

LOCAL HISTORIC DISTRICT: Dilworth
PROPERTY ADDRESS: 827 Berkeley Avenue
SUMMARY OF REQUEST: Addition, fenestration changes and tree removal
APPLICANT/OWNER: Kent Lineberger

Details of Proposed Request

Existing Conditions

The existing structure is a 2 story Colonial Revival house constructed in 1932. Exterior features include a slate roof, covered side porch and brick exterior. The site has several large mature trees. Adjacent structures are 1.5 and 2 story single family dwellings. It is listed as a contributing structure in the Dilworth National Register of Historic Places.

Proposal

The project is a side and rear addition, changes in windows and doors, and removal of a magnolia tree in the rear yard. The addition is visible from the side street. The right side addition includes the removal of an existing one story addition and windows. The new two story addition is within the existing footprint. The exterior is clad in brick with trim to match existing and new windows. The rear porch features a standing seam metal roof, wood columns and brick foundation. New windows and doors with match or complement existing in material and design.

Policy & Design Guidelines – Additions, page 36

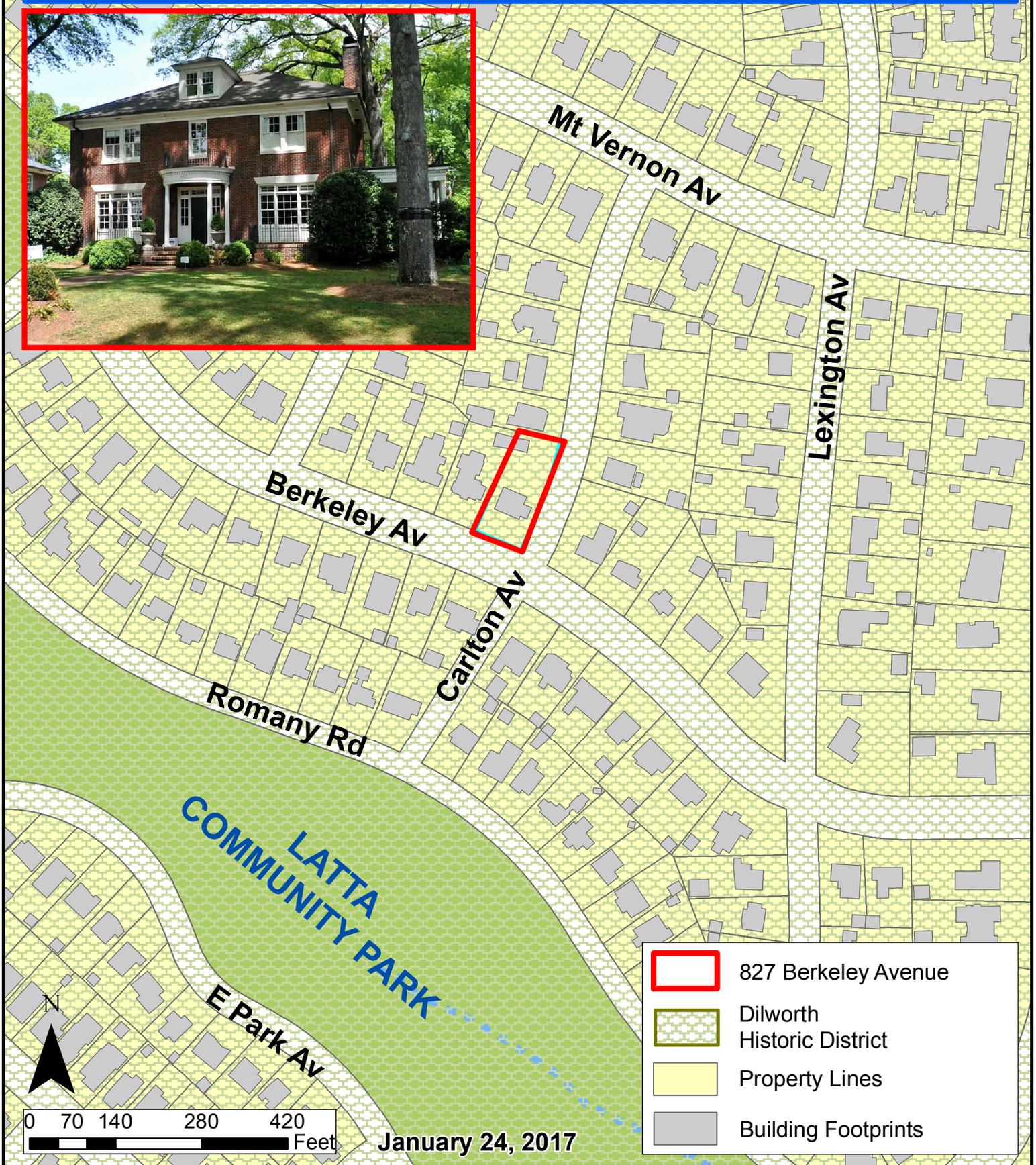
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	the relationship of the project to its site
b. Scale	the relationship of the building to those around it
c. Massing	the relationship of the building's various parts to each other
d. Fenestration	the placement, style and materials of windows and doors
e. Rhythm	the relationship of fenestration, recesses and projections
f. Setback	in relation to setback of immediate surroundings
g. Materials	proper historic materials or approved substitutes
h. Context	the overall relationship of the project to its surroundings

