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**LOCAL HISTORIC DISTRICT:** Wesley Heights

**PROPERTY ADDRESS:** 620 Woodruff Place

**SUMMARY OF REQUEST:** Addition

**APPLICANT/OWNER:** Alexander Altman

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The project was continued for the following: 1) Massing - Pull the side dormers in further from the first floor exterior wall and increase the pitch of the shed dormer roof. To improve massing, consider continuing the shed dormer design on the sides; 2) Fenestration - Provide historically accurate window details on second level; 3) Rhythm – Items 1 and 2 will resolve rhythm issues.

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story side gabled duplex constructed in 1942. Exterior features include a clay tiled front and side porch, 6/6 wood windows and brick exterior. It is listed as a contributing structure in the Wesley Heights National Register of Historic Places. Adjacent structures are 1 and 2 story single and multi-family dwellings.

*Proposal*

The project is a conversion of the duplex to a single family dwelling with an upper level addition within the existing footprint. The new addition is a cross gable that extends from the existing ridge with an increase of approximately 4'. Final height from finished floor is +/- 21'. New materials include brick to match existing and wood trim with windows to match existing in material and trim. Other design features include an expanded front porch deck with wood columns and a new front shed dormer.

*Proposal – March 8*

1. The side dormers are inset 1'-3" from the first floor wall.
2. Windows in the side gables have been reduced in size.
3. Additional window details have been provided.

**Policy & Design Guidelines – Additions, page 36**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis**

The Commission will determine if the proposal meets the guidelines for additions. The guideline for setback does not apply.

*Charlotte Historic District Commission Case 2017-00025*  
**HISTORIC DISTRICT: Wesley Heights**  
**ADDITION**



January 24, 2017



622



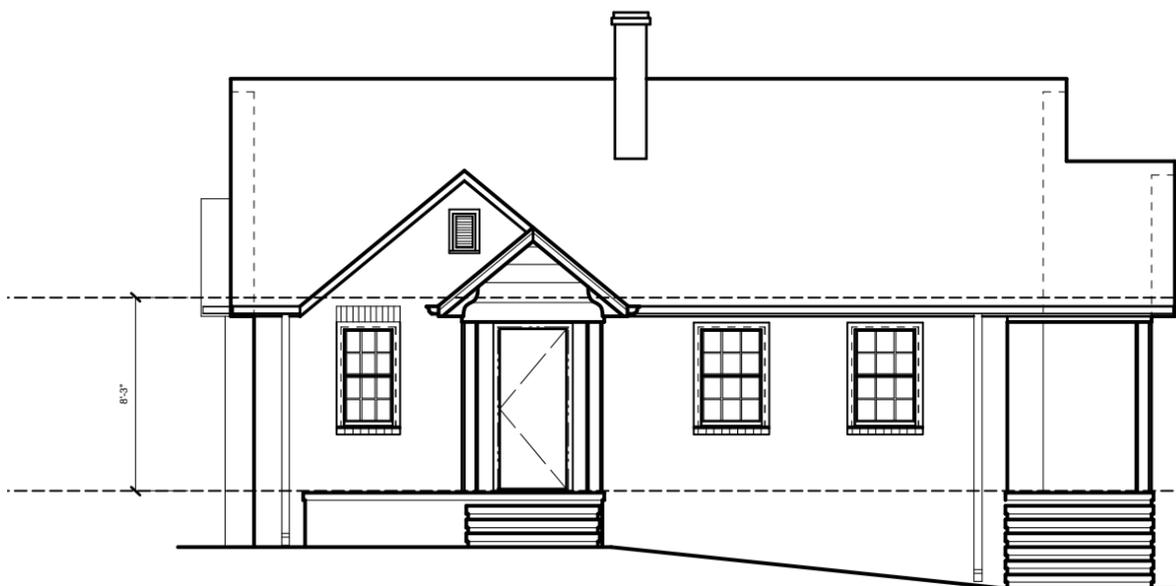
620 Woodruff Place  
Current  
Charlotte, North Carolina

620 & 622 WOODRUFF PLACE, CHARLOTTE NORTH CAROLINA



The existing structure is a duplex with a shared drive to the right of the structure. The scope of the work is to create a single family residence that has four bedrooms and three baths. It is desired to keep the existing brick veneer and patch and match where necessary for the new addition. The existing brick steps and wall to street are to remain. It is proposed to keep the brick porch entries, if possible. If the entries cannot be salvaged, then a wood front porch will have new brick base with wood columns on top. The existing roof will be added increasing the existing heated square footage. The second floor plan addition fits within the wall of the main floor. There will also be a covered porch and laundry/back entry added to the rear of the house outside the existing rear wall. This all fits within the setback requirements. Any new materials that are introduced to the addition have been referenced to pre-existing conditions within the Wesley Heights Neighborhood.

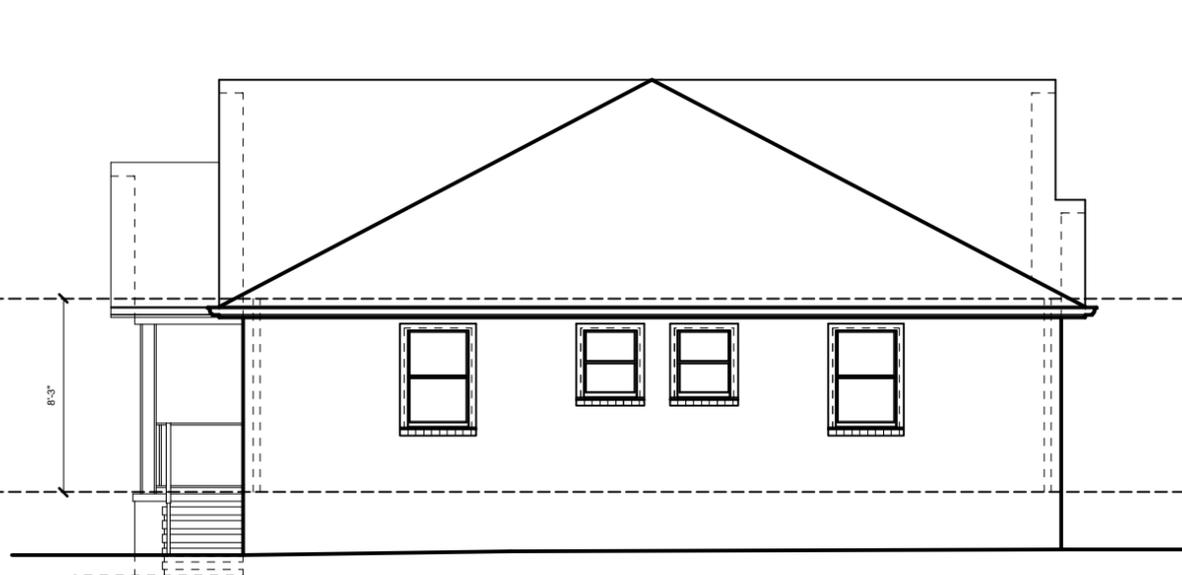
Altman Residence  
620 Woodruff Place  
Charlotte, North Carolina



1 AS-BUILT FRONT ELEVATION  
A-2.0



2 AS-BUILT RIGHT ELEVATION  
A-2.0



2 AS-BUILT REAR ELEVATION  
A-2.0



2 AS-BUILT LEFT ELEVATION  
A-2.0

FOR REVIEW ONLY

20 February 2017

Altman Residence  
620 Woodruff Place  
Charlotte, North Carolina

Existing Streetscape on Woodruff Place



628

620 & 622

618

616

614

610

FOR REVIEW

Street Scope	Revisions
07 July 2016	
arb	

Altman Residence  
 620 Woodruff Place  
 Charlotte, North Carolina

Existing Houses on Woodruff Place Across from 620



621

625

629

633

FOR REVIEW

Street Scope	Revisions
07 July 2016	
arb	

Wesley Heights Neighborhood Examples



432 Walnut Avenue

This shows the proposed metal roof at the front entry and rear covered porch



601 Walnut Avenue

Example of a similar new addition with brick base and wood lap siding veneer. In our design we would like to use shingle veneer at second floor.



