
LOCAL HISTORIC DISTRICT: Fourth Ward

PROPERTY ADDRESS: 609 North Pine Street

SUMMARY OF REQUEST: Non-traditional material

APPLICANT: Susan Harris

Details of Proposed Request

Existing Conditions

A Certificate of Appropriateness application was approved by the HDC September 9, 2015 for a new single family house. Approved material is wood lap siding.

Proposal

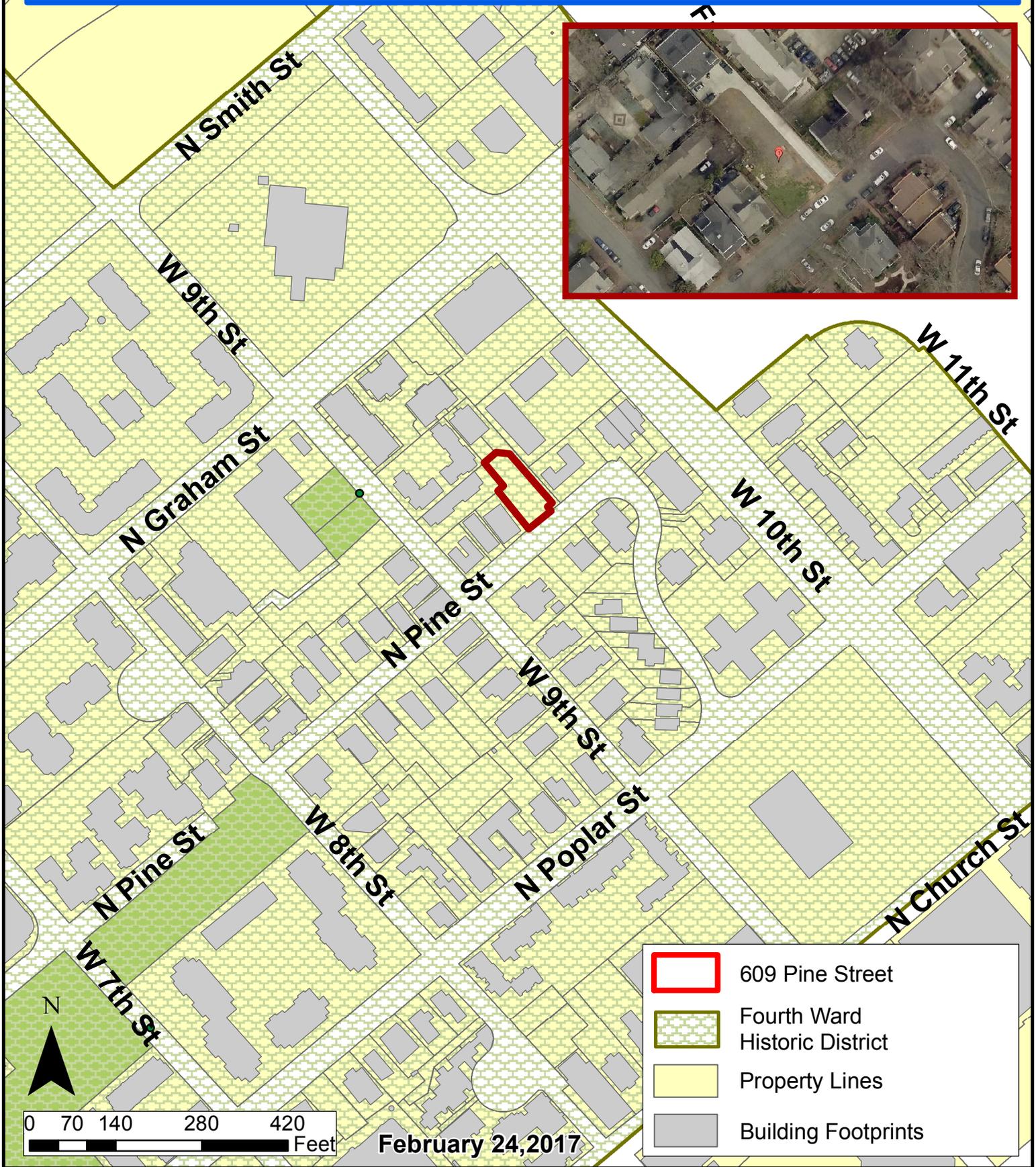
The applicant is applying for cementitious lap siding (Hardie 'Artisan') with 4" reveal and 6" corner boards.

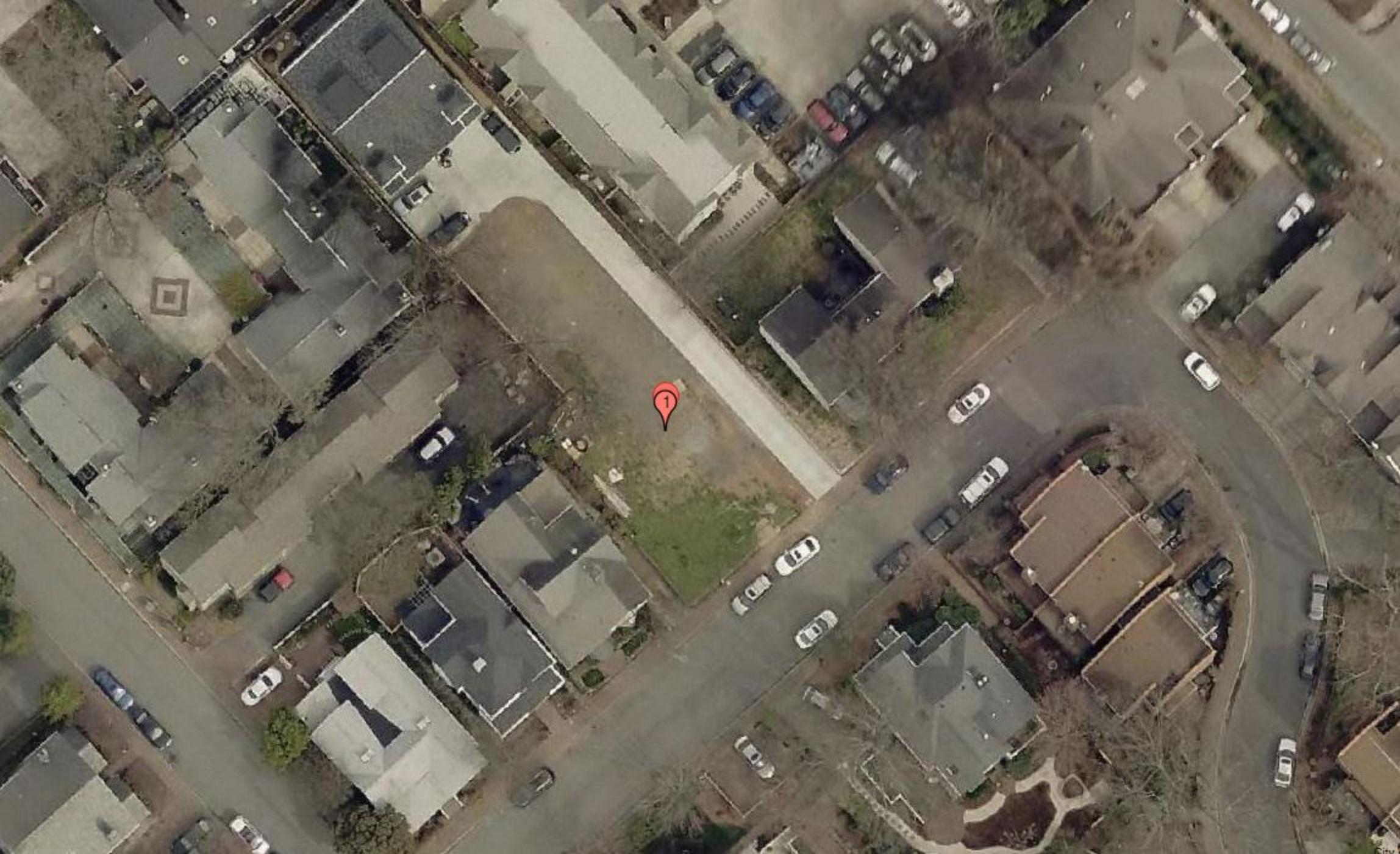
Policy & Design Guidelines for Materials, page 34

