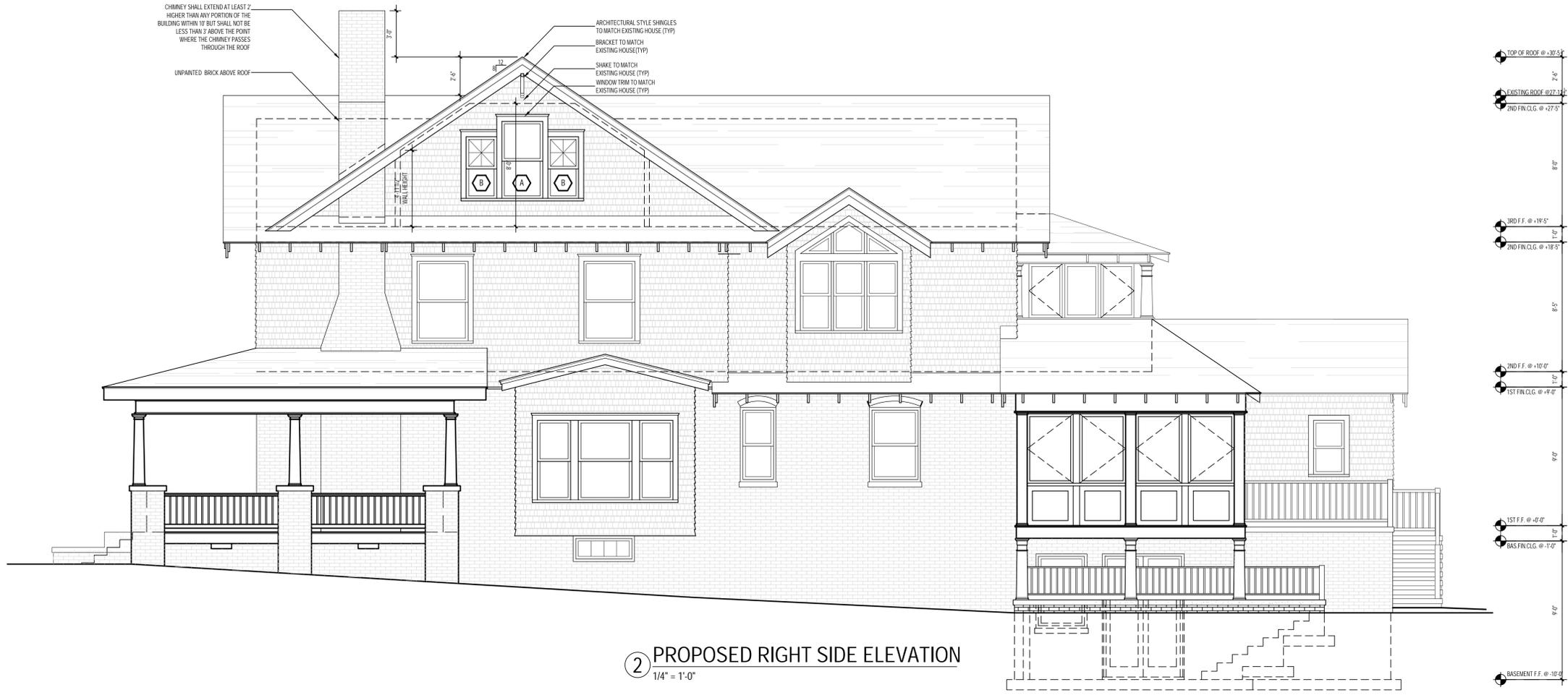
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 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

- STAIRS, RAILING & GUARD NOTES:
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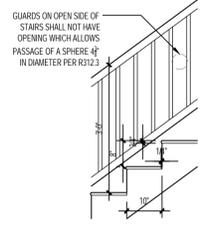
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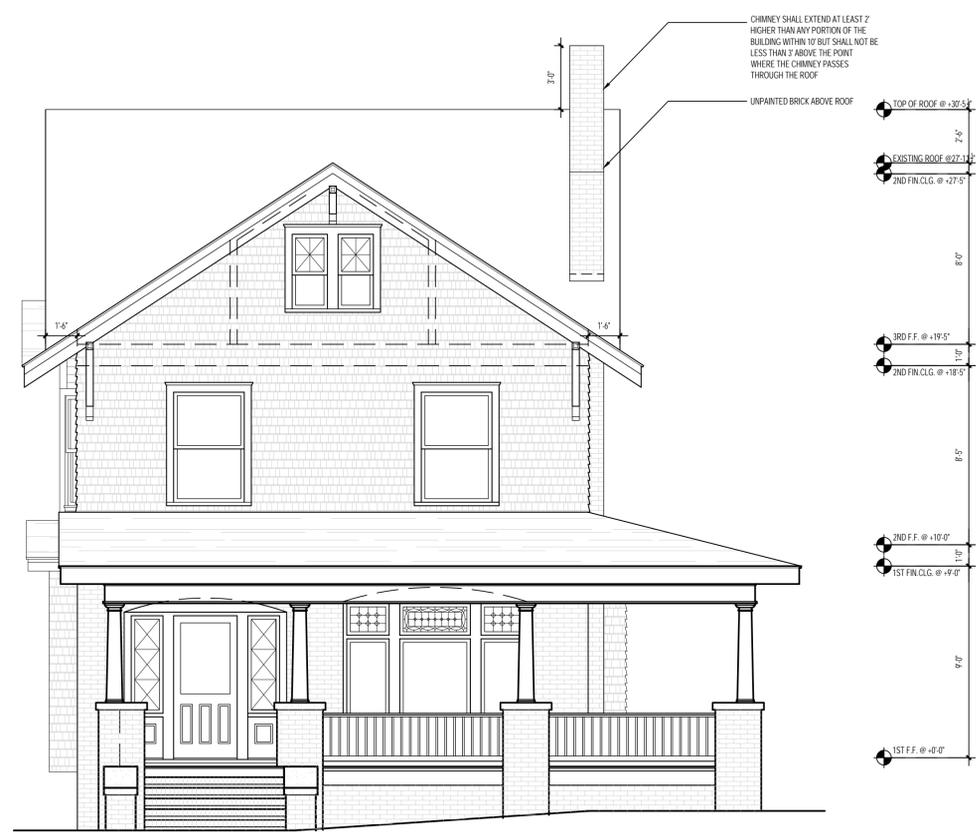
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2 PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