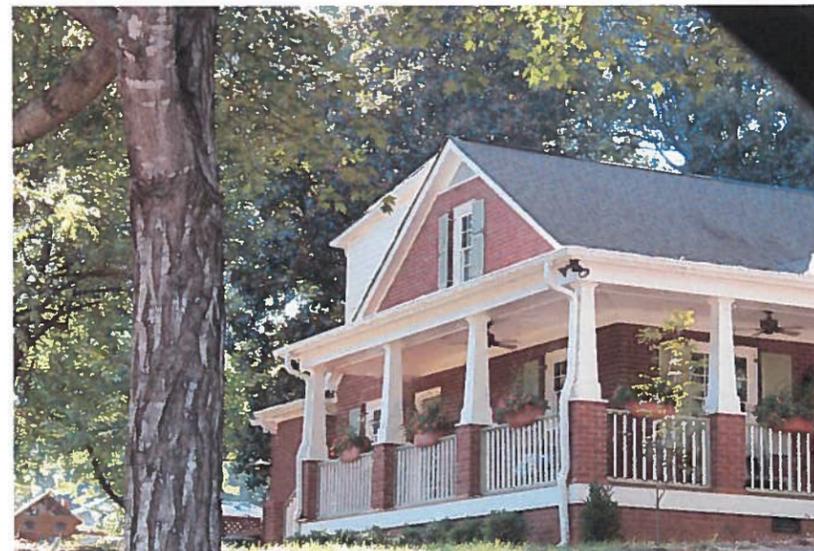
407 Heathcliff Street

This picture represents the new proposed roof and brackets for the second floor addition.



521 Grandn Road

The picture represents the proposed brick entry porch floor. Also, the main floor brick veneer with a shingle siding at the second floor with wood brackets.



515 Walnut Avenue

This picture expresses the brick piers with wood columns on top. Alternate wood porch floor if brick terrace floor cannot be salvaged.



766 Woodruff Place

The shingle siding is what we would propose for the second floor addition.

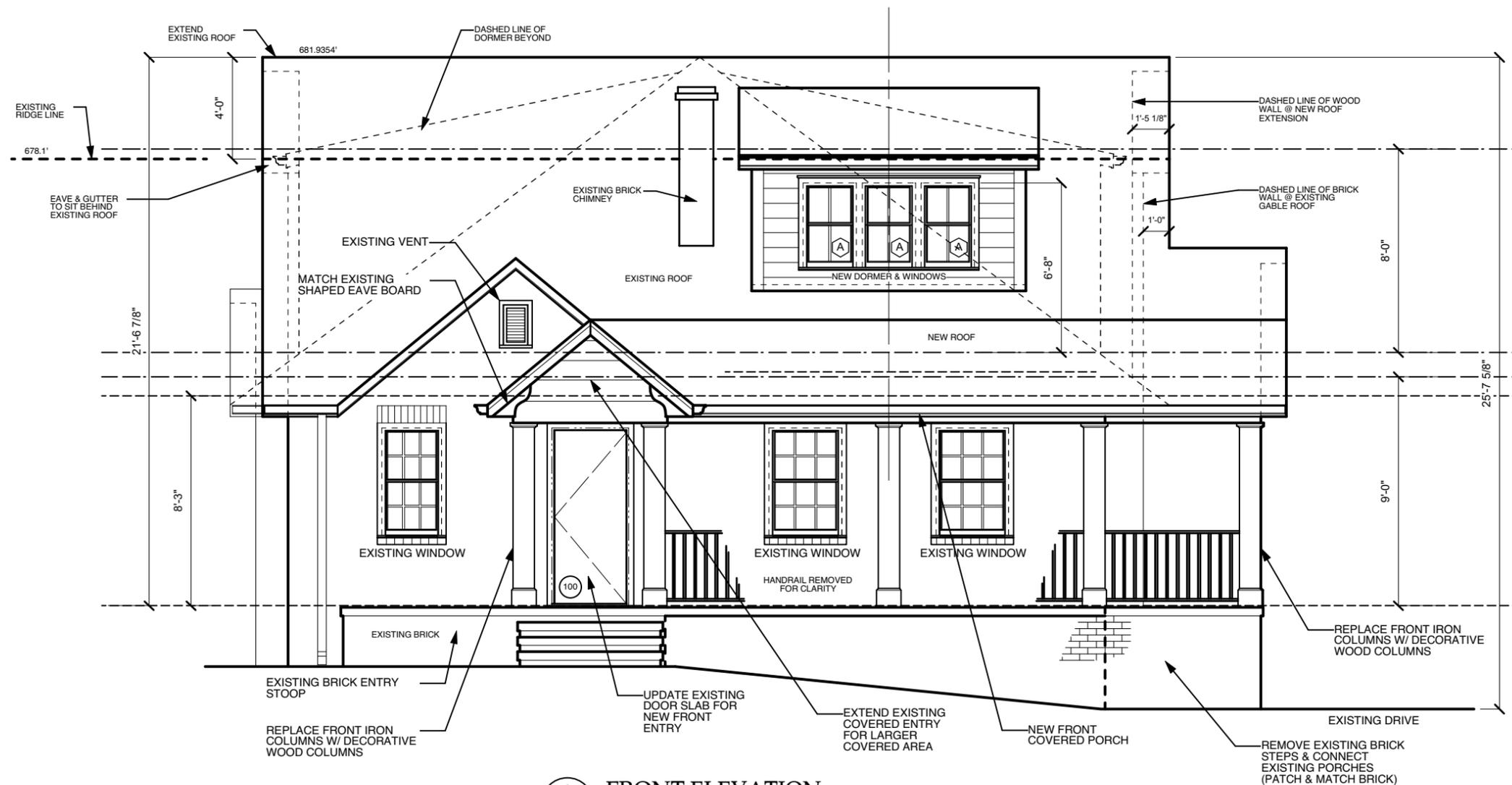






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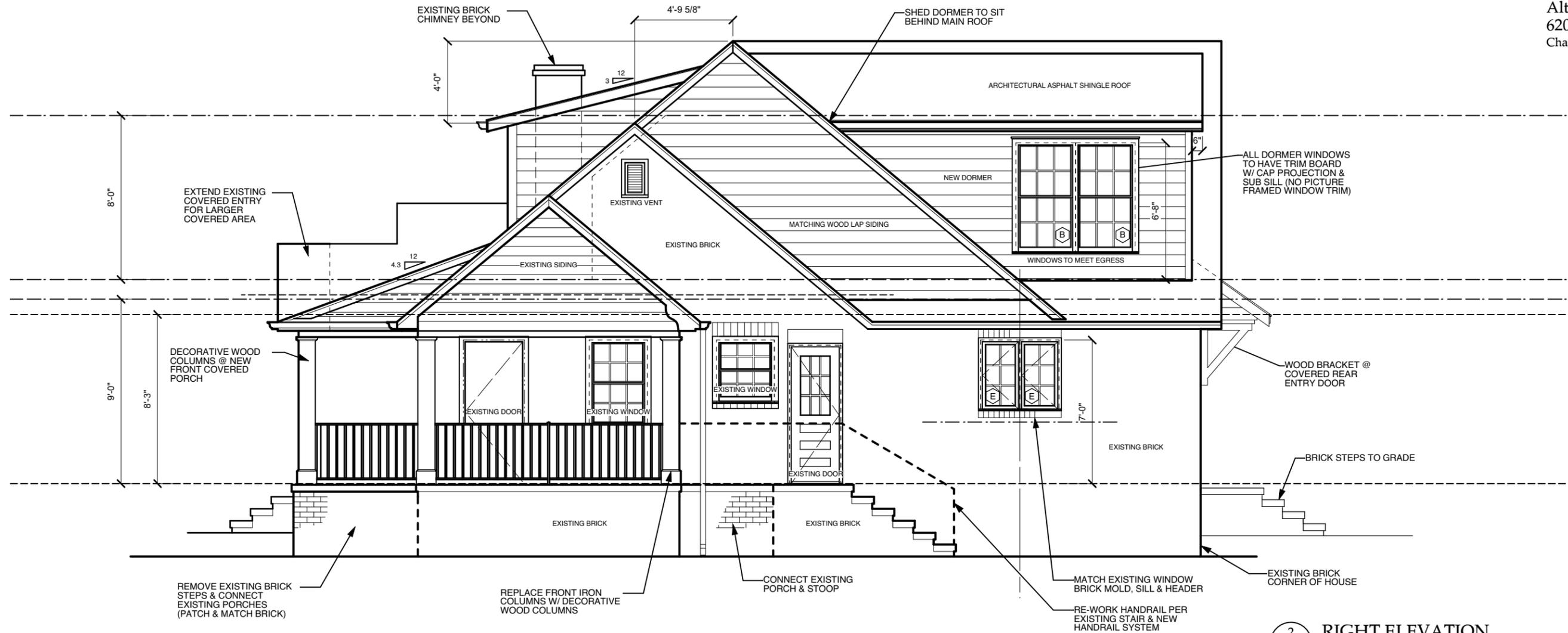
1 FRONT ELEVATION  
A-2.0