1. The Historic District Commission considers substitute siding to be inappropriate for use in a designated Local Historic District, and does not allow its use on an historic structure within a Local Historic District.
2. The use of the following substitute siding materials is considered incongruous with the overall character of local historic districts, and is prohibited.
 - Vinyl
 - Aluminum or other metal sidings
 - Masonite
3. Cementitious board products are rarely considered appropriate for the main structure on a property. The Historic District Commission will consider these products on a case by case basis.
4. All proposals for the use of other non-traditional building materials for projects in Local Historic Districts will be judged on a case-by-case basis by the full Historic District Commission. The Commission will determine how well the proposed material and its proposed use are contextually appropriate in design, texture and other visual qualities.
5. The use of substitute or replacement building materials will not be considered as an alternative to routine maintenance.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for substitute materials.

Charlotte Historic District Commission Case 2017-070
HISTORIC DISTRICT: Fourth Ward
SUBSTITUTE MATERIAL







CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS – Amended

CERTIFICATE NUMBER: 2015-144

DATE: February 2, 2016

ADDRESS OF PROPERTY: 609 North Pine Street

TAX PARCEL NUMBER: 07807312

HISTORIC DISTRICT: Fourth Ward

OWNER(S): Willie and Natalie Alston

DETAILS OF APPROVED PROJECT: The proposal is a new three story single family house. The front setback is 14' from the back of curb. The existing retaining wall will be replaced with a concrete wall or other HDC approved material. Mechanical units are located in the side yard (either left or right) and screened on the side and front per the HDC guidelines with shrubs, fencing, building wall or any combination thereof. The location of the units is toward the rear as indicated on the site plan. Exterior details include wood siding and trim, brick foundation and aluminum clad windows. Porch ceiling is bead board, window trim and other material dimensions are noted on the plans. Total height is approximately 35'-5.5" measured from grade. The project was approved by the HDC September 9, 2015.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2015-144



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Residential Design/Build Specialists

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342 Circle Avenue
Charlotte, North Carolina

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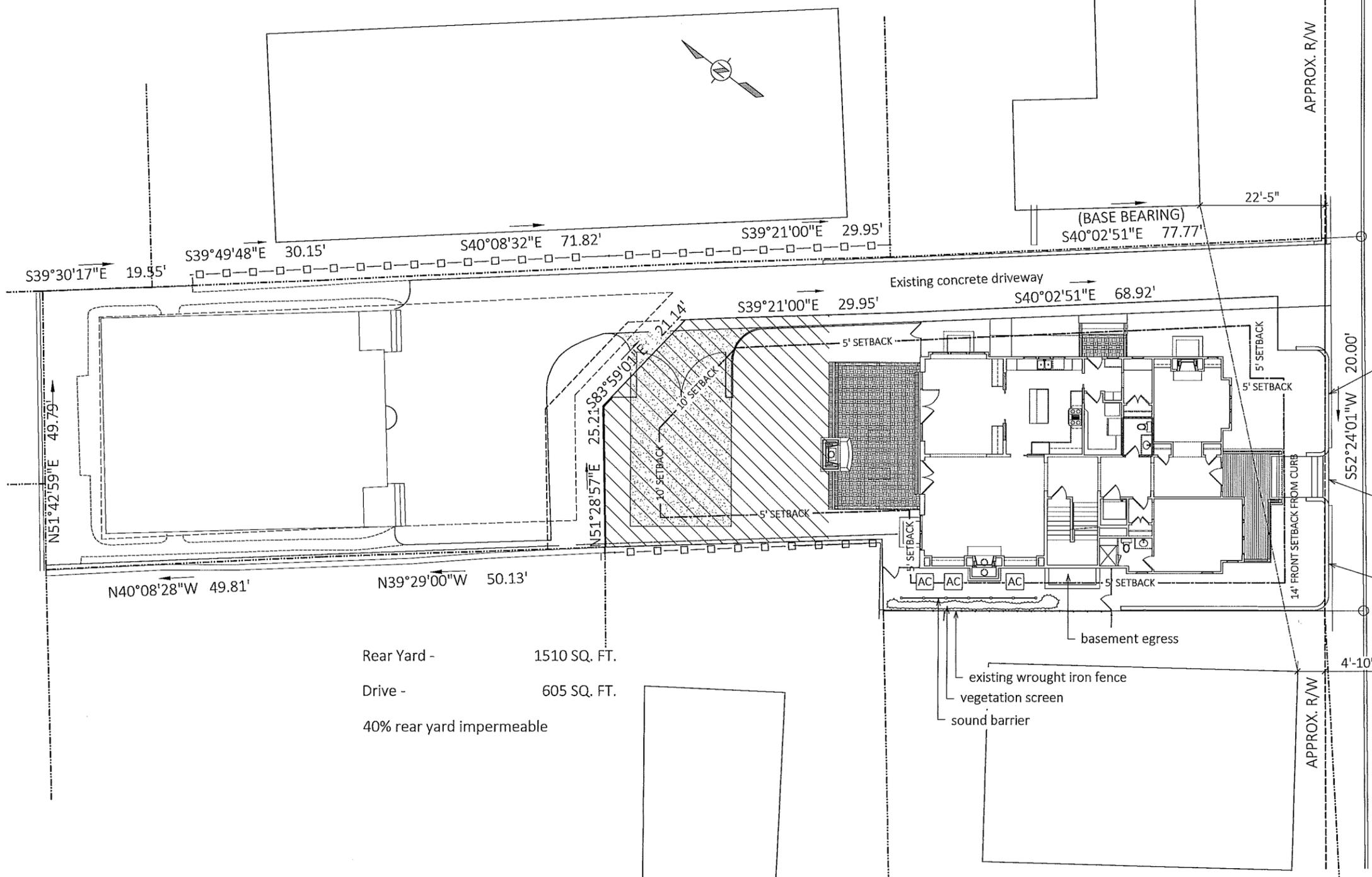
Historic Fourth Ward Infill Project:

Alston Residence

609 North Pine St.
Charlotte, NC 28202

02.02.2016

A4



APPROX. R/W

N. PINE STREET
(40' PUBLIC R/W)

new retaining wall

new stairs

new retaining wall

Rear Yard - 1510 SQ. FT.
Drive - 605 SQ. FT.
40% rear yard impermeable

existing wrought iron fence
vegetation screen
sound barrier

Site Plan

Scale: 1" = 20'-0"