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

Charlotte Historic District Commission Case 2017-0002
HISTORIC DISTRICT: Dilworth
ADDITION





View of Front Entrance from Berkeley Ave | Looking Northeast



827 Berkeley Ave
Young House



827

View from front facade

827 Berkeley Ave
Young House





View from Berkeley Ave | Looking East

827 Berkeley Ave
Young House



View from intersection of Berkeley and Carlton | Looking North

827 Berkeley Ave
Young House





View from Carlton Ave | Looking South

827 Berkeley Ave
Young House



View from Carlton Ave | Looking West

827 Berkeley Ave
Young House



View of Porch

827 Berkeley Ave
Young House



View of Porch

827 Berkeley Ave
Young House



View of Roofline

827 Berkeley Ave
Young House



View from rear yard | Looking South

827 Berkeley Ave
Young House





View from side yard | Looking East

827 Berkeley Ave
Young House





View from rear yard | Looking South

827 Berkeley Ave
Young House





View from house to Carlton Ave | Looking East

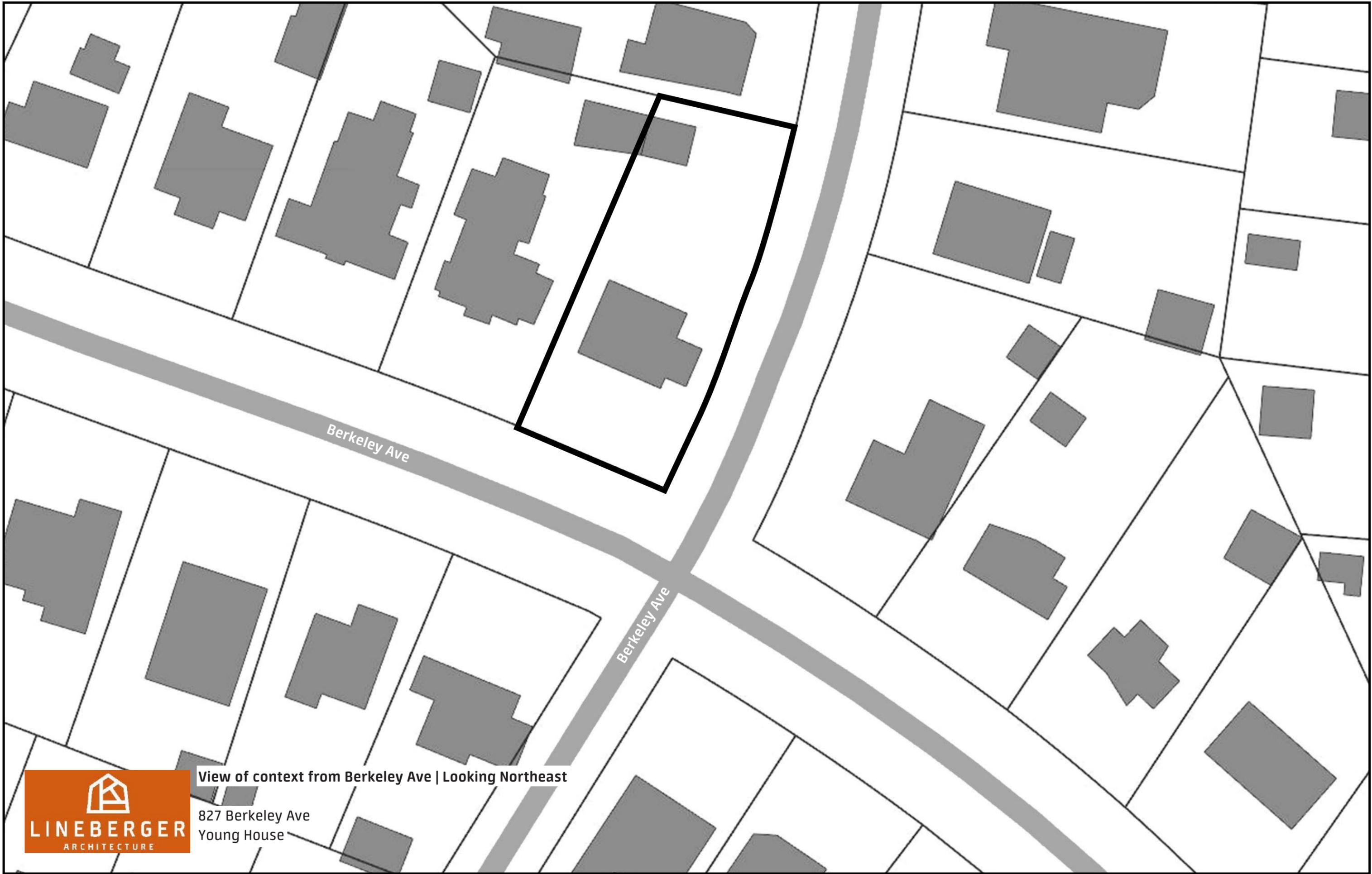


827 Berkeley Ave
Young House



View of context from Berkeley Ave | Looking Northeast

827 Berkeley Ave
Young House



Berkeley Ave

Berkeley Ave



View of context from Berkeley Ave | Looking Northeast

827 Berkeley Ave
Young House

YOUNG HOME RENOVATIONS
ANDY + COURT YOUNG
827 BERKELEY AVENUE
CHARLOTTE NC 28203
Dilworth Historic District