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Front Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Date - Revision
	Refer to Bulletin List

# MARCH

Altman Residence  
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2 RIGHT ELEVATION  
A-2.0

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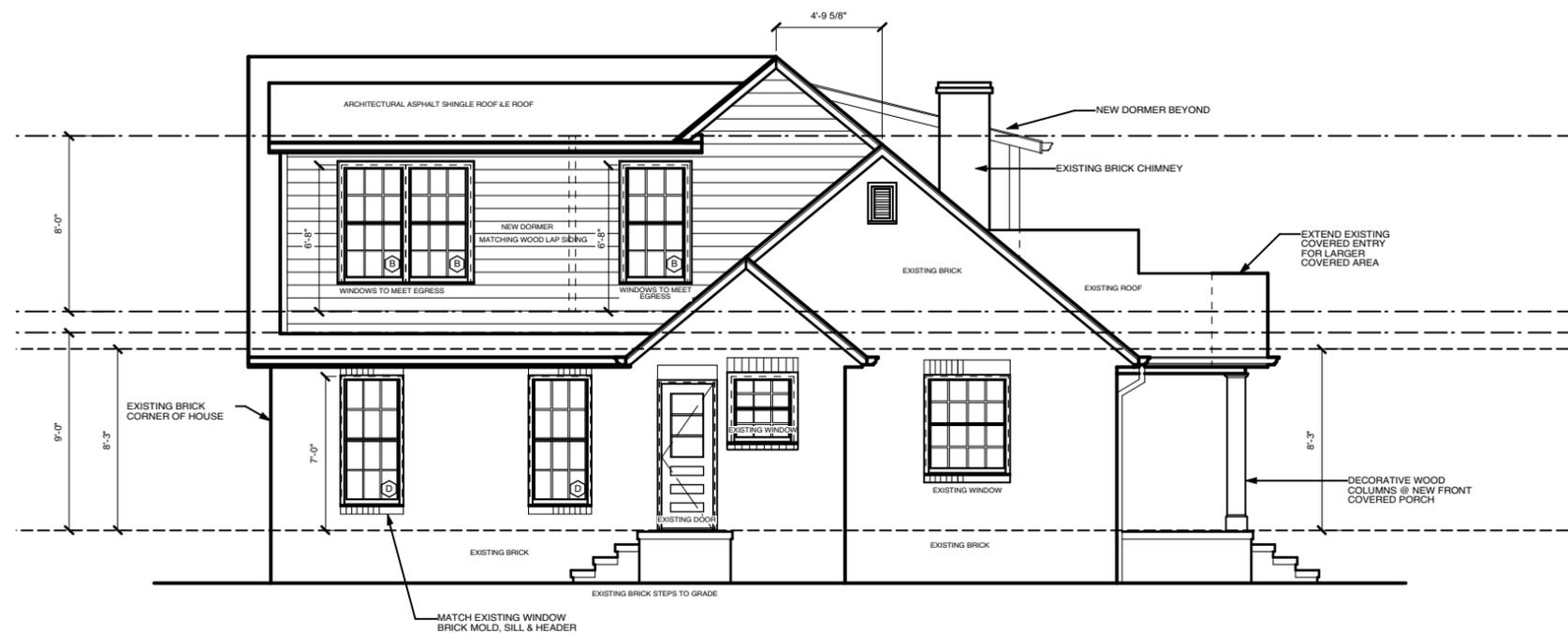
Right Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Refer to Bulletin List

# FEBRUARY

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2 REAR ELEVATION  
A-2.0 1/8"=1'-0"



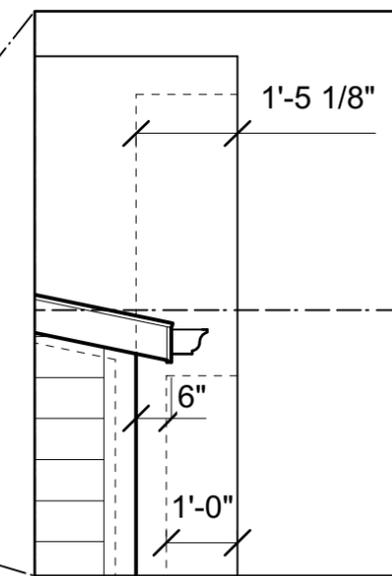
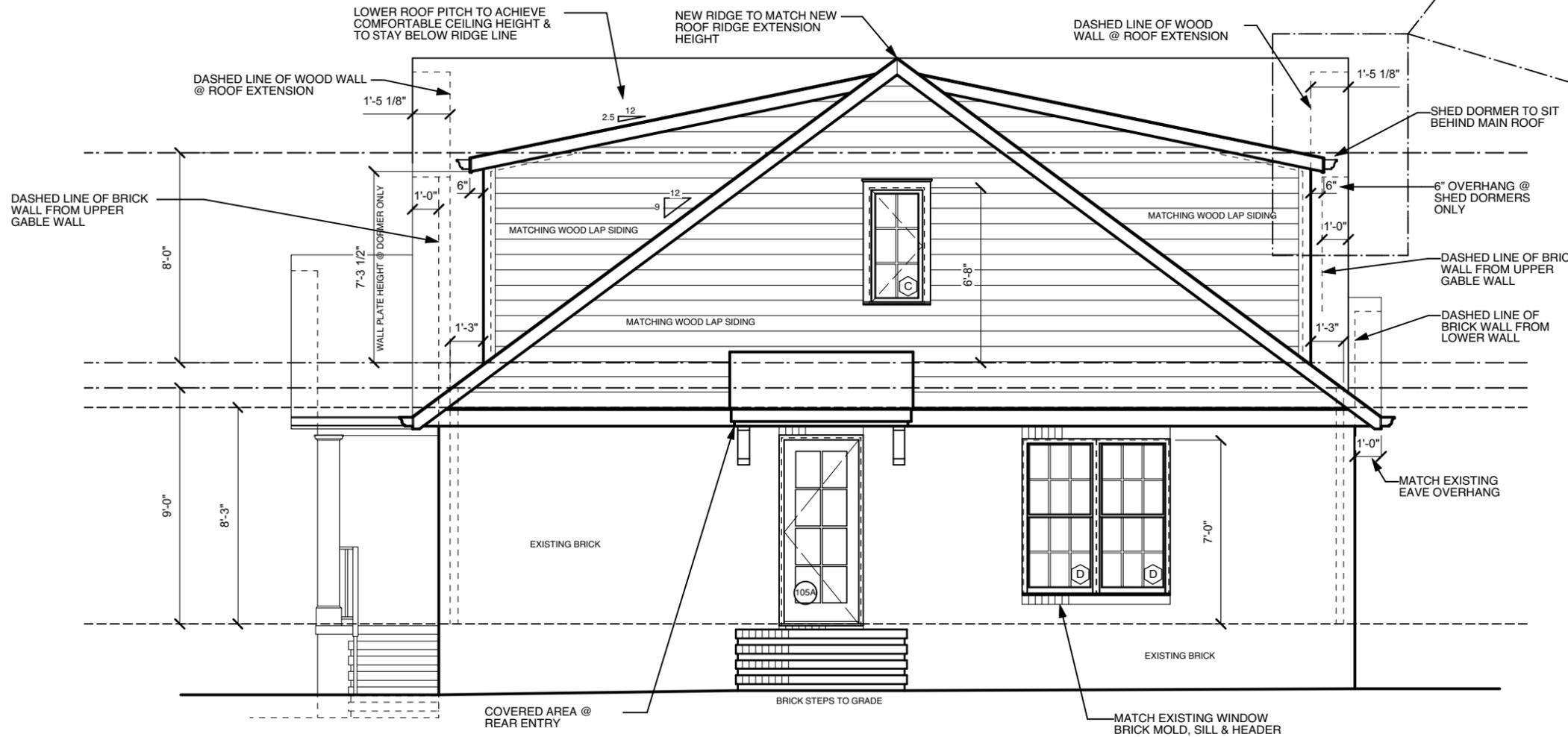
2 LEFT ELEVATION  
A-2.0 1/8"=1'-0"