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 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # 2015-144

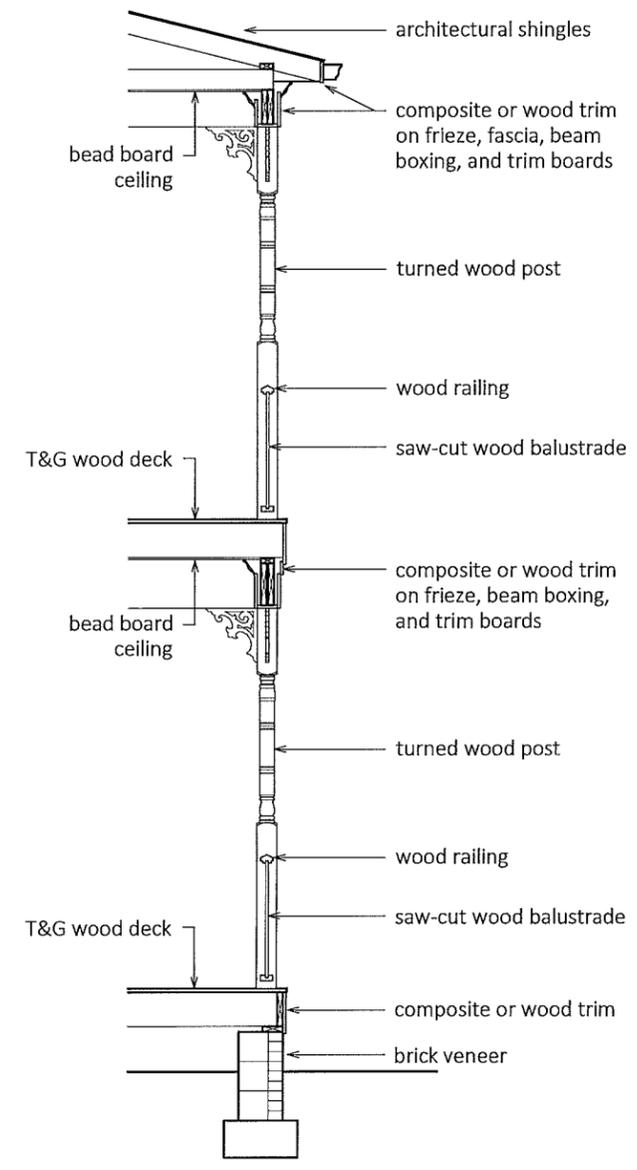


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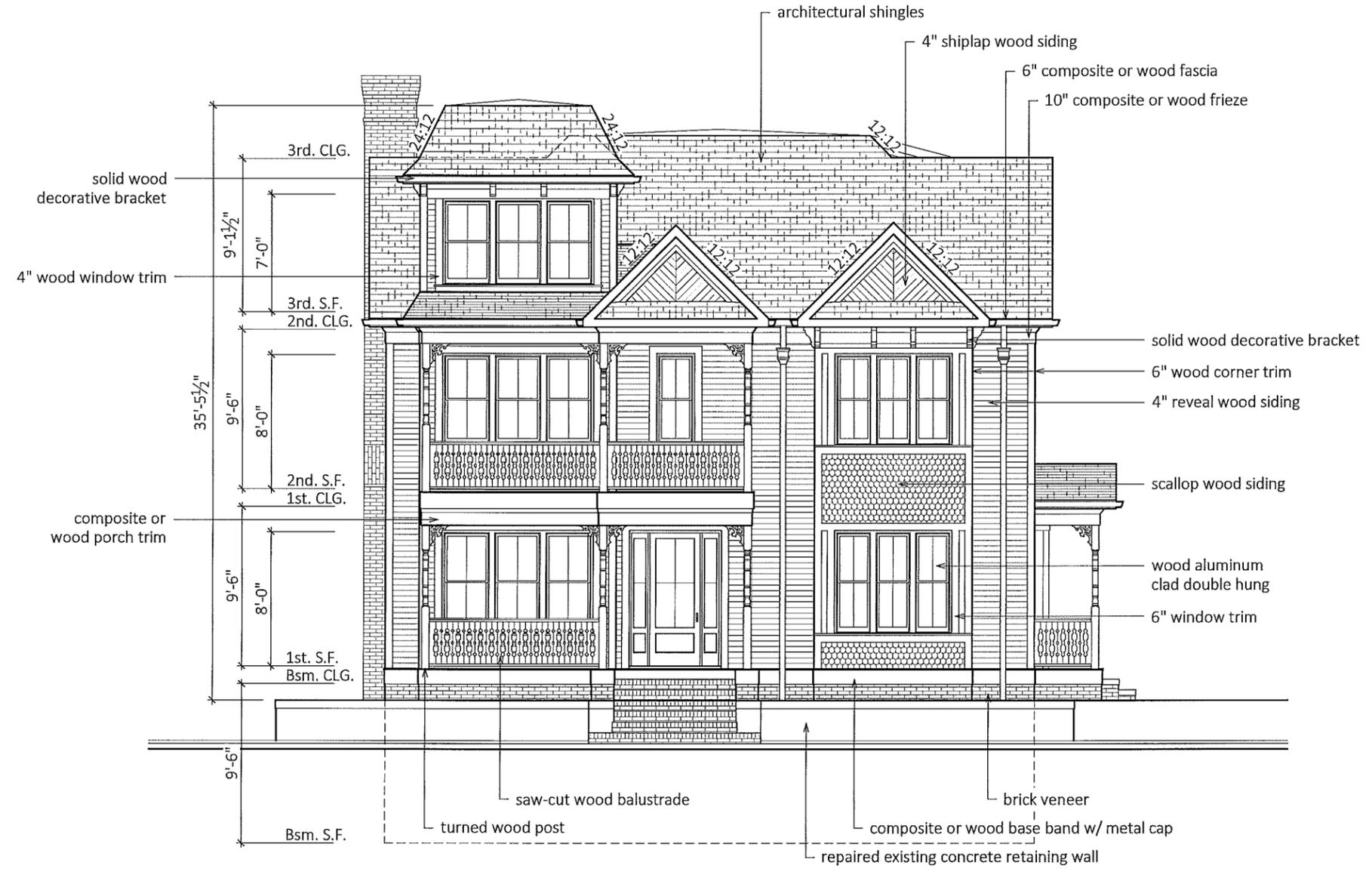
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A5



Front Porch Detail

Scale: 1/4" = 1'-0"



Front Elevation

Note: If used all composite trim will be field painted.