LINEBERGER
ARCHITECTURE

KENTLINEBERGER.COM
2108 SOUTH BLVD
SUITE 103
CHARLOTTE NC 28203
704 334 6366

1
A 4
EXISTING FRONT ELEVATION
1/4" = 1'-0"

PROPOSED FRONT ELEVATION

A 4



1
 AB-6
 EXISTING
 LEFT SIDE ELEVATION
 1/4" = 1'-0"

YOUNG HOME RENOVATIONS
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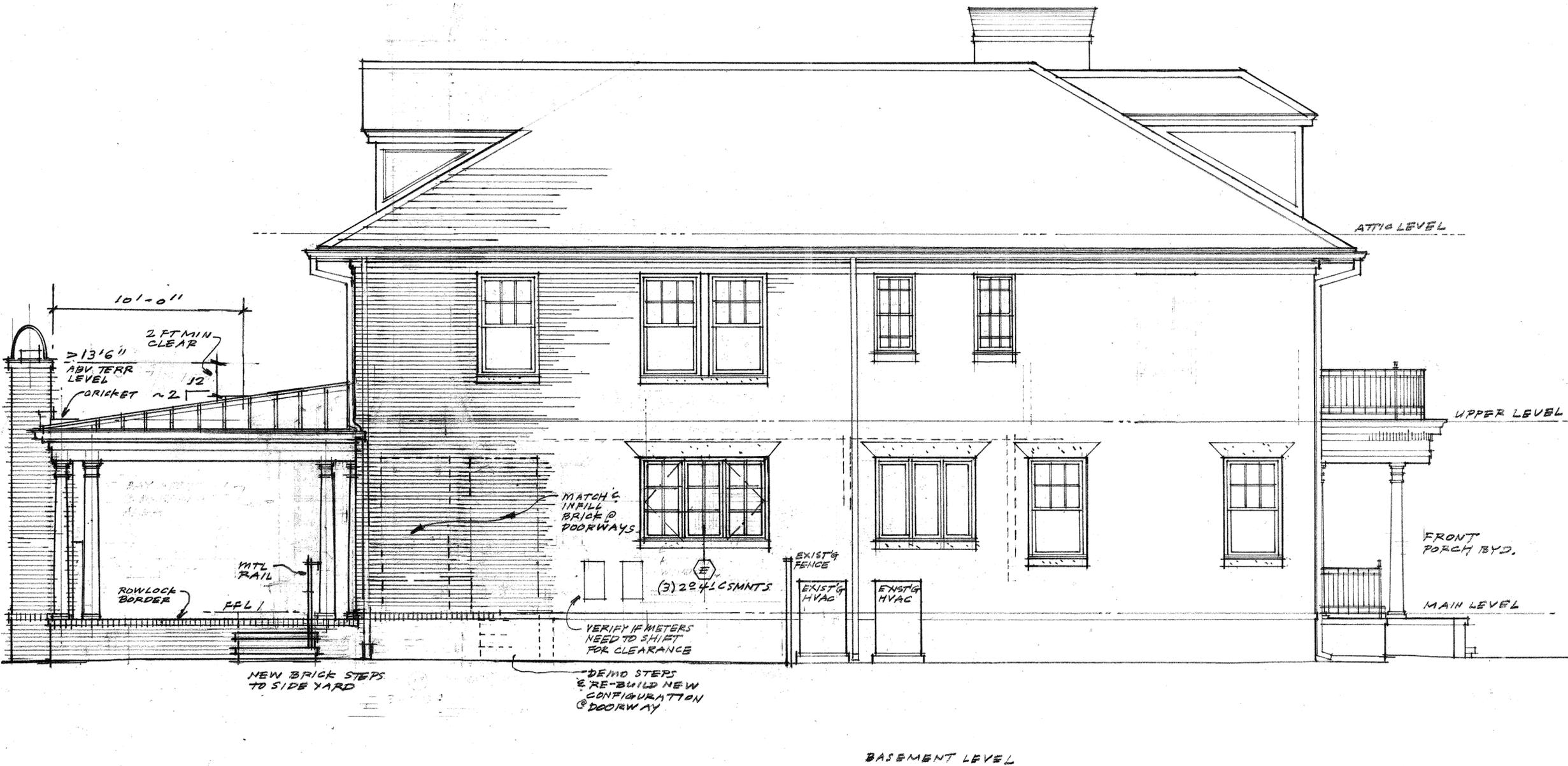