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30 January 2017

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Charlotte, North Carolina



NOTE: CLOSER VIEW OF SHED DORMER TO GABLE ROOF CONNECTION. SHED DORMER EAVE & GUTTER NOT TO PROJECT PAST MAIN GABLE ROOF.

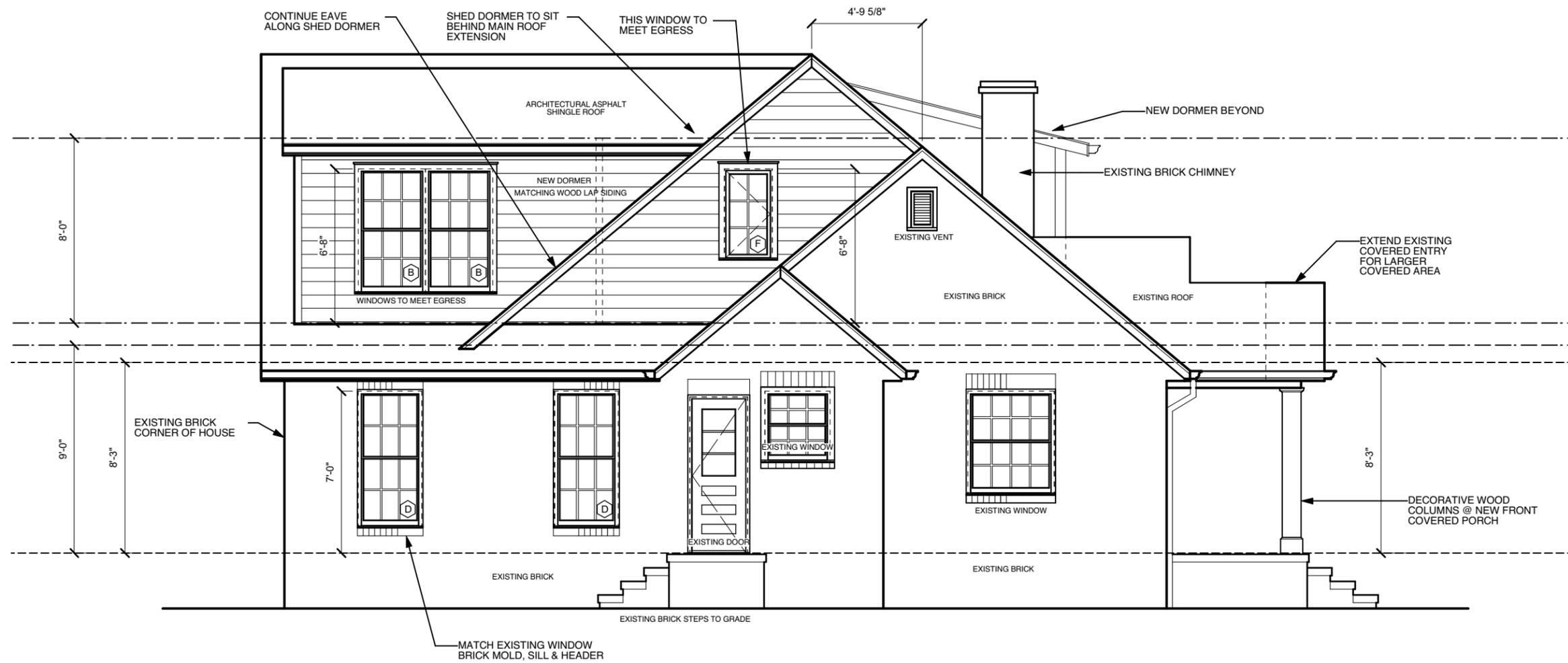
2 REAR ELEVATION  
A-2.0

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Rear Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Date - Revision
	Refer to Bulletin List

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# MARCH



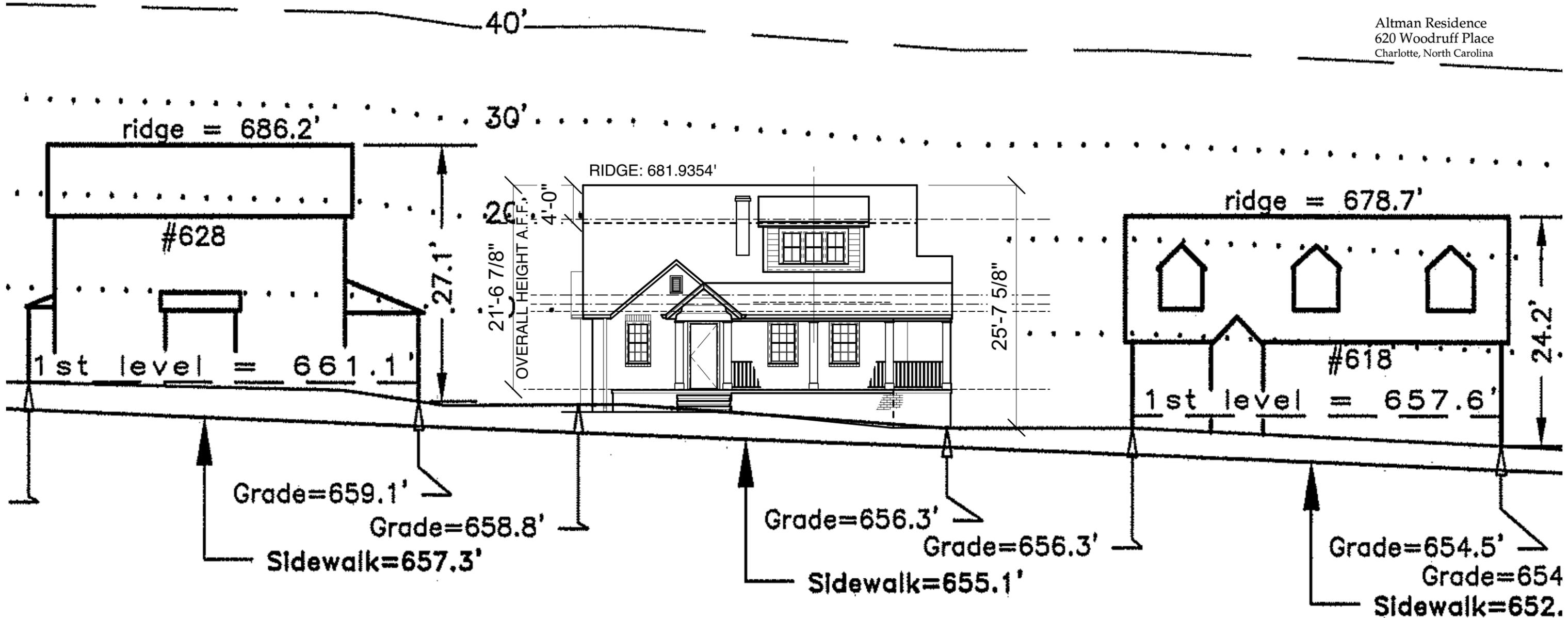
2 LEFT ELEVATION  
A-2.0

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Left Elevation	Revisions:
20 February 2017	Date - Revision
cjh	Date - Revision
	Refer to Bulletin List