Scale: 1/8" = 1'-0"



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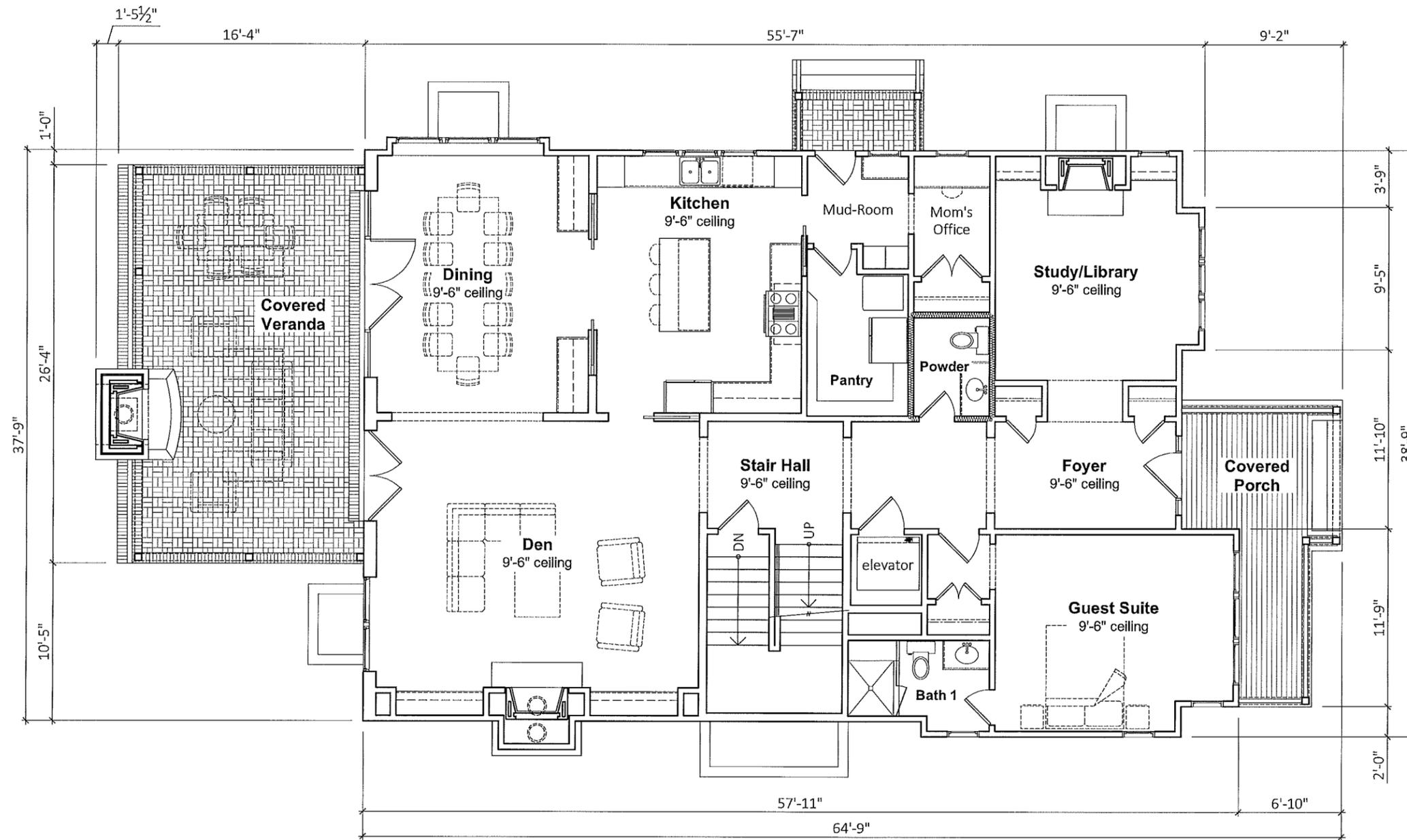
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1st. Floor Plan

Scale: 1/8" = 1'-0"

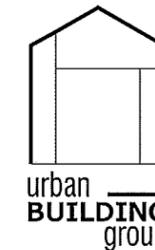


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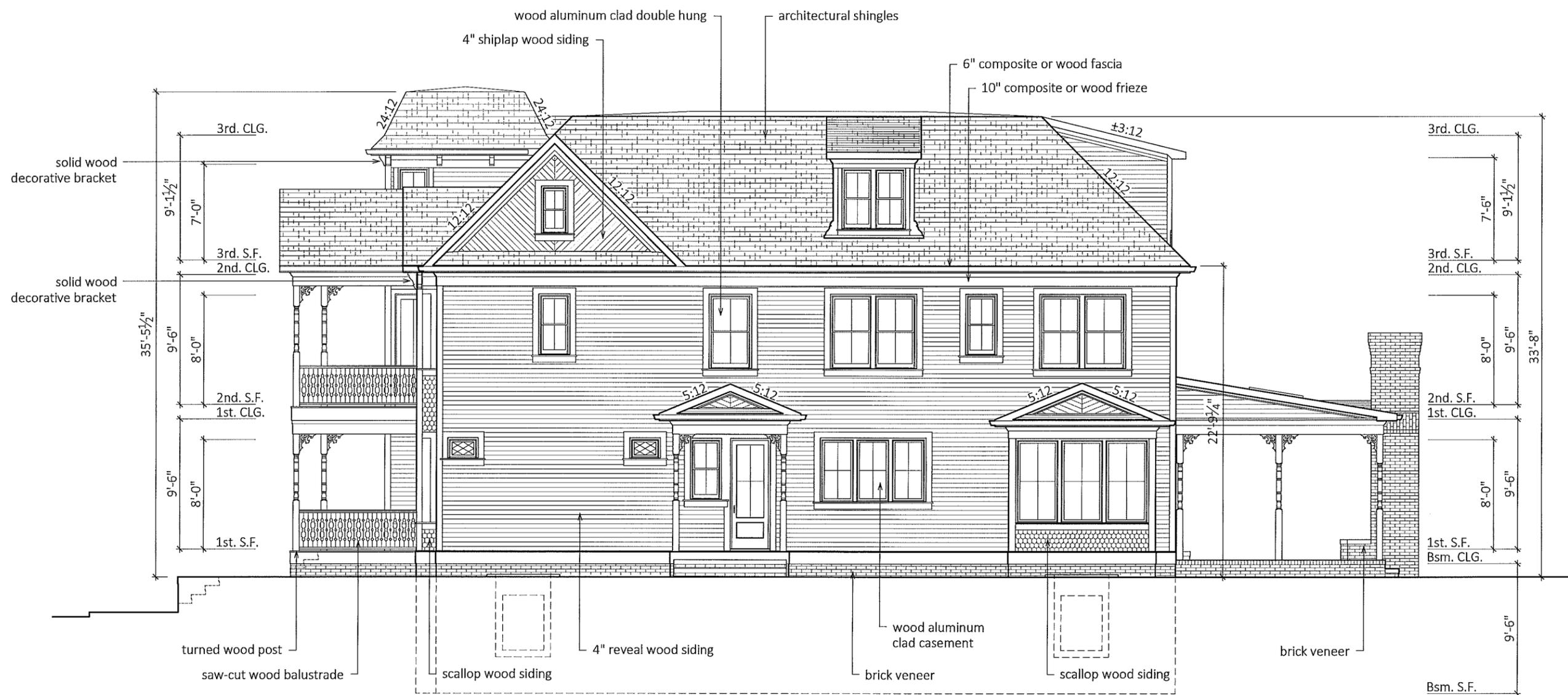
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Right Side Elevation

Scale: 1/8" = 1'-0"