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 ARCHITECTURE

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EXISTING LEFT
 SIDE ELEVATION
 W/ DEMOLITION

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 18 JAN 2017

AB 6

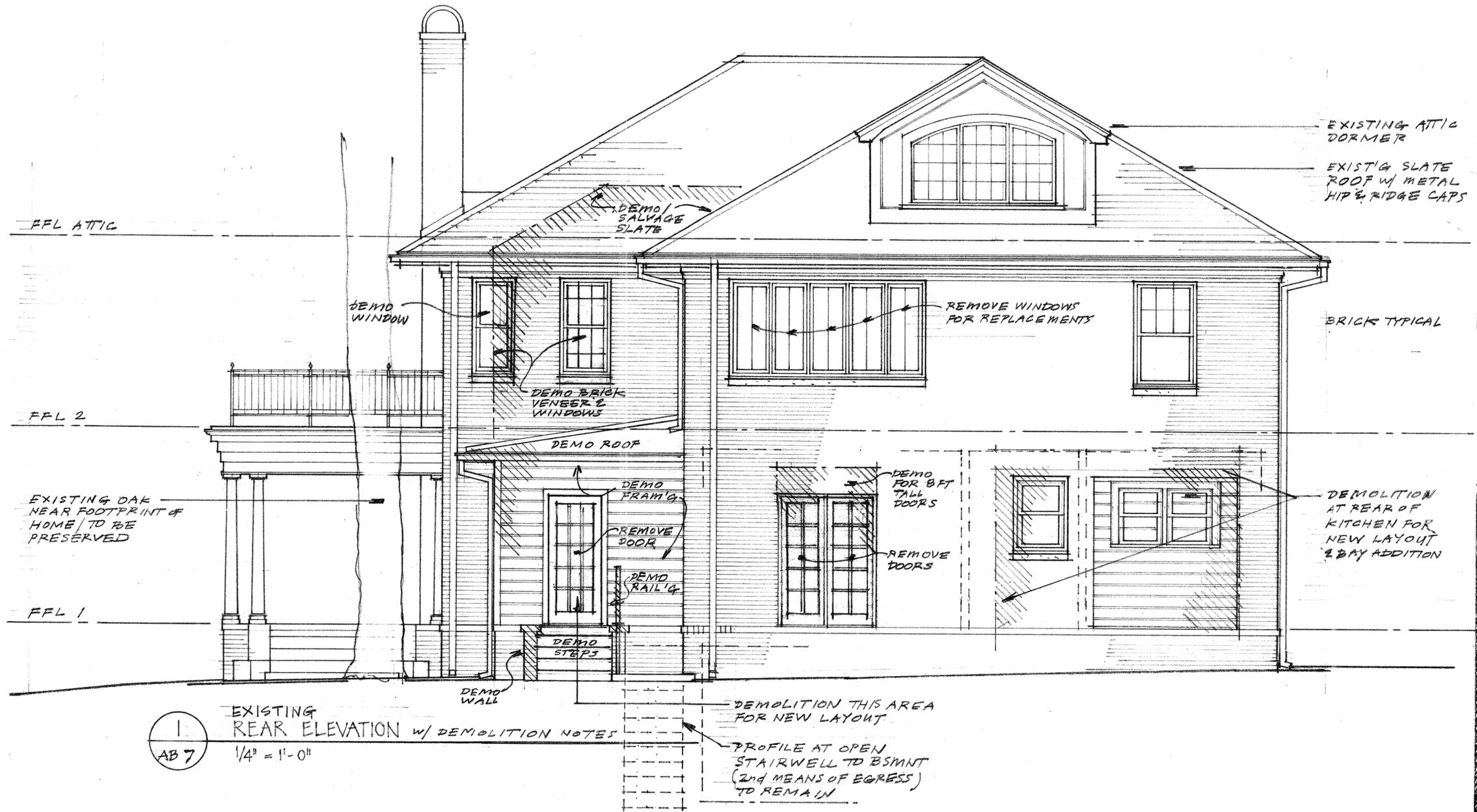


PROPOSED
1 LEFT SIDE ELEVATION
A-6 1/4" = 1'-0"

PROPOSED LEFT
SIDE ELEVATION

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18 JAN 2017

A 6



1
AB 7
EXISTING REAR ELEVATION w/ DEMOLITION NOTES
1/4" = 1'-0"

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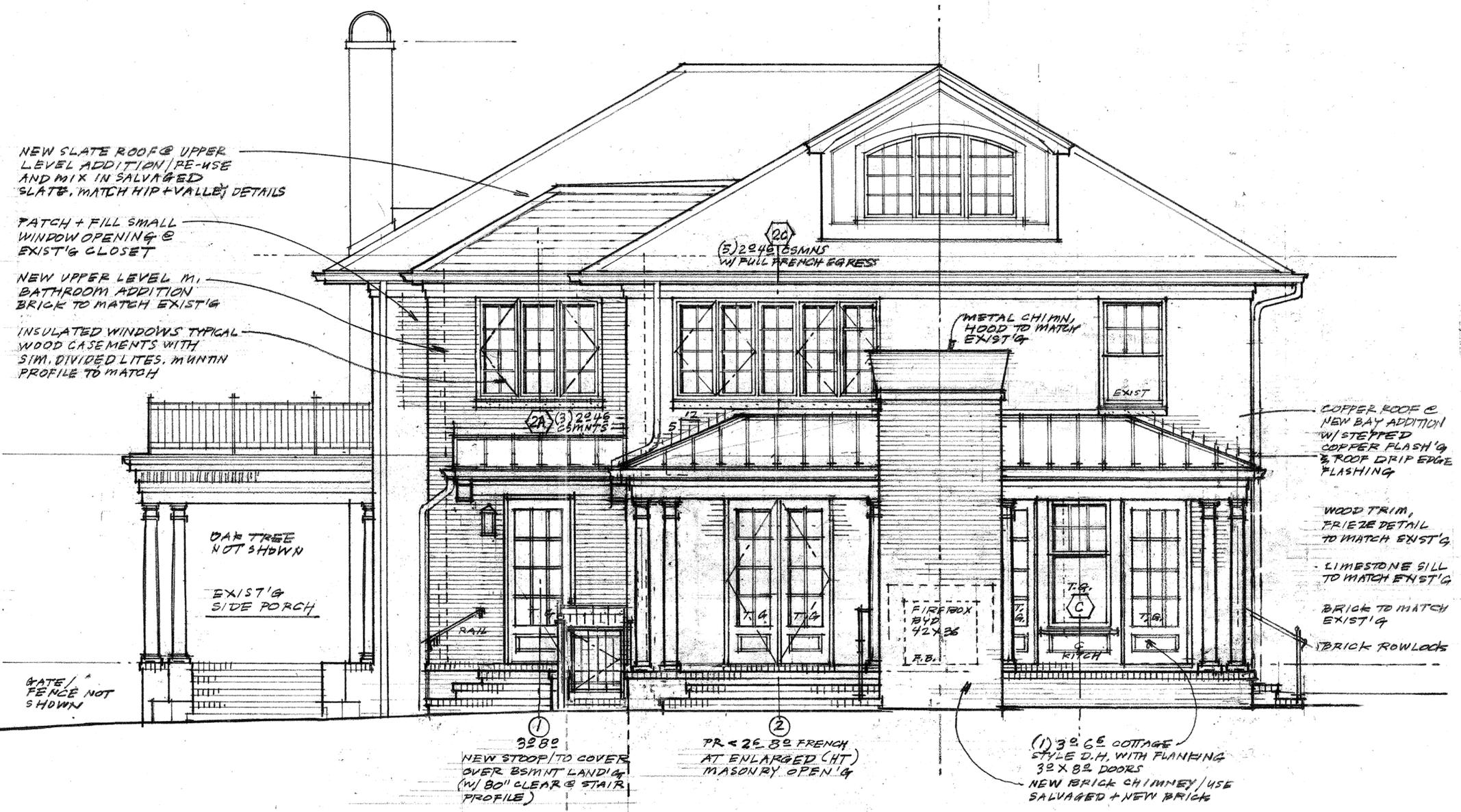
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AS BUILT REAR ELEVATION