# FEBRUARY

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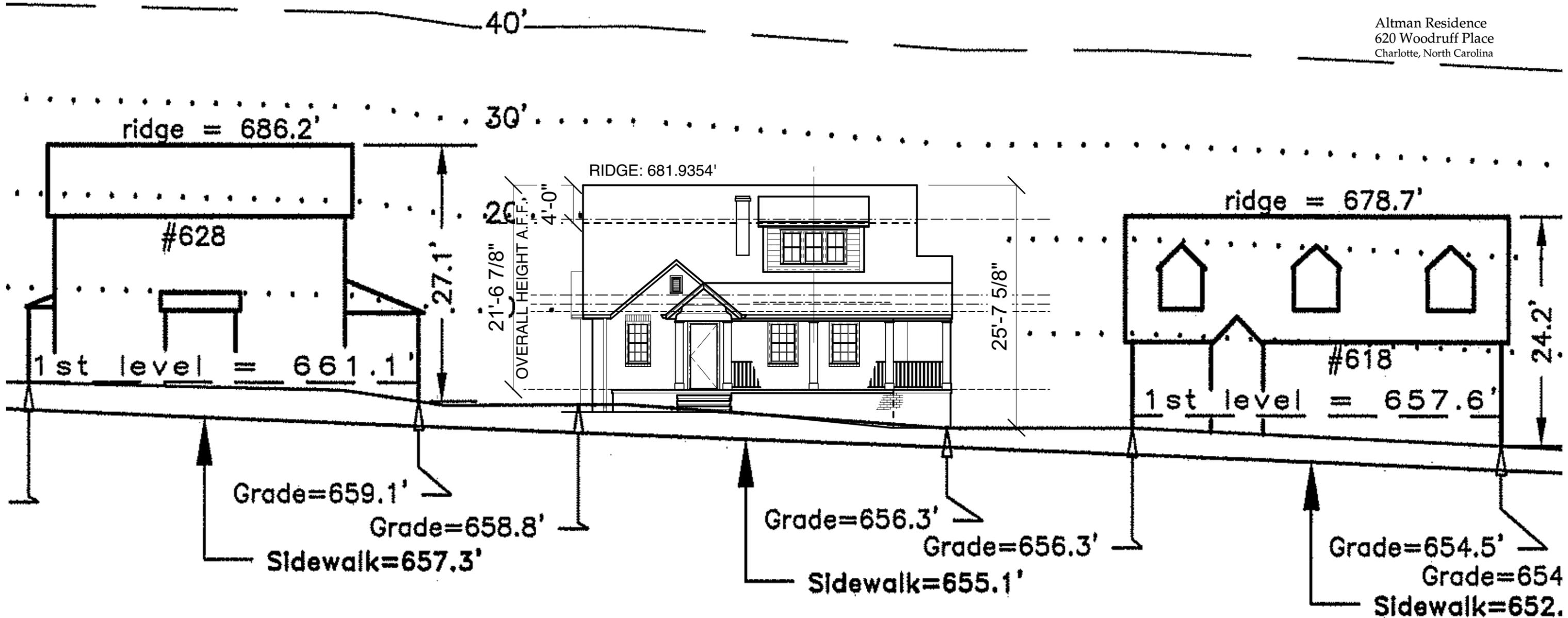


620 WOODRUFF PLACE  
STREETSCAPE W/ NEW ADDITION

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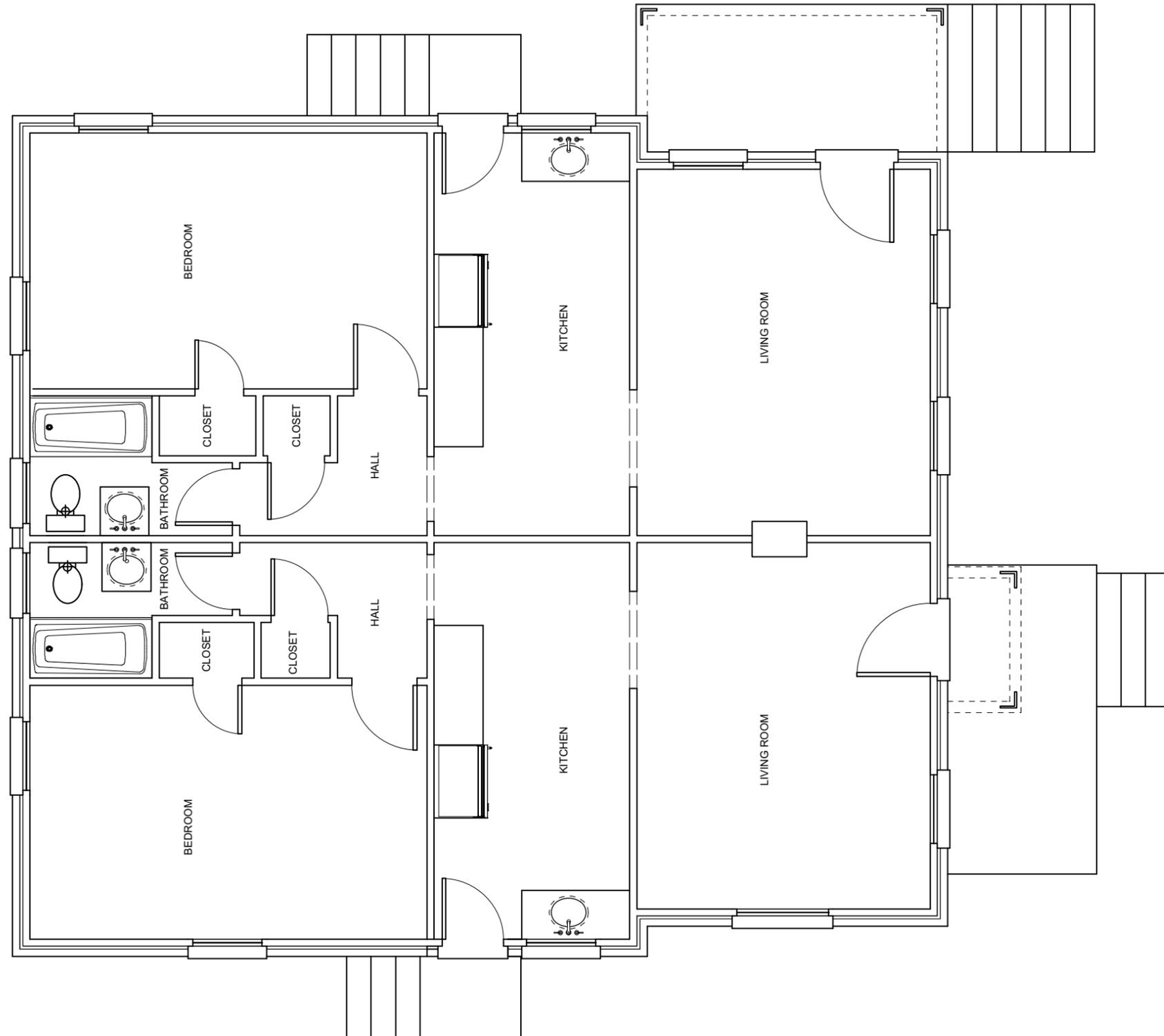
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620 WOODRUFF PLACE  
STREETSCAPE W/ NEW ADDITION