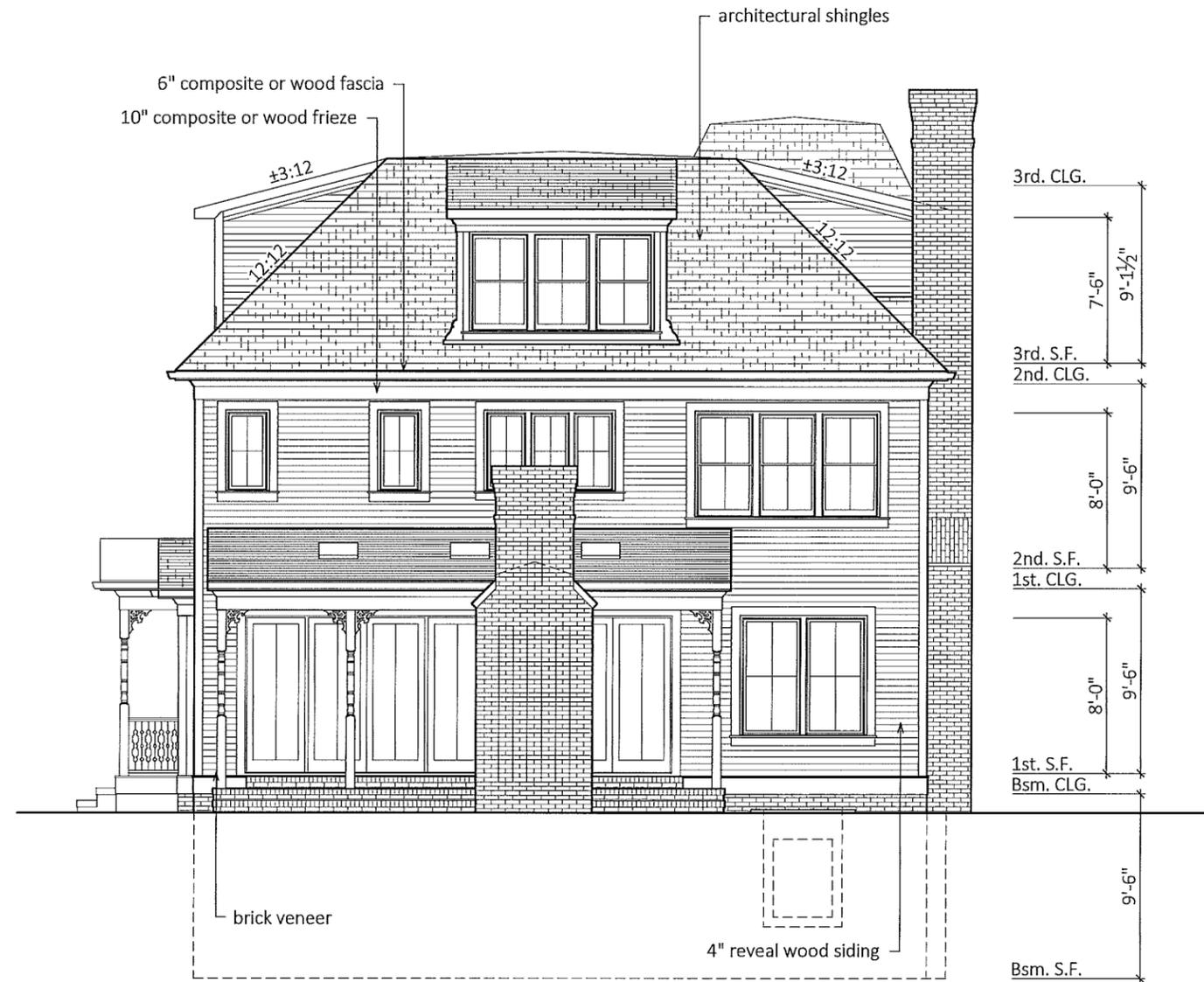


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Rear Elevation

Scale: 1/8" = 1'-0"



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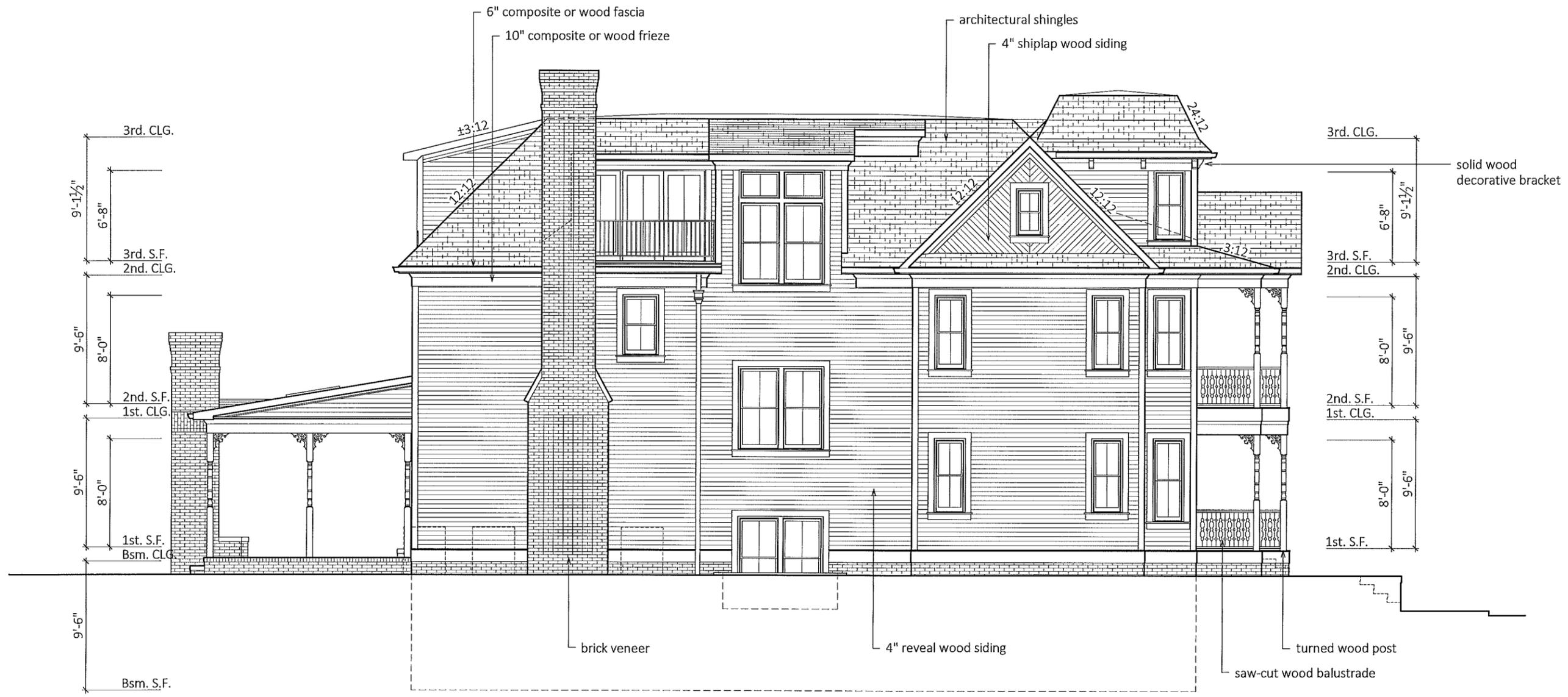
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Left Side Elevation

Scale: 1/8" = 1'-0"

DESIGN THAT
ENDURES

artisan[™]
JamesHardie

Artisan[®] Lap Siding
Artisan[®] Accent Trim



VISUALLY INSPIRING

Artisan Lap Siding

Artisan lap siding is a premium exterior product that combines elegant aesthetics with the unrivaled durability of James Hardie® siding. This unique product line opens the door to unlimited possibilities giving architects, builders and homeowners alike the opportunity to express themselves through the highest standards in design.