EXTERIOR STAIR SHALL BE COORDINATED WITH FINISH GRADE AND SHALL HAVE PROTECTION AGAINST DECAY



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
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A	2'-0" X 5'-0"	6'-10"	DOUBLE HUNG
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- NOTE:
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GENERAL NOTES:

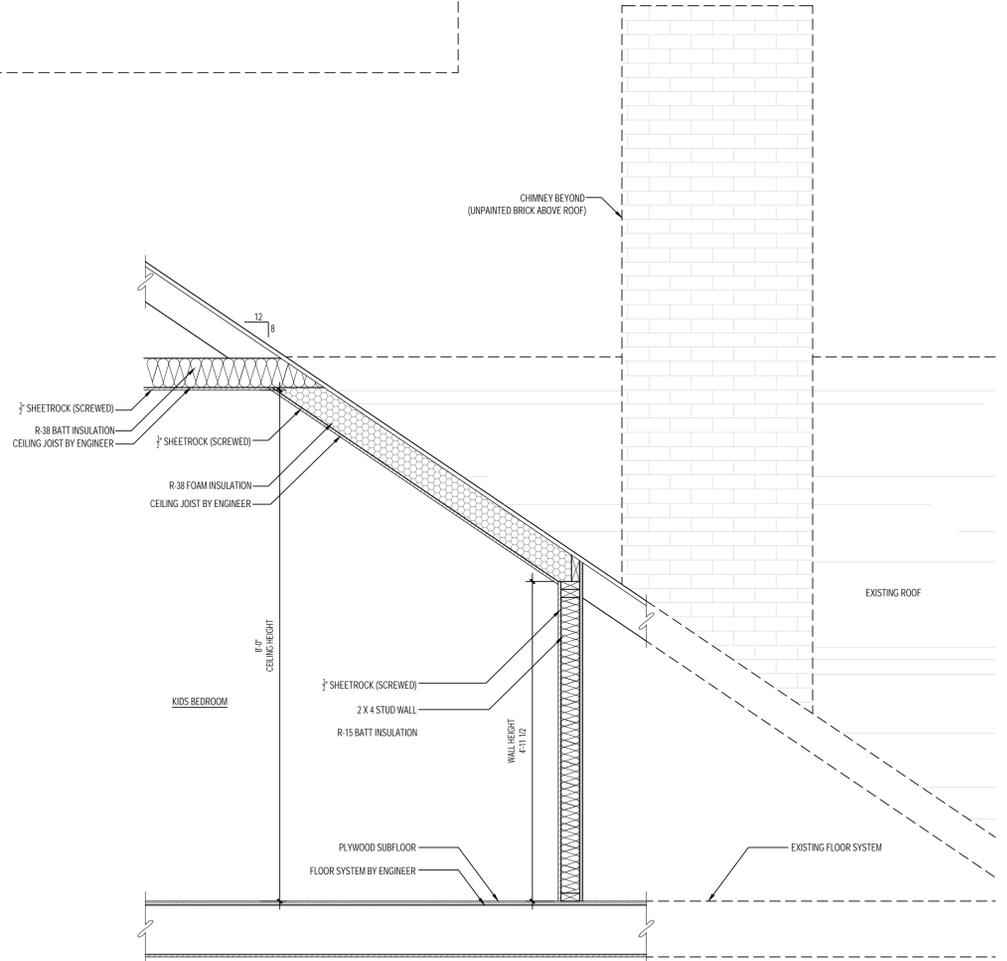
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2 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



3 WALL SECTION (@ KIDS BEDROOM)
3/4" = 1'-0"



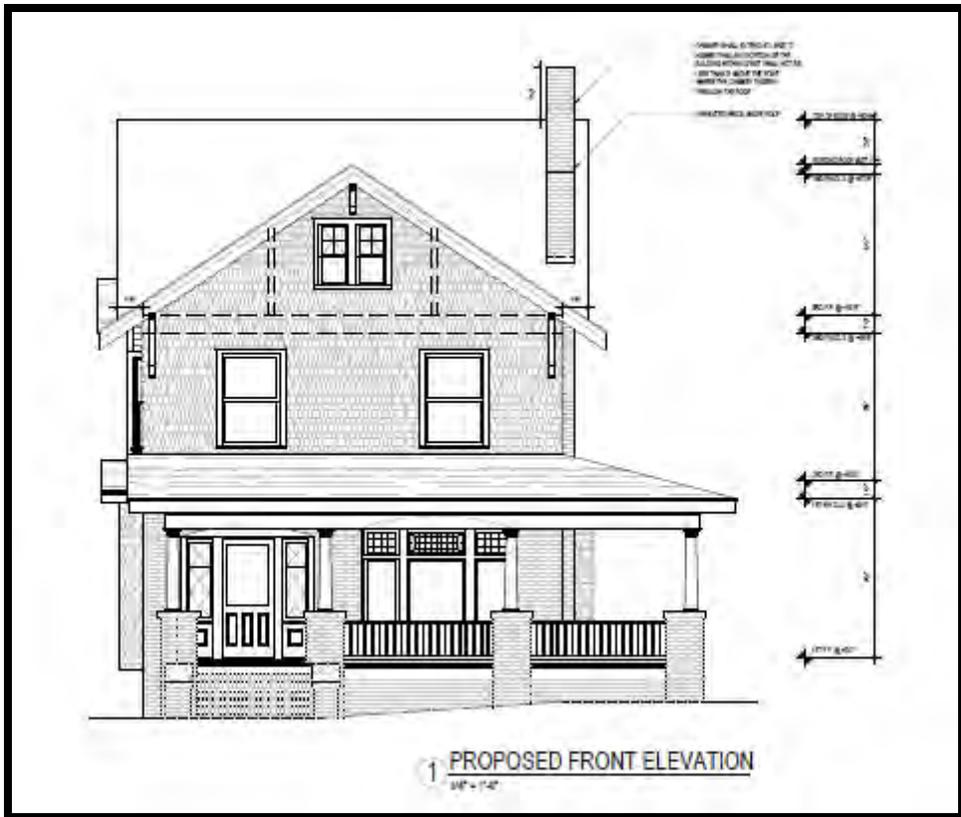
1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