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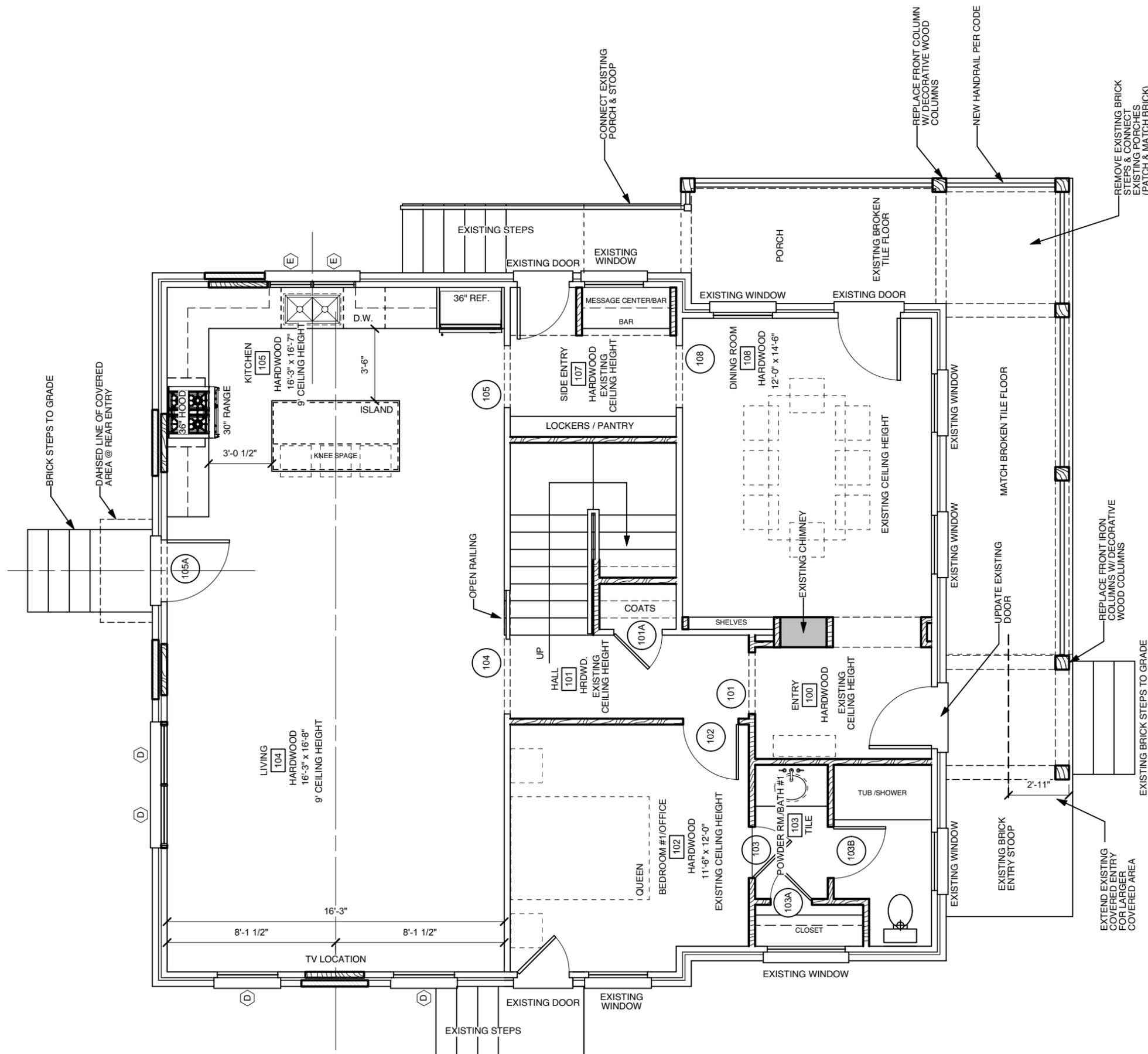


MAIN FLOOR PLAN-AS-BUILT  
1292 HEATED SQUARE FOOTAGE

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620 Woodruff Place  
Charlotte, North Carolina



2 MAIN FLOOR PLAN-RENOVATION  
A-1.0

1292 HEATED SQUARE FOOTAGE

	EXISTING WALL
	NEW WOOD WALL
	NEW BRICK WALL
	NEW CMU WALL

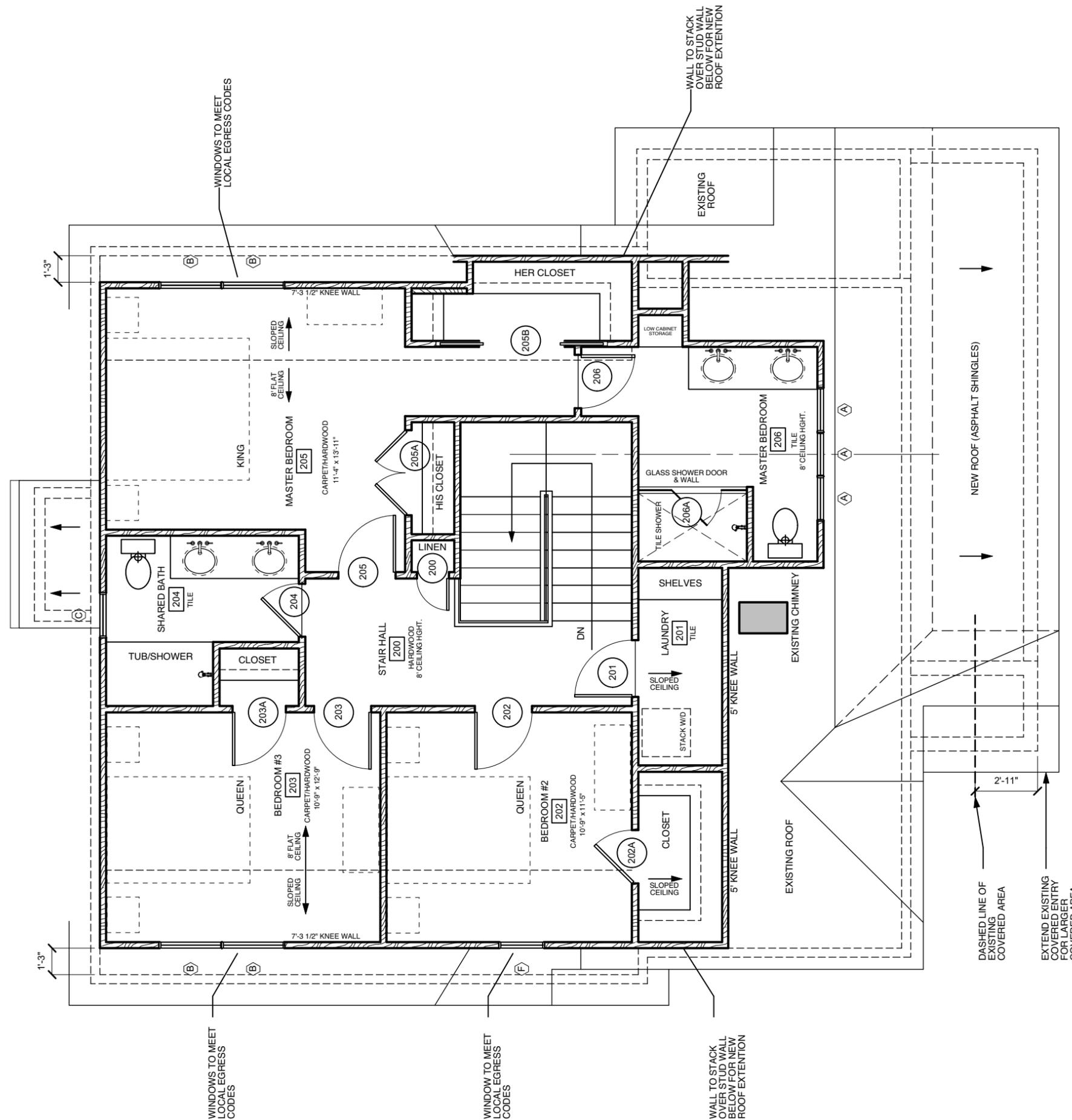
General Notes:

- 1) All dimensions shall be verified by the General Contractor. Any discrepancies between field conditions and those shown on these documents shall be brought to the attention of the Architect for resolution.
- 2) No changes in the design, layout or appearance shall be made without the review and written approval of the Architect.
- 3) Where new construction items are required to be installed in existing room, patch, match and restore all surfaces, finishes and abutting trim and millwork.
- 4) All existing areas that become exposed to the exterior during constructions shall be protected from rain, sun, and construction traffic.