Details

- Distinctively deep shadow lines
- Ability to miter corners
- Tongue and groove joints provide low profile seams



PRODUCT SPECIFICATIONS

Finish

- Ready to Paint
- When painting product, use 100% acrylic paint

Size/Weight/Texture

Length: 12'

Thickness: 5/8"

Width: 5-1/4" (4" exposure)
7-1/4" (6" exposure)
8-1/4" (7" exposure)

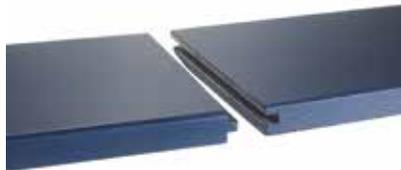
Weight: 4.55 lbs./sq. ft.

Texture: Smooth and Woodgrain

Nail line is 1" from the top edge of the board

Warranty

Artisan lap siding is protected by a 30-year limited non-prorated warranty. This product replacement warranty is the best in the industry.



Artisan lap siding is manufactured with a unique tongue and groove joint design for precise fit and finish

LONG-LASTING BEAUTY

Artisan lap siding is at the forefront of innovation and is backed by over 15 years of research and development. Boasting absolute precision in its symmetry and engineered for your local climate, Artisan resists flame spread, hurricane-force winds, pests, as well as damage from moisture and rot, snow, ice and hail.

THE FINISHING TOUCH

Artisan Accent Trim

Introducing new Artisan accent trim, our most innovative trim technology ever. Artisan accent trim is designed to deliver superior performance and durability just like other James Hardie products offer.

Details

- Easily installed with 2.5" finishing nails
- Thicker trim to complement your Artisan lap siding
- Complete cladding solution

PRODUCT SPECIFICATIONS

Finish

- Ready to paint
- When painting product, use 100% acrylic paint

Warranty

Artisan accent trim is protected by a 15-year transferable, limited warranty.

Size/Weight/Texture

Length: 12'
Thickness: 1½"
Width: 4" (3.5" actual)
6" (5.5" actual)
Weight: 8 lbs./sq. ft.
Texture: Smooth





artisan[™]
JamesHardie

ArtisanLuxury.com

888.800.7864

Additional installation information, warranties and warnings are available at ArtisanLuxury.com.

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IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE LIMITED PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE™ INSTRUCTIONS. TO DETERMINE WHICH HARDIEZONE™ APPLIES TO YOUR LOCATION, VISIT WWW.HARDIEZONE.COM OR CALL 1-866-942-7343 (866 9HARDIE)

STORAGE & HANDLING

Store flat and keep dry and covered prior to installation (*fig. 1*). Installing siding wet or saturated may result in shrinkage at joints. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product. When working with Artisan® siding and trim products, carry the product on edge. If only one person is carrying the product, hold it in the middle and spread arms apart to better support the product (*fig. 2*). If two people are carrying the product, hold it near each end and on edge (*fig. 3*). Do not lift or carry Artisan products flat (*fig. 4*).



FIGURE 1



FIGURE 2



FIGURE 3



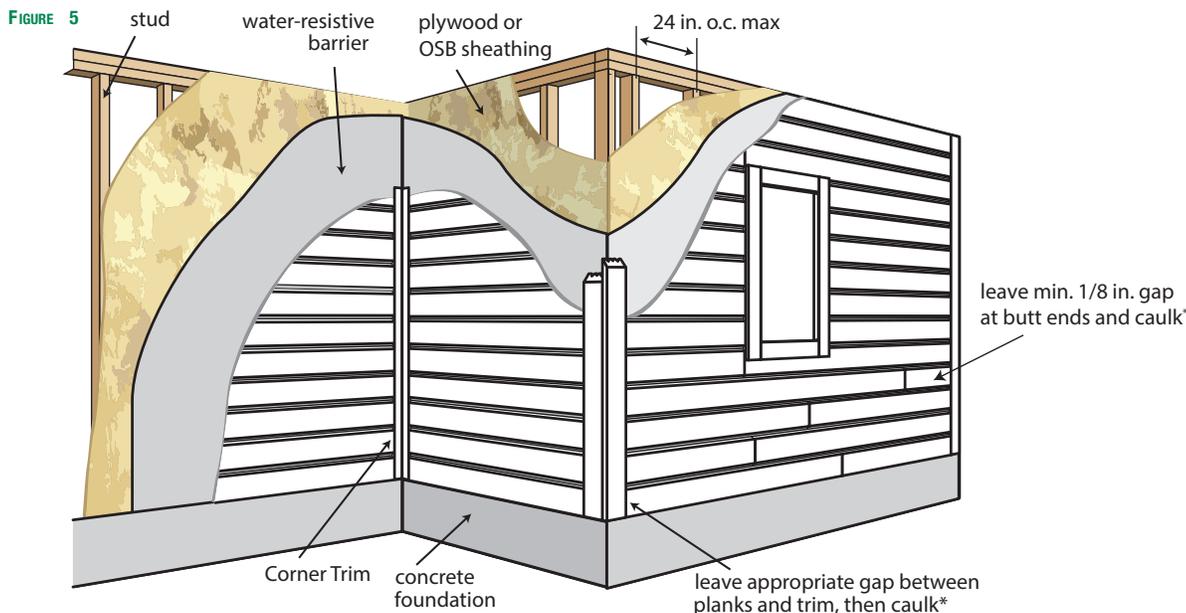
FIGURE 4

CUTTING INSTRUCTIONS - OUTDOOR

1. Position cutting station so that wind will blow dust away from user and others in working area.
 2. Use one of the following methods:
 - a. Better:
 - i. Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
 - ii. Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)
 - b. Good:
- **NEVER** use a power saw indoors to cut Artisan siding and trim products
 - **NEVER** use a circular saw blade that does not carry the HardieBlade saw blade trademark
 - **NEVER** dry sweep – Use wet suppression or HEPA Vacuum

NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at www.artisanluxury.com to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information.

INSTALLATION



* Apply caulk in accordance with caulk manufacturers written application instructions

Warning: Avoid Breathing Silica Dust

James Hardie® products contain respirable crystalline silica, which is known to the State of California to cause cancer and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a Hardieblade™ saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at www.jameshardie.com or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH. SD050905

GENERAL REQUIREMENTS

- These instructions to be used for single family installations only**For Commercial / Multi-Family installation requirements go to www.JamesHardieCommercial.com
- Artisan V Rustic siding can be installed over braced wood or steel studs spaced a maximum of 24 in. o.c. or directly to minimum 7/16 in. thick OSB sheathing. See General Fastening Requirements. Irregularities in framing and sheathing can mirror through the finished application.
- Information on installing James Hardie products over foam can be located in JH Tech Bulletin 19 at www.jameshardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap¹, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 6-17 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6 in. in the first 10 ft.
- Do not use Artisan V Rustic siding in Fascia or Trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- Artisan V Rustic siding may be installed on flat vertical wall applications only.
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin #8 "Expansion Characteristics of James Hardie® Siding Products" at www.JamesHardie.com.