2 EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
1/8" = 1'-0"





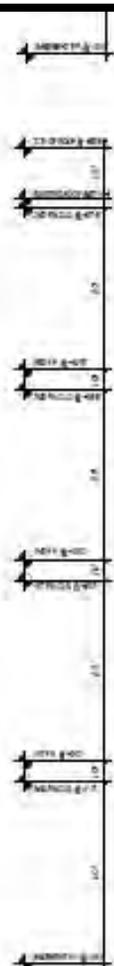
2 EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
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1 EXISTING REAR ELEVATION
1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



VIEW 1



VIEW 3



VIEW 2



Designed Exclusively For the:

VAP RESIDENCE

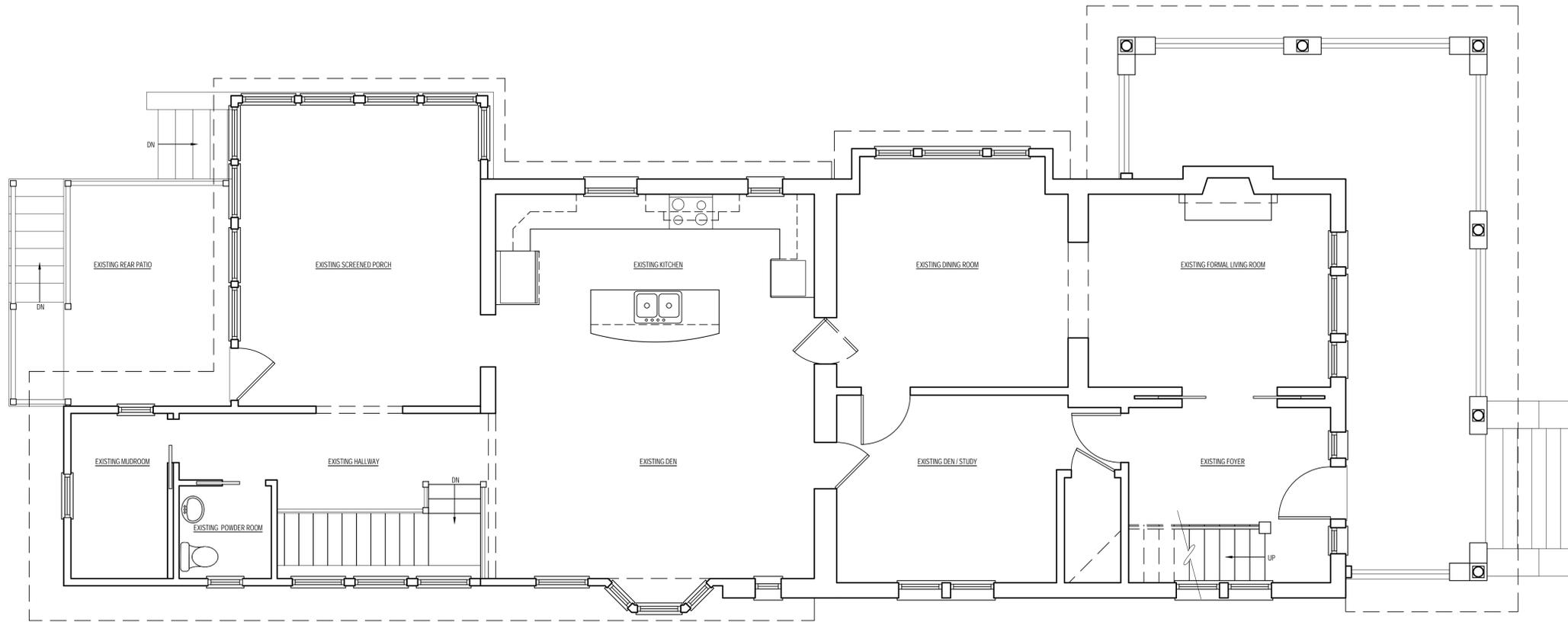
612 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 16062
ISSUED: 10 FEB 2017
REVISIONS:

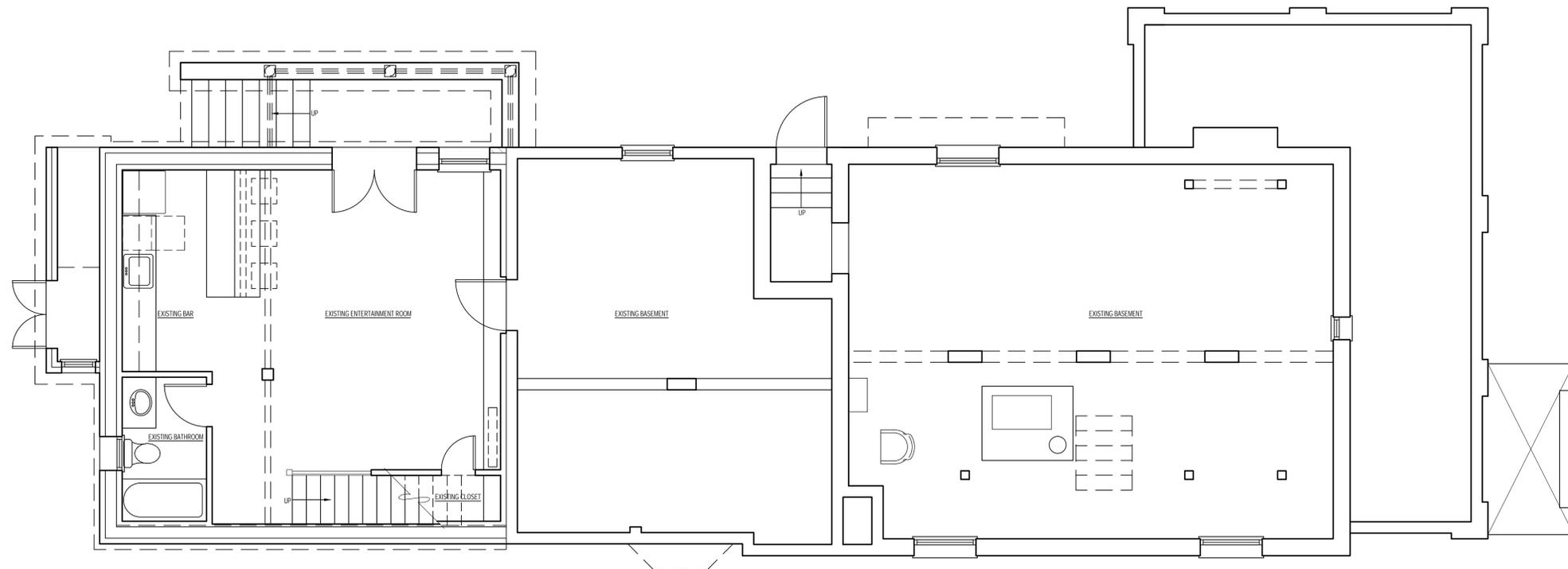
PHOTOS AND IMAGES

A-14

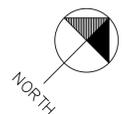
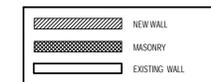
OF NINETEEN



② EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



① EXISTING BASEMENT PLAN
1/4" = 1'-0"



STAIRS, RAILING & GUARD NOTES:

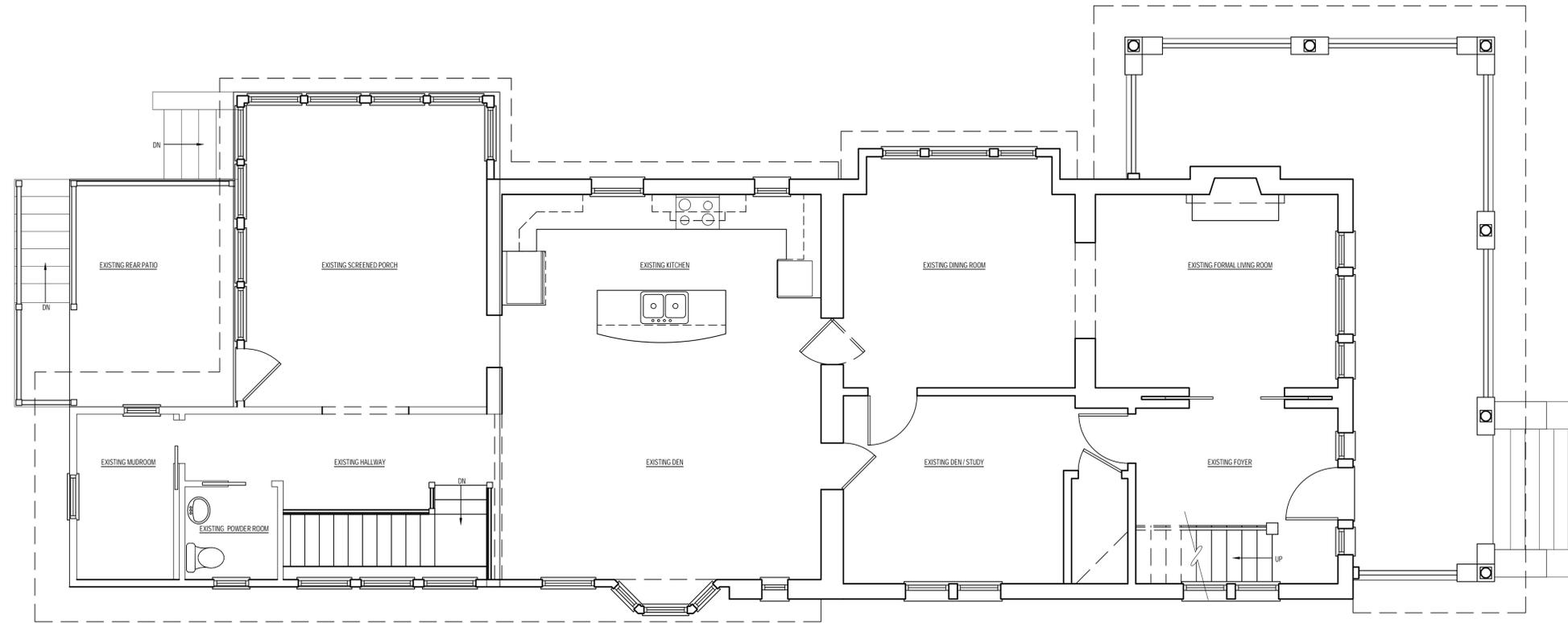
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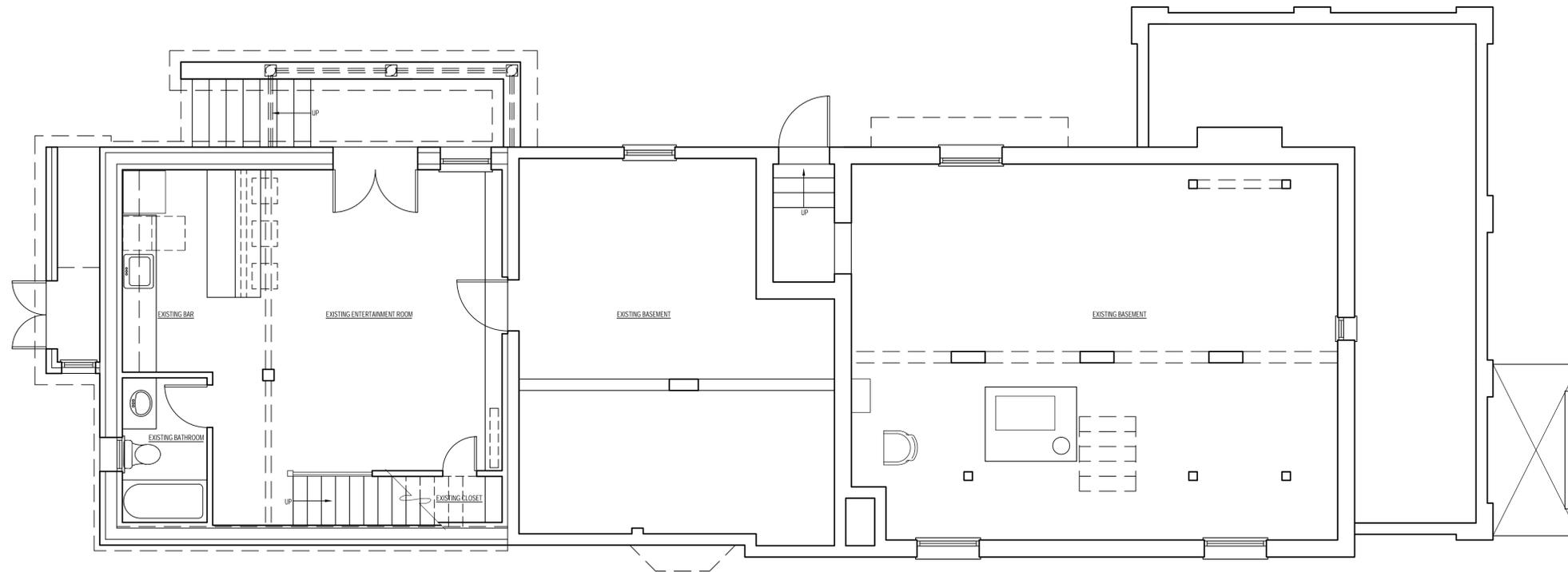
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- 9.