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1 SECOND FLOOR PLAN-RENOVATION  
A-1.1

1016 HEATED SQUARE FOOTAGE

- EXISTING WALL
- NEW WOOD WALL
- NEW BRICK WALL
- NEW CMU WALL

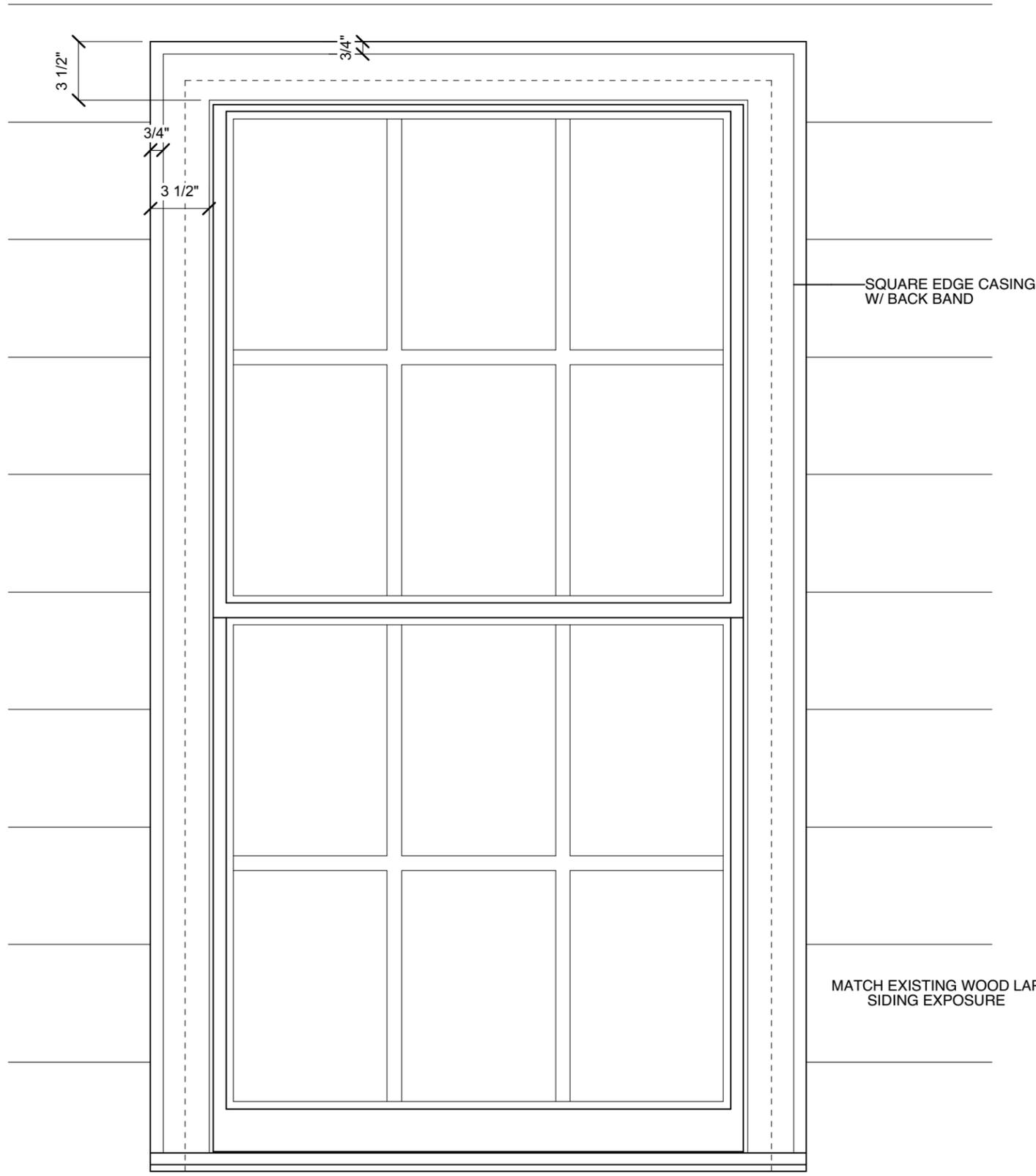
DASHED LINE OF EXISTING COVERED AREA  
2'-11"

EXTEND EXISTING COVERED ENTRY FOR LARGER COVERED AREA

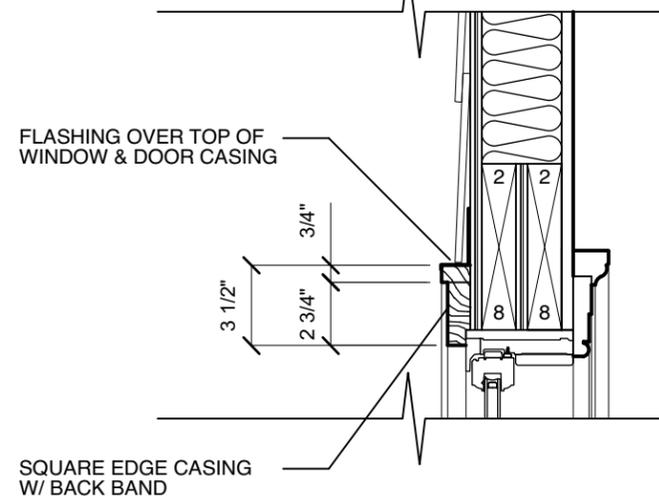
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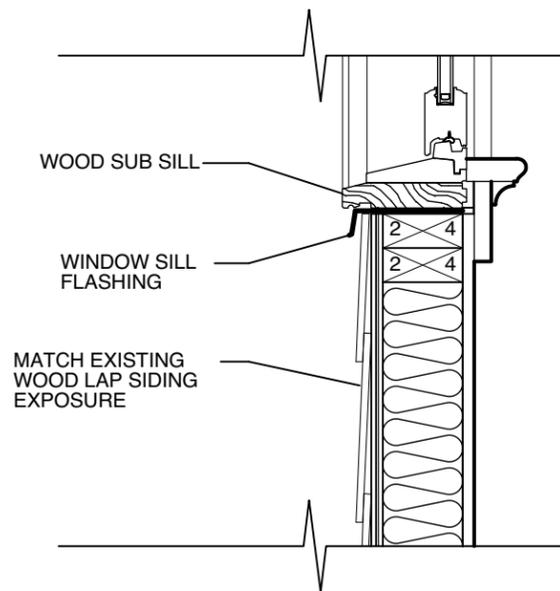
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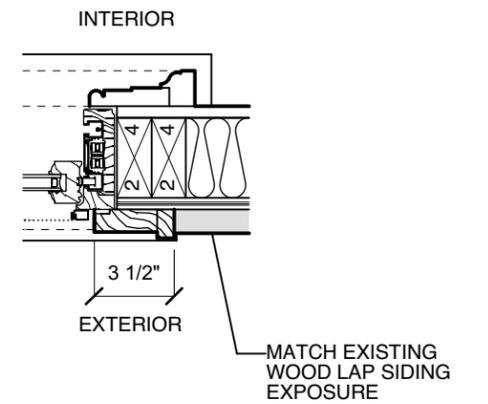
NOTE: CASING TO WRAP WINDOW & FINISH ON SUB-SILL ( NO PICTURE FRAME)



NOTE: CASING TO WRAP WINDOW & FINISH ON SUB-SILL ( NO PICTURE FRAME)



NOTE: WINDOWS IN BRICK TO MATCH EXISTING BRICK MOLD & TRIM.