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AB 7



1
 A7
 PROPOSED
 REAR ELEVATION
 1/4" = 1'-0"

PROPOSED REAR
 ELEVATION

HDC SUBMITAL
 19 JAN 2017



EXISTING DORMER
EXISTING SLATE ROOF

METAL HOOD

BRICK CHIMNEY

DEMO/SALVAGE SLATE MATERIAL FOR RE-USE

DEMO WINDOW UNITS/REPLACE W/ NEW

DEMO+ SALV. BRICK THIS AREA

DEMO LOW ROOF AND FRAMING DOWN TO PLATFORM FRAMING

DEMO FOR REPLACEMENT

REMOVE RAILS & STEPS UP TO REAR DOOR

FRONT STOOP BEYOND / NOT SHOWN

1
AB 5

EXISTING RIGHT SIDE ELEVATION -

1/4" = 1'-0"

LARGE OAK THIS AREA TO REMAIN & PROTECT

PROFILE AT ESPINT STAIR SHAFT BYD / TO REMAIN

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EXISTING
RIGHT SIDE

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AB 5



1
A. 5
PROPOSED
RIGHT SIDE ELEVATION
1/4" = 1'-0"

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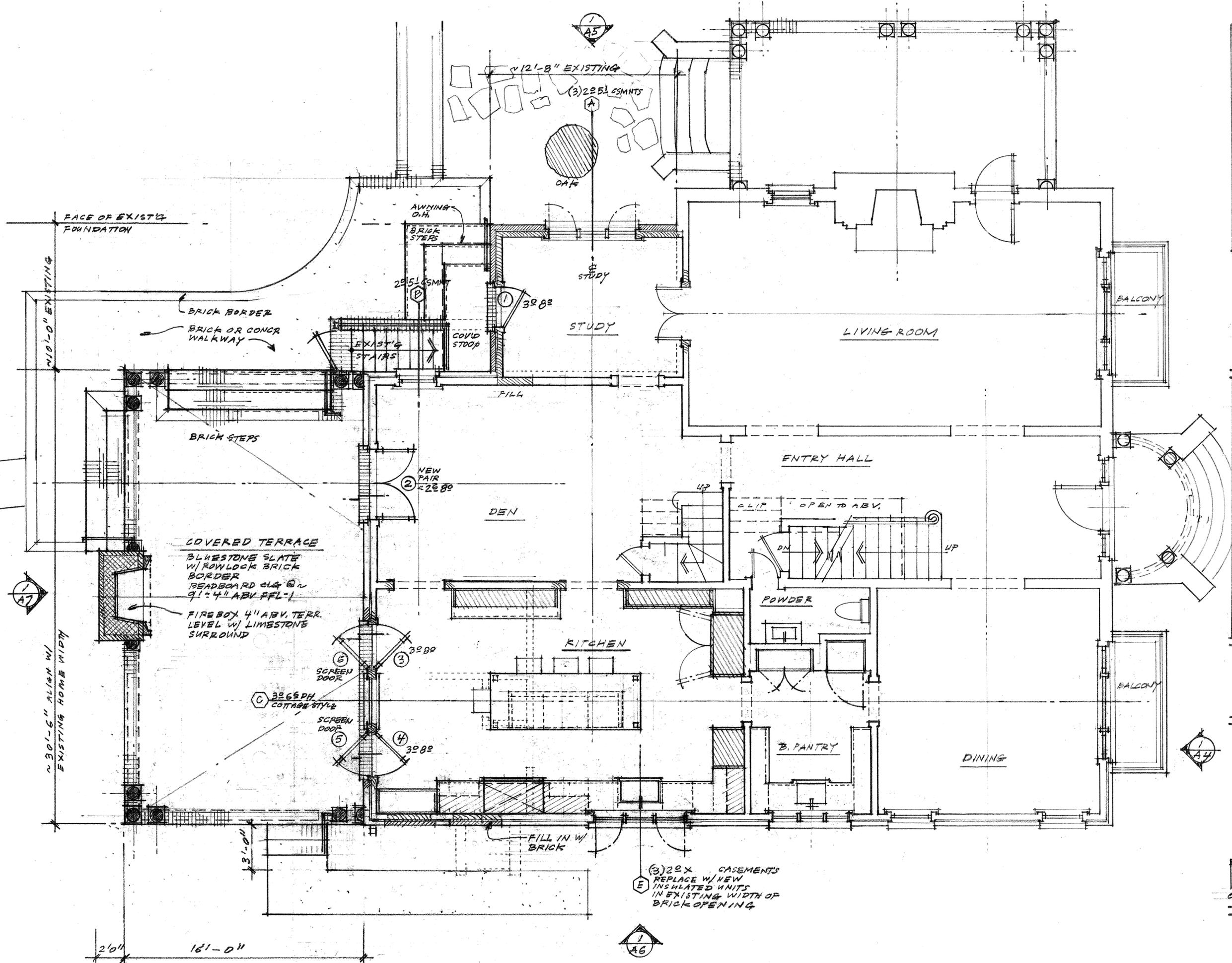
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PROPOSED RIGHT
SIDE ELEVATION