CLEARANCE AND FLASHING REQUIREMENTS

Figure 6
Roof to Wall

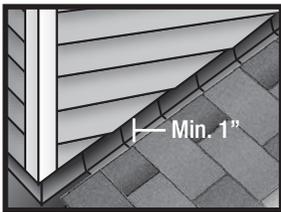


Figure 7
Horizontal Flashing

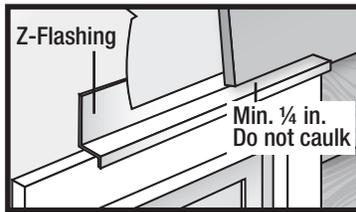


Figure 8
Kickout Flashing

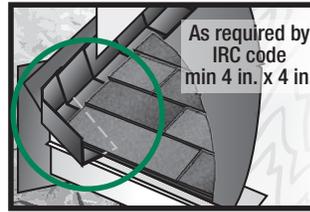


Figure 9
Slabs, Path, Steps to Siding

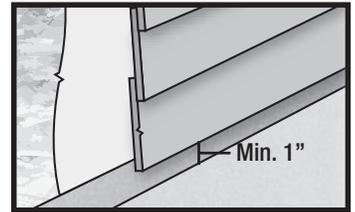


Figure 10
Deck to Wall

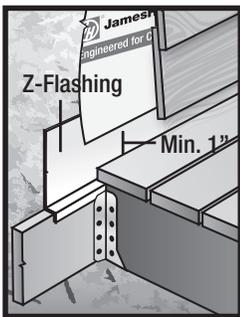


Figure 11
Ground to Siding

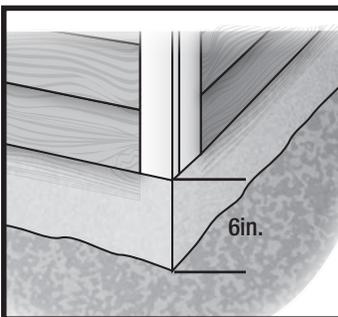


Figure 12
Gutter to Siding

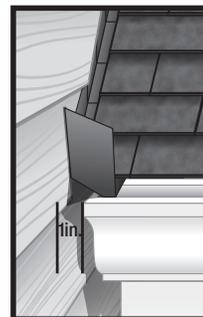


Figure 13
Sheltered Areas

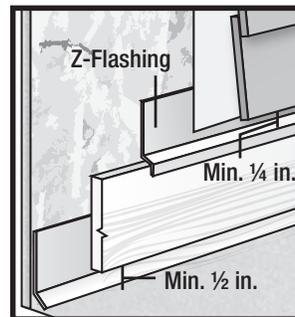


Figure 14
Mortar/Masonry

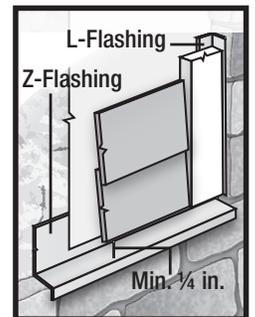


Figure 15
Drip Edge

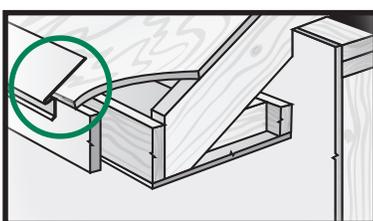


Figure 16
Block Penetration

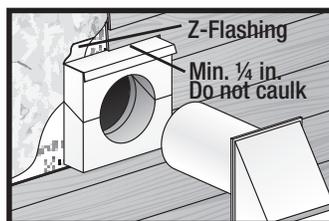
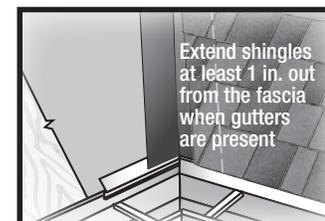


Figure 17
Valley/Shingle Extension



JOINT PLACEMENT & TREATMENT

JOINT PLACEMENT

Artisan lap butt joints are not required to land on stud, it is recommended that butt joints be placed 4 in. off stud (fig. 18). Do not nail within 2 in. of the end of planks.

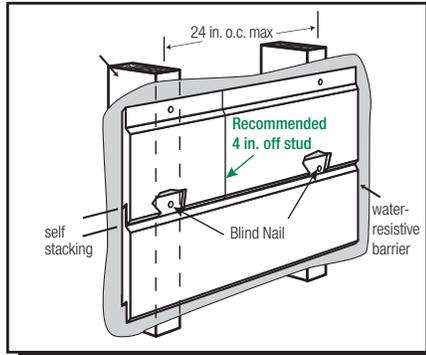


FIGURE 18

JOINT TREATMENT

Artisan V Rustic siding butt joints can be treated with either caulk (fig. 19) or by removing minimum 3 in. of locking lip from both ends of siding then place a joint flashing.

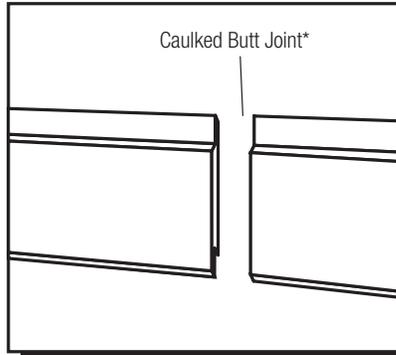


FIGURE 19

INSTALLATION/FASTENER REQUIREMENTS

- A. Follow all clearance requirements.
- B. A starter strip is not needed for V Rustic siding.
- C. Level and install starter course.
Tip: Use a small scrap piece of V-rustic to use as a block to seat the siding into the course below.
- D. V Rustic can now be installed by stacking the siding onto the course below.
This can be completed by one person without the need of a lap gauge.
- E. Measure occasionally to ensure siding is level and has proper reveal.
- F. In areas such as gables, under windows, or other areas where stacking may be difficult use one of the following methods
 1. Cut the material in sections, install first section into place. Take remaining section and slide into place, then fasten both sections.
 2. Using a utility knife, cut the bottom lip from the siding and install in the traditional method.