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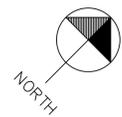
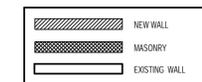
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② PROPOSED FIRST FLOOR PLAN (NO CHANGES)
1/4" = 1'-0"



① PROPOSED BASEMENT PLAN (NO CHANGES)
1/4" = 1'-0"

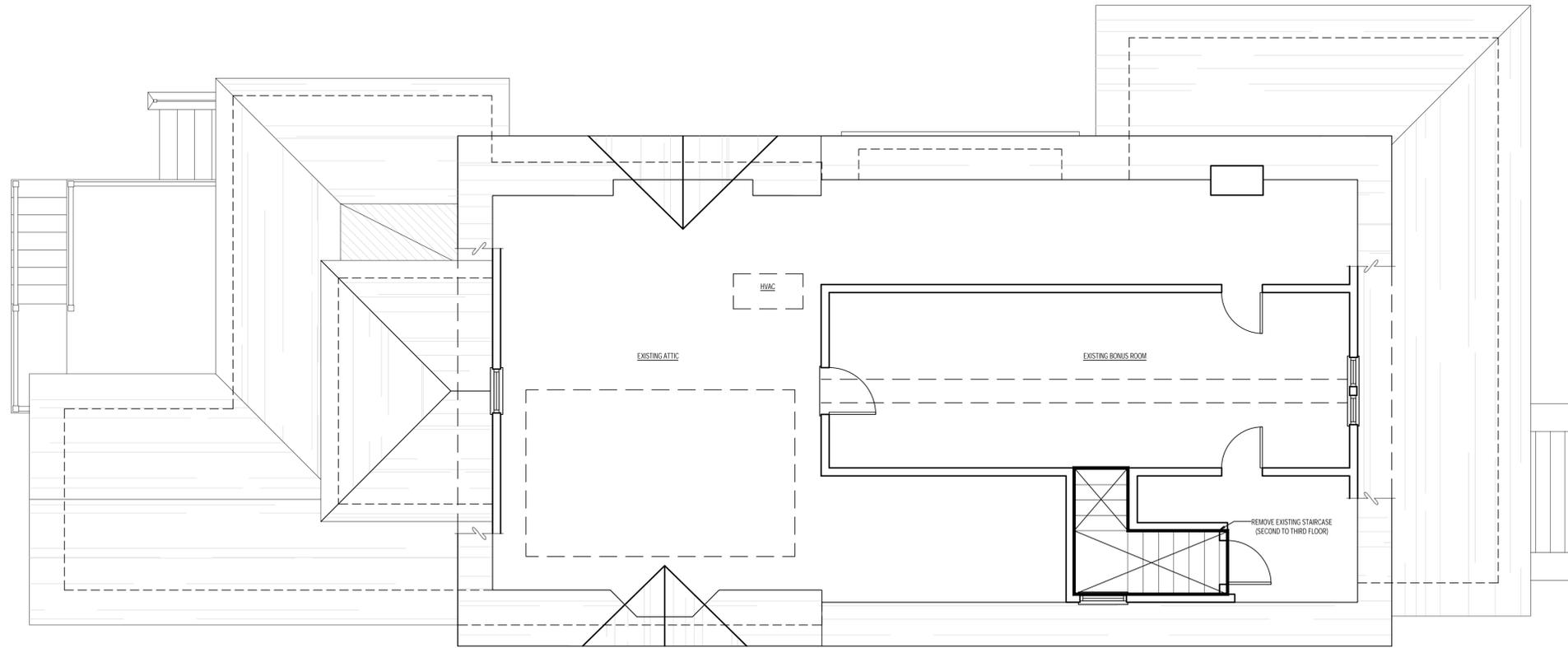


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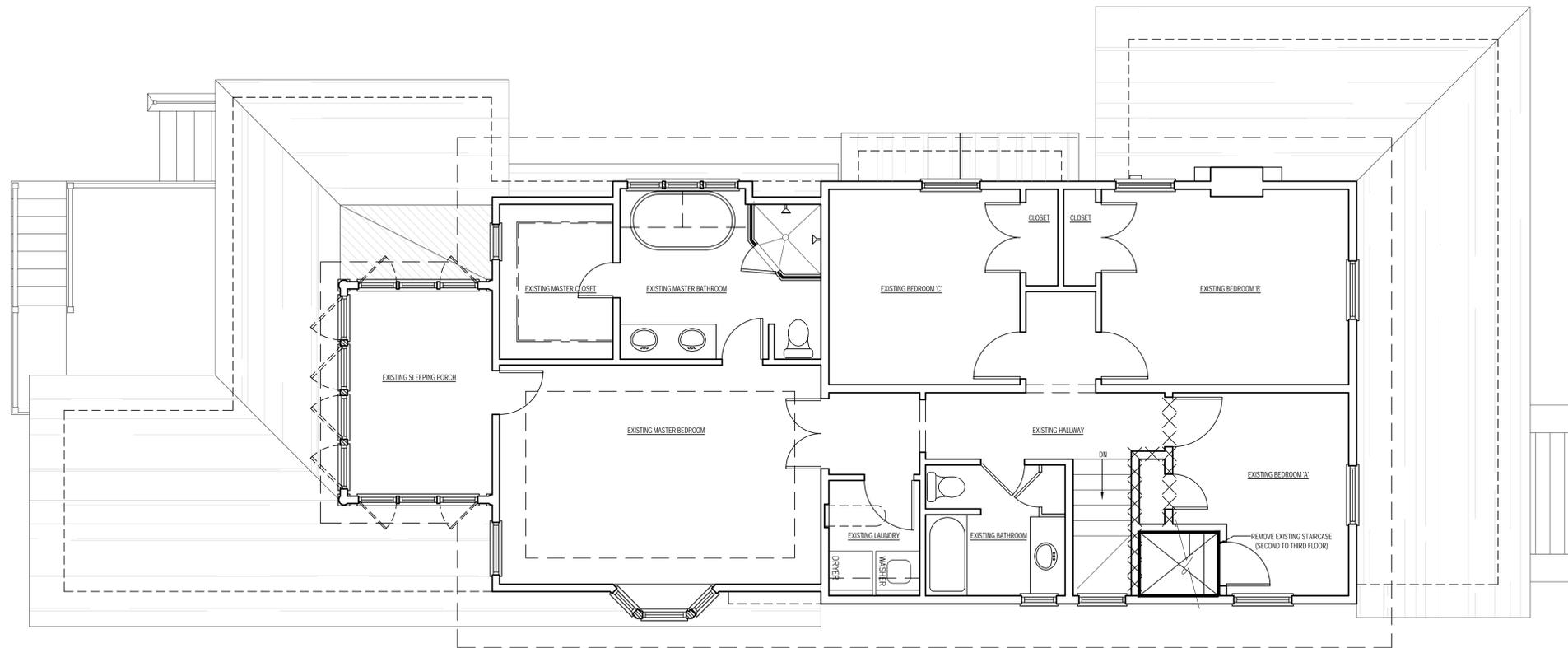
Designed Exclusively For the:
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PROJECT #: 16062
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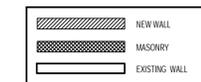