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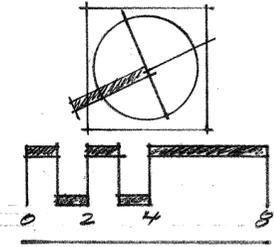
A 5



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MAIN LEVEL PROPOSED

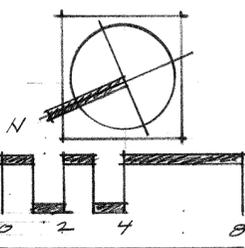
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1
 A 1
PROPOSED MAIN LEVEL PLAN
 1/4" = 1'-0"

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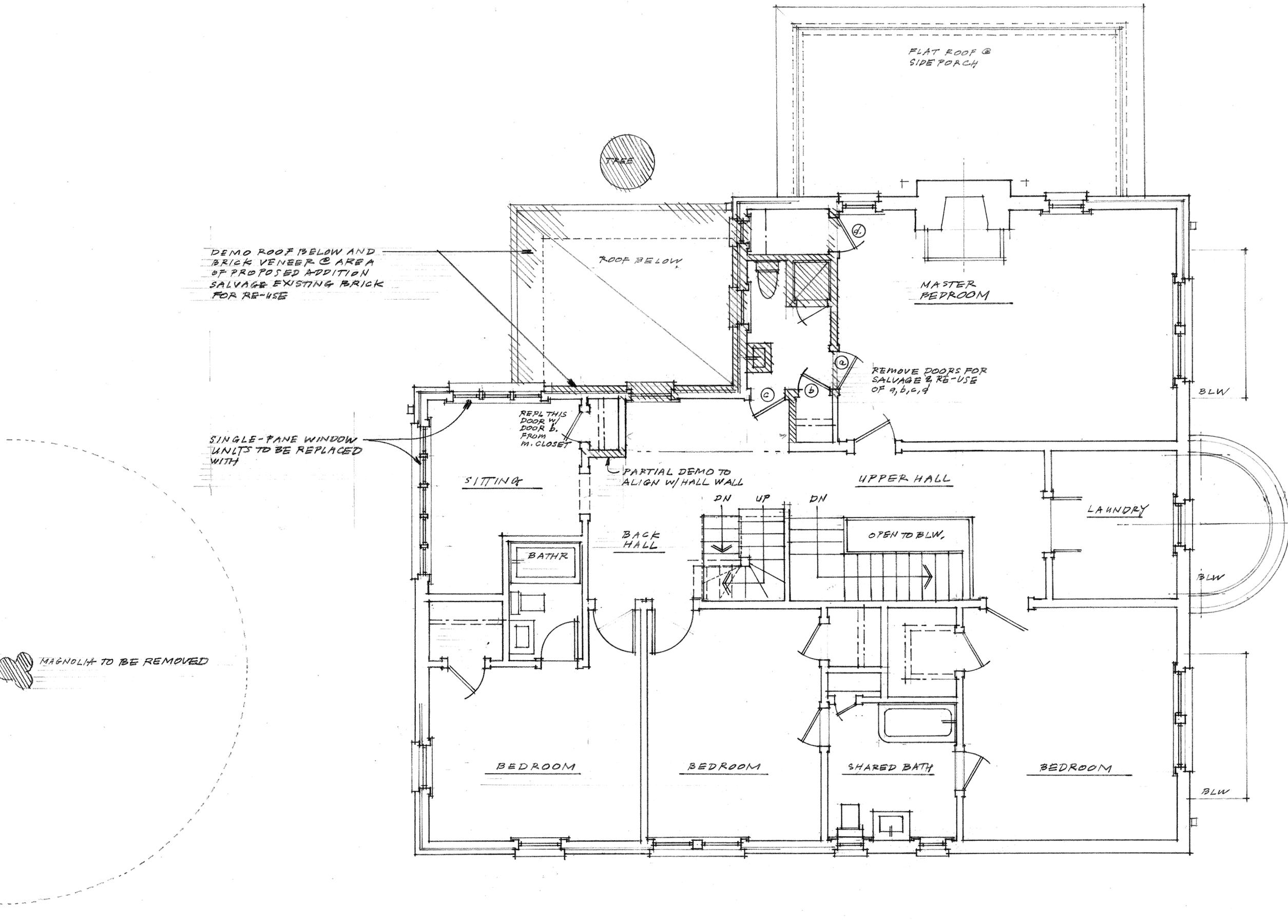
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EXISTING UPPER LEVEL PLAN DEMOLITION