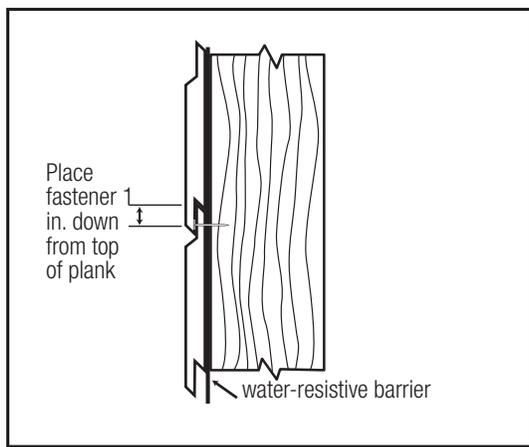


FIGURE 20

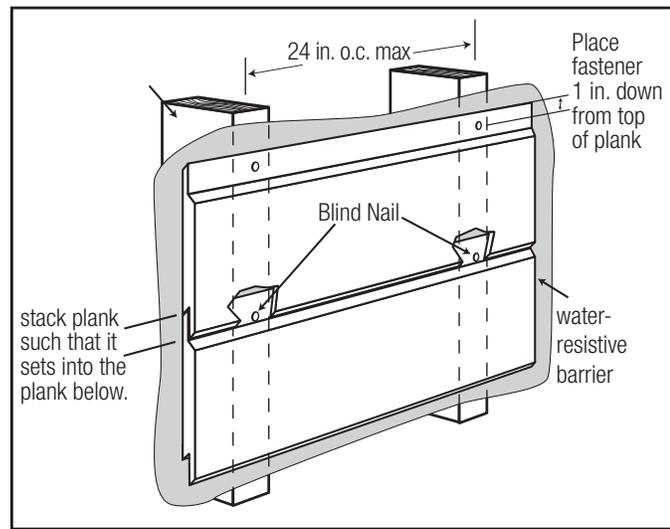
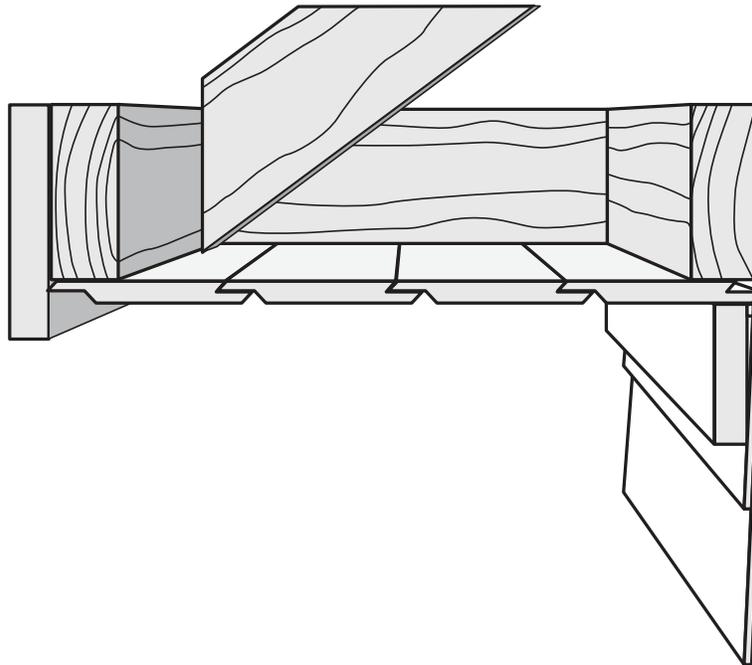


FIGURE 21

For proper fastener selection and wind load table, refer to the Artisan V Rustic Technical Data Sheet at www.Artisanluxury.com

*Caulk joint as required by local building code and leave gap per caulk manufacturers recommendations



INSTALLATION/FASTENER REQUIREMENTS

- A. V Rustic may be installed in soffit applications over wood or steel framing spaced a maximum of 24 inches on center.
- B. Refer to the Artisan V Rustic Technical Data Sheet for wind load and fastening information.
- C. Additional framing may be needed to ensure proper fastening.
- D. V Rustic can be installed in the long direction (fig. 22) or the short direction not greater than 24 in. on center (fig. 23)
- E. Plan and cut out for any venting requirements prior to V Rustic installation.

Artisan V Rustic siding butt joints are recommended to land off stud (fig. 22). Install butt joints in moderate contact in soffit applications (caulking, H covers, and battens are also acceptable).

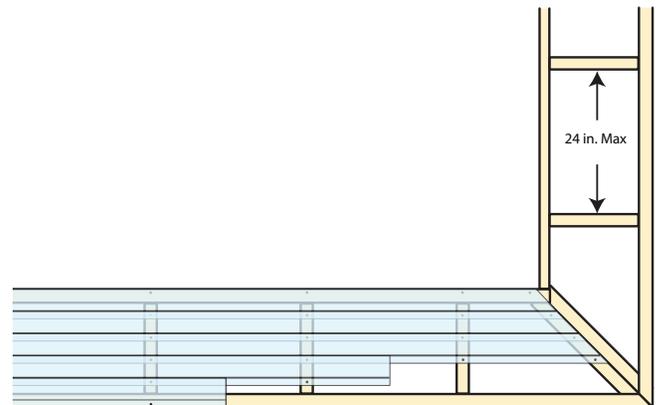


FIGURE 22

FASTENER REQUIREMENTS

- BLIND NAILING: Place fastener no closer than 1 in. from siding ends and minimum 1 in. down from top of siding.
- FACE NAILING: Place fastener no closer than 1 in. from siding ends and 2 in. from bottom of siding.

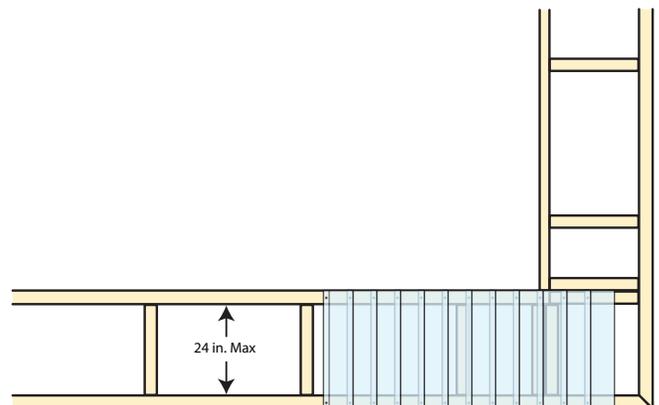


FIGURE 23

GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach Hardie Trim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5.

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, fill nail hole and add a nail. (fig. B)
- For wood framing, under driven nails should be hit flush with a hammer (For steel framing, remove and replace nail).
- NOTE: Whenever a structural member is present, Artisan V-Groove lap siding should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.
- **Do not use aluminum fasteners, staples, or clipped head nails.**

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).



CAULKING & PAINTING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: OSI Quad as well as some other caulking manufacturers do not allow tooling.**

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CARE & MAINTENANCE

As a guide, it is recommended that normal maintenance tasks shall include but not be limited to:

- Washing down the exterior surfaces every 6 to 12 months with a garden hose or low pressure water spray to remove dirt and debris.*
- Re-applying of exterior finishes.*
- Maintaining the exterior envelope and connections including joints, penetrations, flashings, and sealants (caulking) that may provide a means of moisture entry beyond the exterior cladding.
- Cleaning out gutters, blocked pipes, and overflows as required.
- Pruning back vegetation that is touching the building. Clearance between the siding and shrubs is recommended.
- Ensuring required external ground clearances and drainage slopes are maintained.

* Refer to your paint manufacturer for washing and recoating requirements related to paint performance.

WARNING

High pressure water blast and sand blasting may damage the surface of the fiber cement product. Low pressure water spray, a soft medium bristle (nonmetal) brush is most suitable for cleaning fiber cement products. Acid washing can damage the fiber cement surface and is not recommended. Note: If using a pressure washer, care must be taken to ensure that the water stream does not damage the surface of the siding. Damage to siding arising from improper cleaning or maintenance may not be covered by the James Hardie warranty. Using wide fan tips that are kept a minimum of 6 feet from the wall and at pressures under 1500 psi will minimize the chance of damaging the siding.

COVERAGE CHART/ESTIMATING GUIDE

Number of 12' planks, Includes 5% waste factor.

Artisan® V Rustic

Coverage Area Less Openings 1 SQ = (100sq. ft.)	Plank Width Exposure
1	7
2	15
3	30
4	45
5	60
6	75
7	90
8	105
9	120
10	135
11	150
12	165
13	180
14	195
15	210
16	225
17	240
18	255
19	270
20	285
	300



Wind-Borne Debris Region: "Supplemental fasteners may be necessary when installing tabs in a Wind-Borne Debris Region, please call Technical Services 800-942-7343 with any questions."