PROPOSED BASEMENT AND
FIRST FLOOR PLANS
A-9
OF NINETEEN



② EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



① EXISTING SECOND PLAN
1/4" = 1'-0"



STAIRS, RAILING & GUARD NOTES:

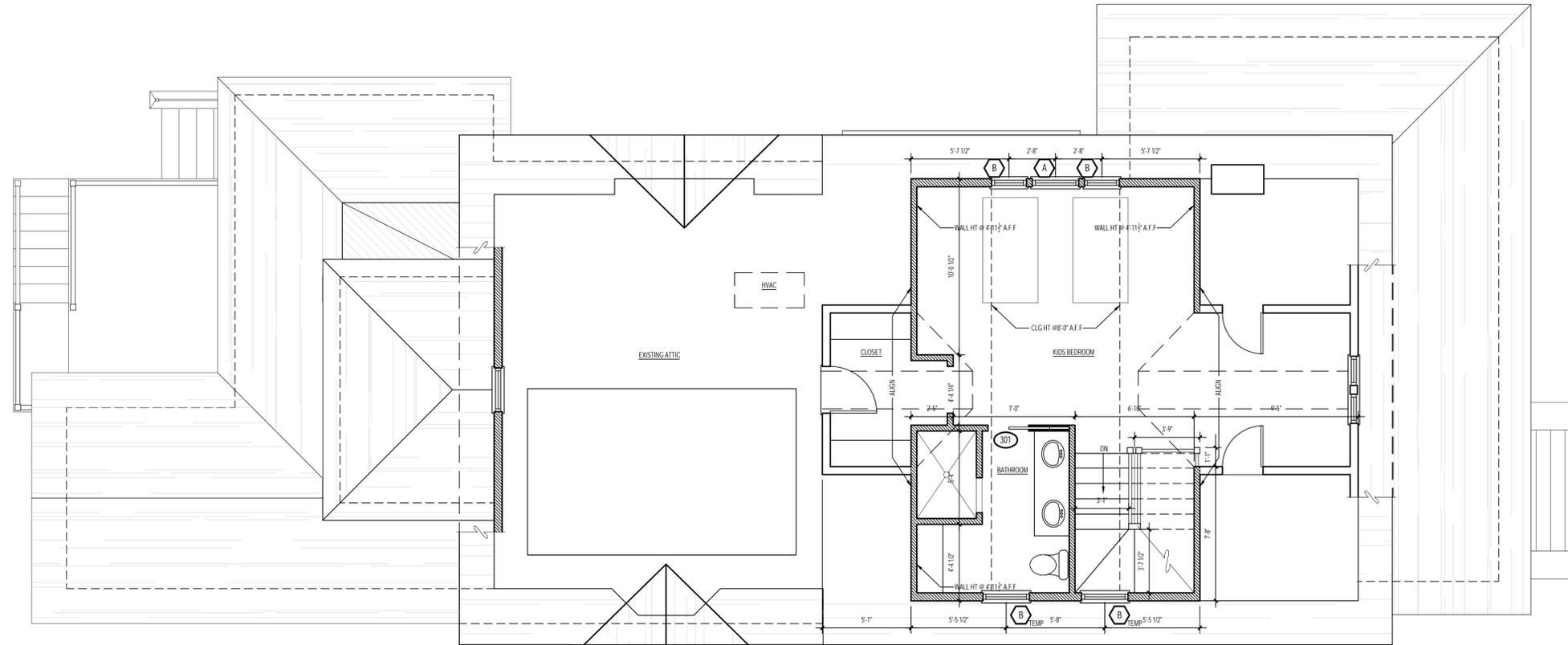
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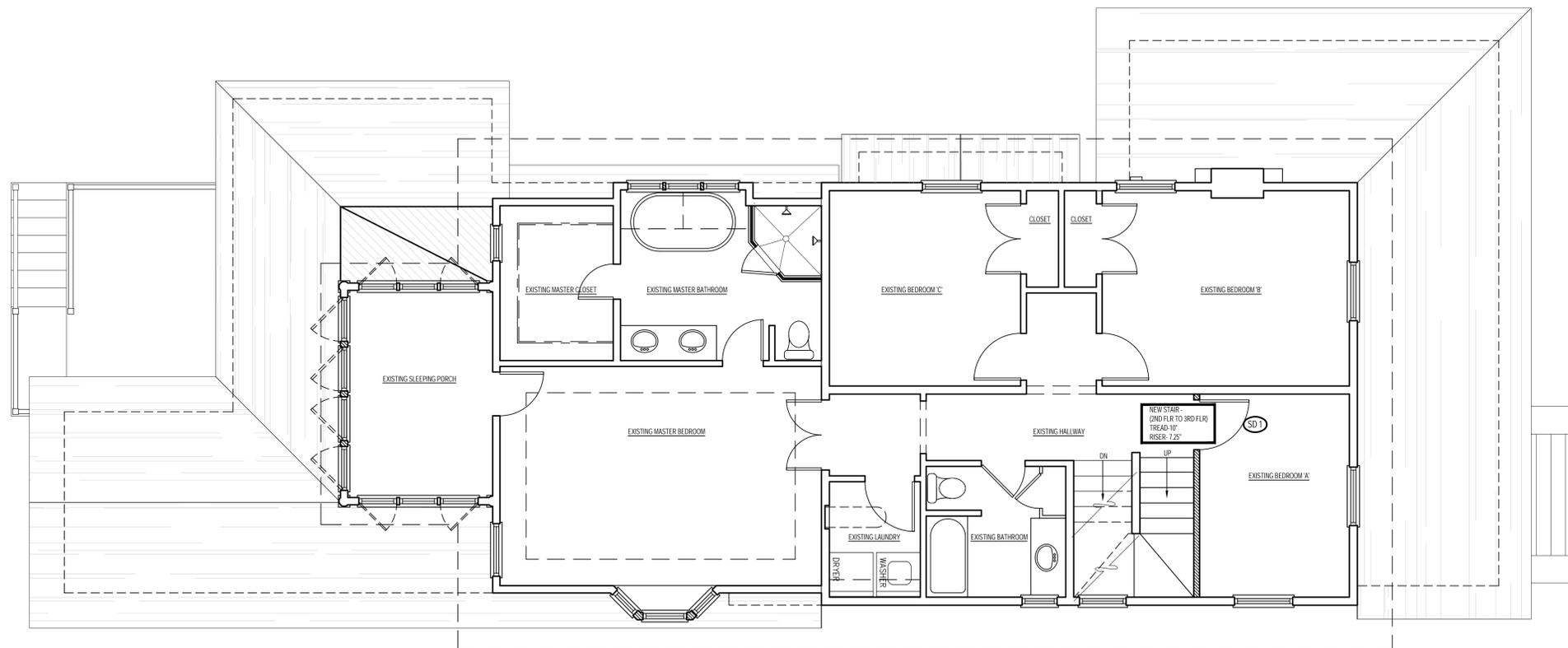
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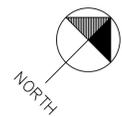
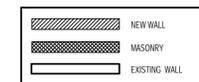
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2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
201	2'-8" x 5'-8" (SALVAGED DOOR - SD1)	EXISTING BEDROOM 'A'