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AB 2

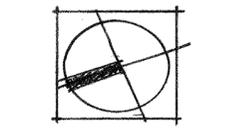


1
 AB 2
 EXISTING UPPER LEVEL PLAN W/ DEMOLITION
 1/4" = 1'-0"

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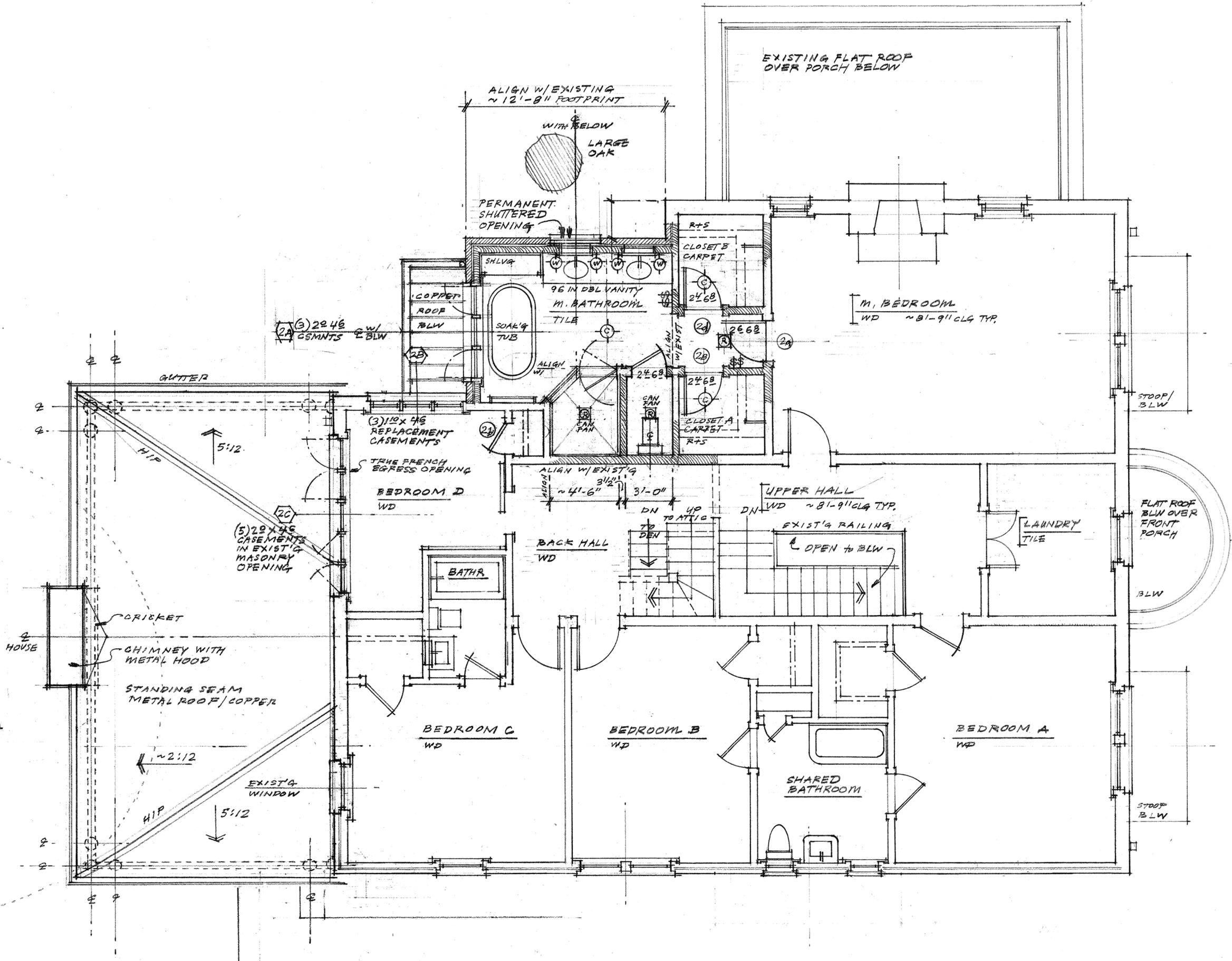
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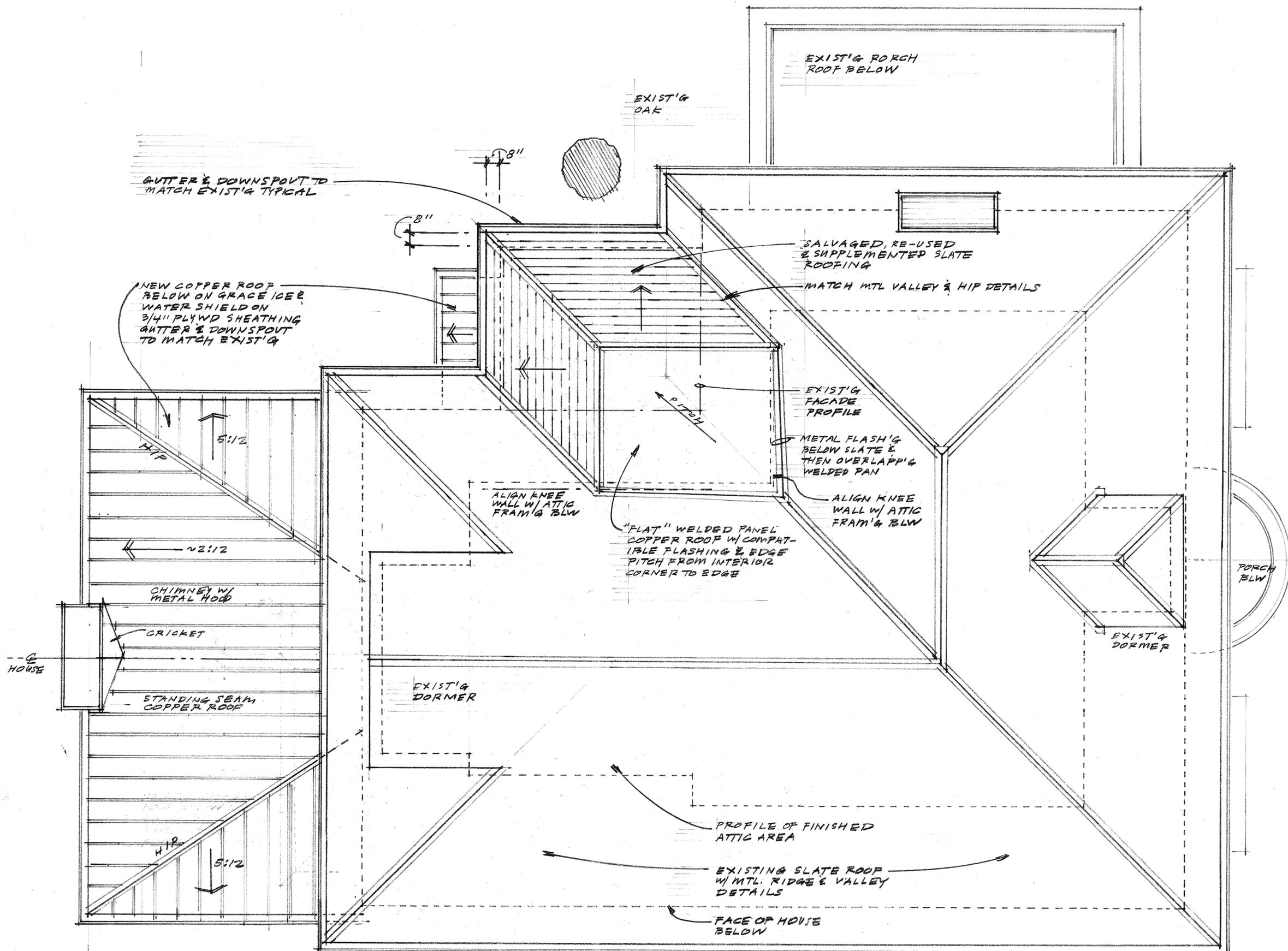