**FEBRUARY**

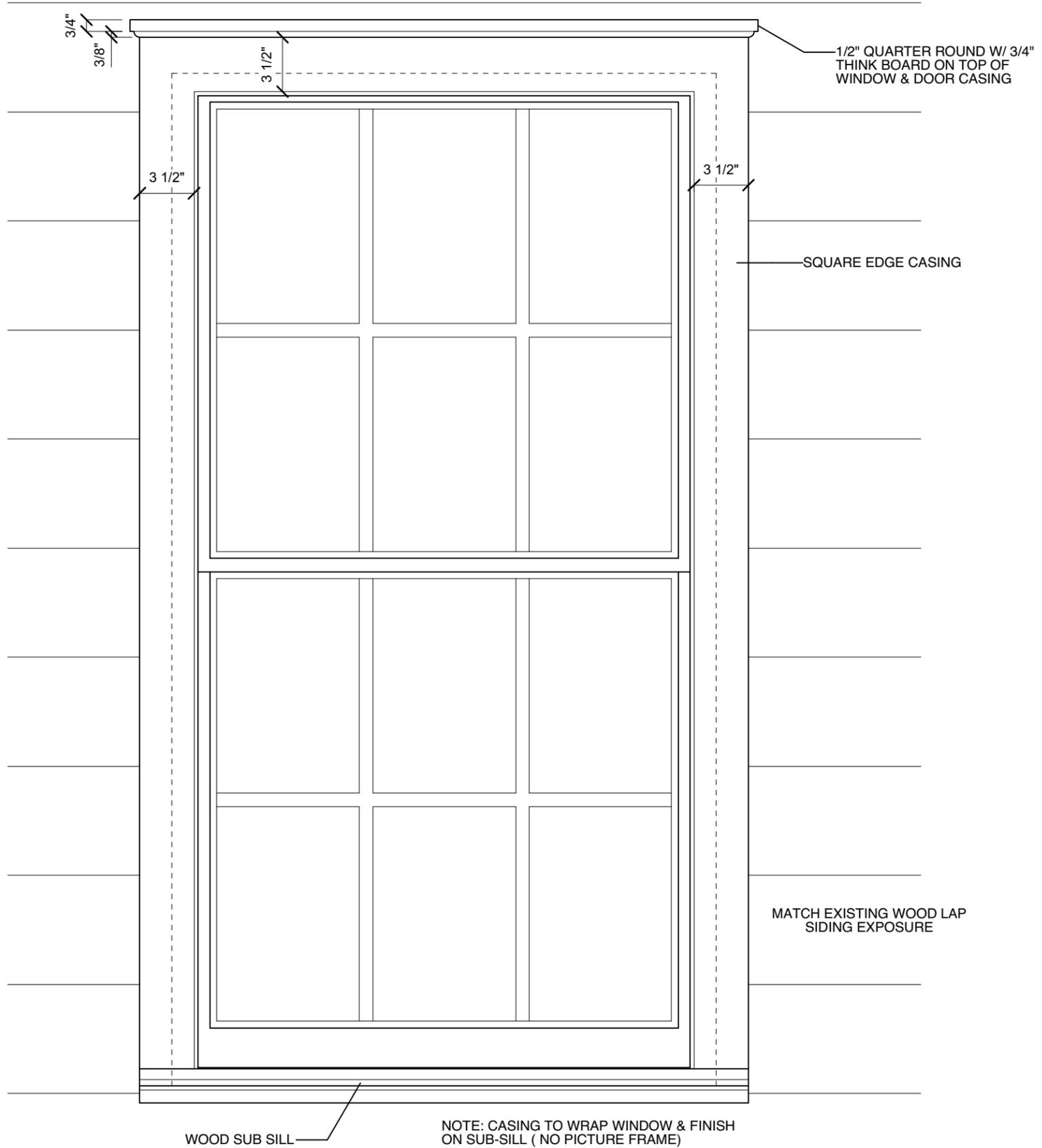
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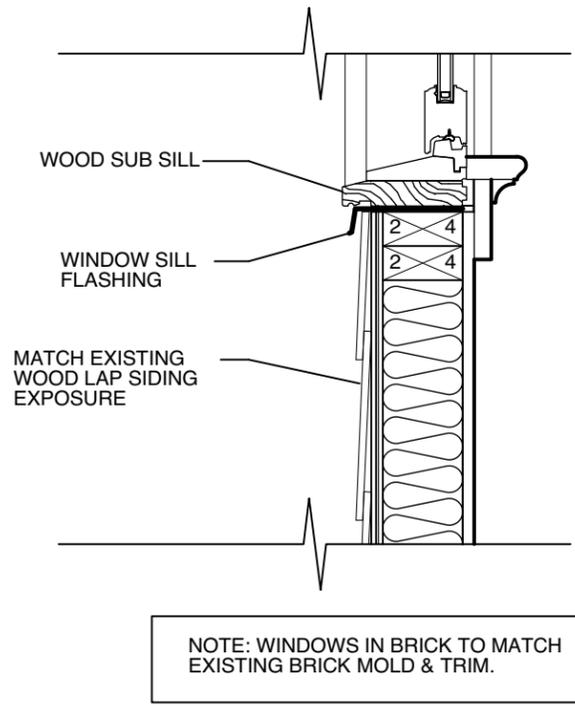
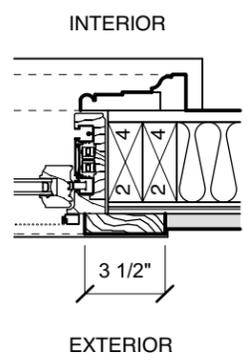
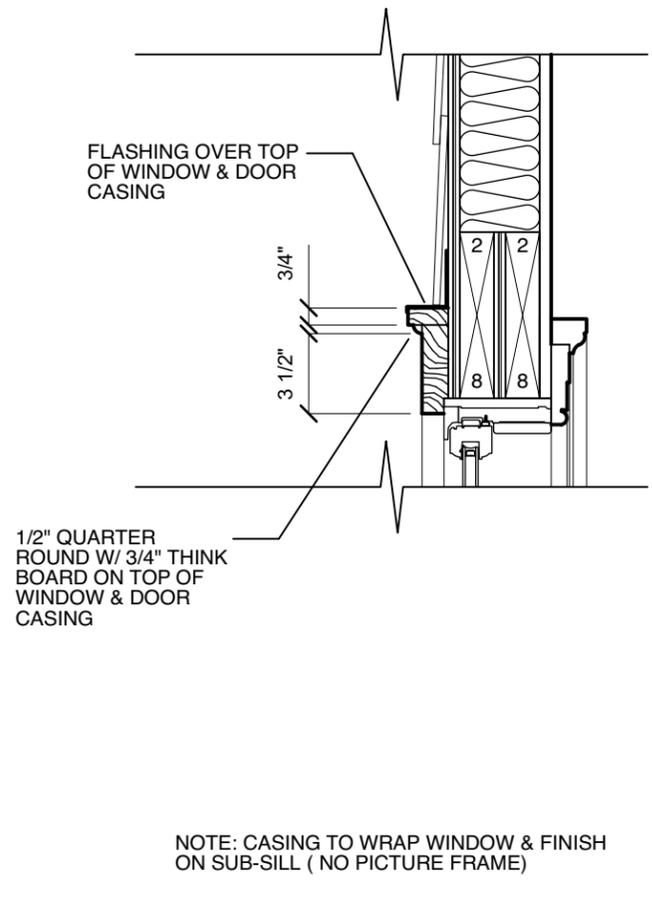
EXTERIOR DORMER WINDOW DETAIL (TYP.)  
1 1/2" = 1'-0"

DORMER WINDOW DETAIL  
1 1/2" = 1'-0"

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 620 Woodruff Place  
 Charlotte, North Carolina



EXTERIOR DORMER WINDOW DETAIL (TYP.)



DORMER WINDOW DETAIL

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