THIRD FLOOR DOOR SCHEDULE		
NUM	OPENING	LOCATION
301	2'-4" x 6'-8"	BATHROOM

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	6'-10"	DOUBLE HUNG
B	2'-0" X 4'-0"	5'-10"	DOUBLE HUNG

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F. MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

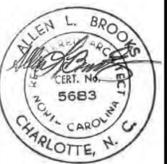
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ALB Architecture
1200 E. Morehead St.
Suite 240
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E-mail: brooks.alb@icloud.com
lauer.ab@icloud.com



10 FEB 2017
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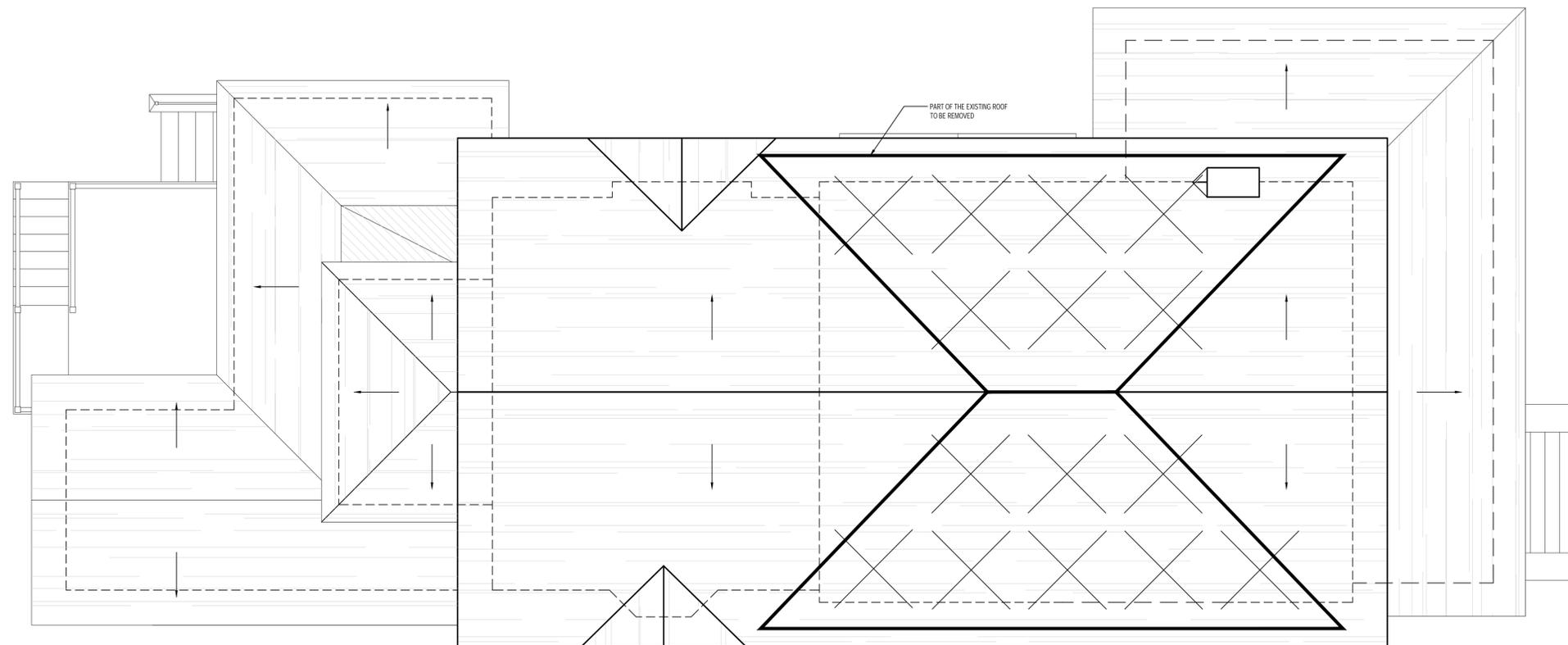
PROJECT #: 16062
ISSUED: 10 FEB 2017
REVISIONS:

PROPOSED SECOND AND THIRD FLOOR PLANS
A-10
OF NINETEEN



10 FEB 2017

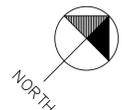
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1 EXISTING ROOF PLAN
1/4" = 1'-0"

	NEW WALL
	MASONRY
	EXISTING WALL

× × × × ×
AREAS TO BE REMOVED



STAIRS, RAILING & GUARD NOTES:

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4. USE DOUBLE FELT WITH SNOW & ICE GUARD FOR ALL ROOFS WITH PITCHES 4:12 & LESS.
5. PROVIDE RIGID MATERIAL OR AIR BARRIER ENCLCING CAVITY INSULATION BEHIND SHOWER & TUB AREAS AS PER N1102.2.12
6. PROVIDE REQUIRED CORROSION RESISTANT FLASHING ON ALL LOCATIONS PER R903.2.1
7. CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' BUT SHALL NOT BE LESS THAN 3' ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF
8. CHIMNEY ABOVE THE ROOF TO BE UNPAINTED.

NOTE:

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2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.

Designed Exclusively For the:

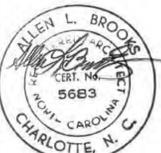
VAP RESIDENCE

612 East Worthington Avenue, Charlotte, NC 28203

PROJECT #: 16062
ISSUED: 10 FEB 2017
REVISIONS:

EXISTING ROOF PLAN

A-6
OF NINETEEN



10 FEB 2017

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WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-8" X 5'-0"	6'-10"	DOUBLE HUNG
B	2'-0" X 4'-0"	5'-10"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" A.F.F. MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 72" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

STAIRS, RAILING & GUARD NOTES:

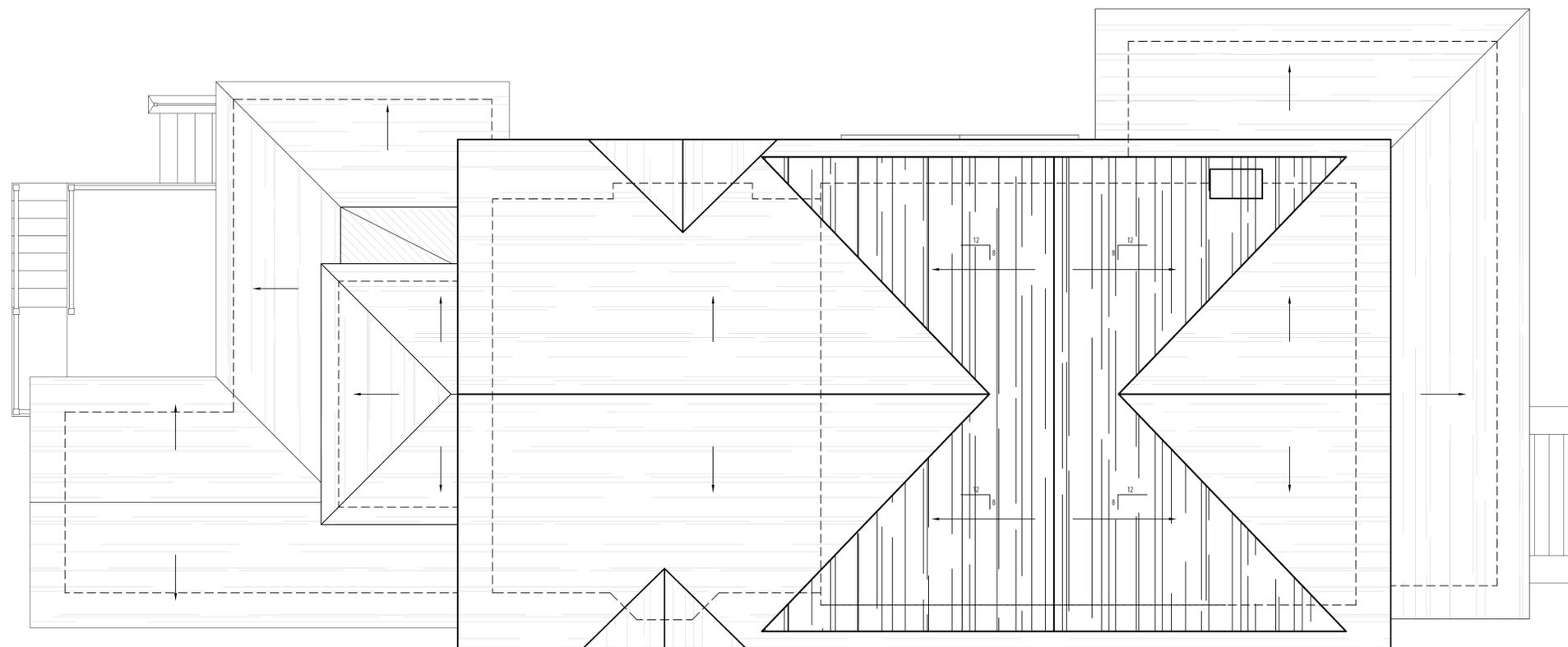
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 1/8 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.

GENERAL NOTES:

1. 8'-0" THIRD FLOOR CEILING HEIGHT.
2. RAIL @ 36" A.F.F. IF GRADE EXCEEDS 29" IN HEIGHT WITHIN 3'-0" OF PORCHES.
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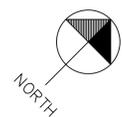
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1 PROPOSED ROOF PLAN
1/4" = 1'-0"

	NEW WALL
	MASONRY
	EXISTING WALL



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