UPPER LEVEL
 PROPOSED

HDC SUBMITTAL
 18 JAN 2017
 A 2



1 PROPOSED
 UPPER LEVEL PLAN
 A 2 1/4" = 1'-0"



GUTTER & DOWNSPOUT TO MATCH EXIST'G TYPICAL

NEW COPPER ROOF BELOW ON GRACE ICEE WATER SHIELD ON 3/4" PLYWD SHEATHING GUTTER & DOWNSPOUT TO MATCH EXIST'G

EXIST'G PORCH ROOF BELOW

EXIST'G OAK

SALVAGED, RE-USED & SUPPLEMENTED SLATE ROOFING

MATCH MTL VALLEY & HIP DETAILS

EXIST'G FACADE PROFILE

METAL FLASH'G BELOW SLATE & THEN OVERLAPP'G WELDED PAN

ALIGN KNEE WALL W/ ATTIC FRAM'G BLW

"FLAT" WELDED PANEL COPPER ROOF W/ COMPATIBLE FLASHING & EDGE PITCH FROM INTERIOR CORNER TO EDGE

ALIGN KNEE WALL W/ ATTIC FRAM'G BLW

5:12

~2:12

CHIMNEY W/ METAL HOOD

CRICKET

STANDING SEAM COPPER ROOF

EXIST'G DORMER

EXIST'G DORMER

PORCH BLW

PROFILE OF FINISHED ATTIC AREA

EXISTING SLATE ROOF W/ MTL. RIDGE & VALLEY DETAILS

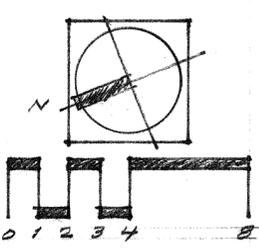
FACE OF HOUSE BELOW

1
A 3
PROPOSED ROOF PLAN
1/4" = 1'-0"

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PROPOSED ROOF PLAN

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