



**CHARLOTTE HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER: HDC 2016-306**

**DATE: 5 April 2017**

**ADDRESS OF PROPERTY: 909 Berkeley Avenue TAX PARCEL NUMBER: 123.093.06**

**HISTORIC DISTRICT: Dilworth**

**APPLICANT/OWNER: Architect Charles Watts on behalf of owners Miller and Gay Jordan**

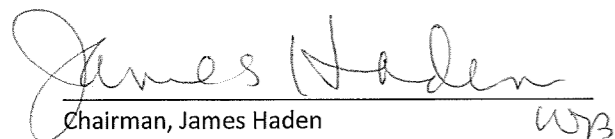
**DETAILS OF APPROVED PROJECT:** Rear Yard Addition. A pool cabana area will be created by connecting two existing buildings in far rear yard. New gabled roof will be supported by pairs of round columns. Ultimate height will not exceed 19'. Any new siding will match existing. See exhibits labeled 'Site Plan April 2017' and 'Elevations April 2017'. Iron (aluminum) picket style fence will enclose pool area. A wooden walk-through pergola and wooden gate will provide access into the pool area. See exhibit labeled 'Fence Details April 2017'. Hardie product may be used on the new construction.

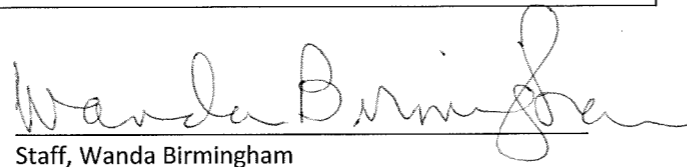
Applicable **Policy & Design Guidelines** – Projects Eligible for Administrative Approval

- Work in Rear Yards, including  
New rear yard accessory buildings and structures.

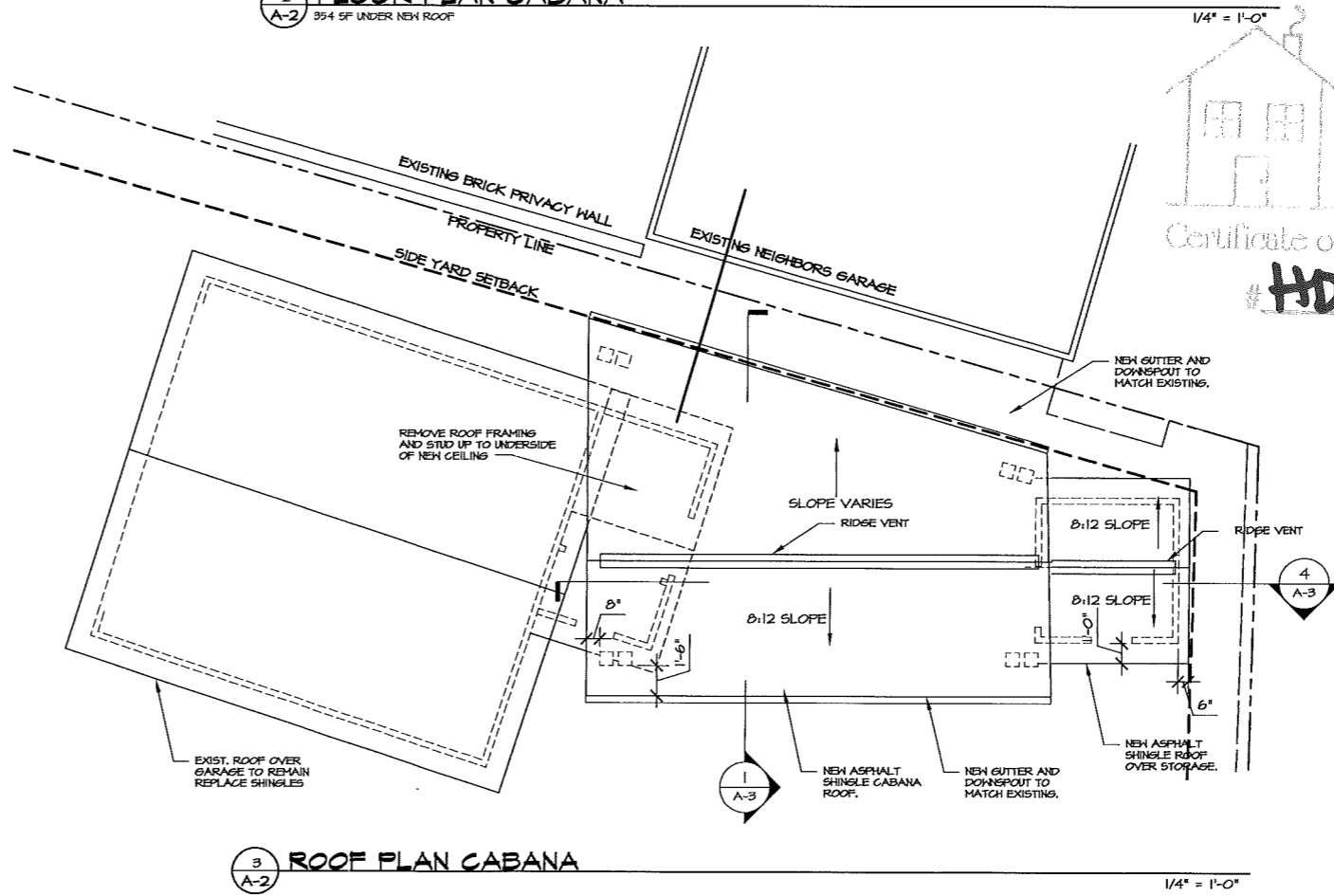
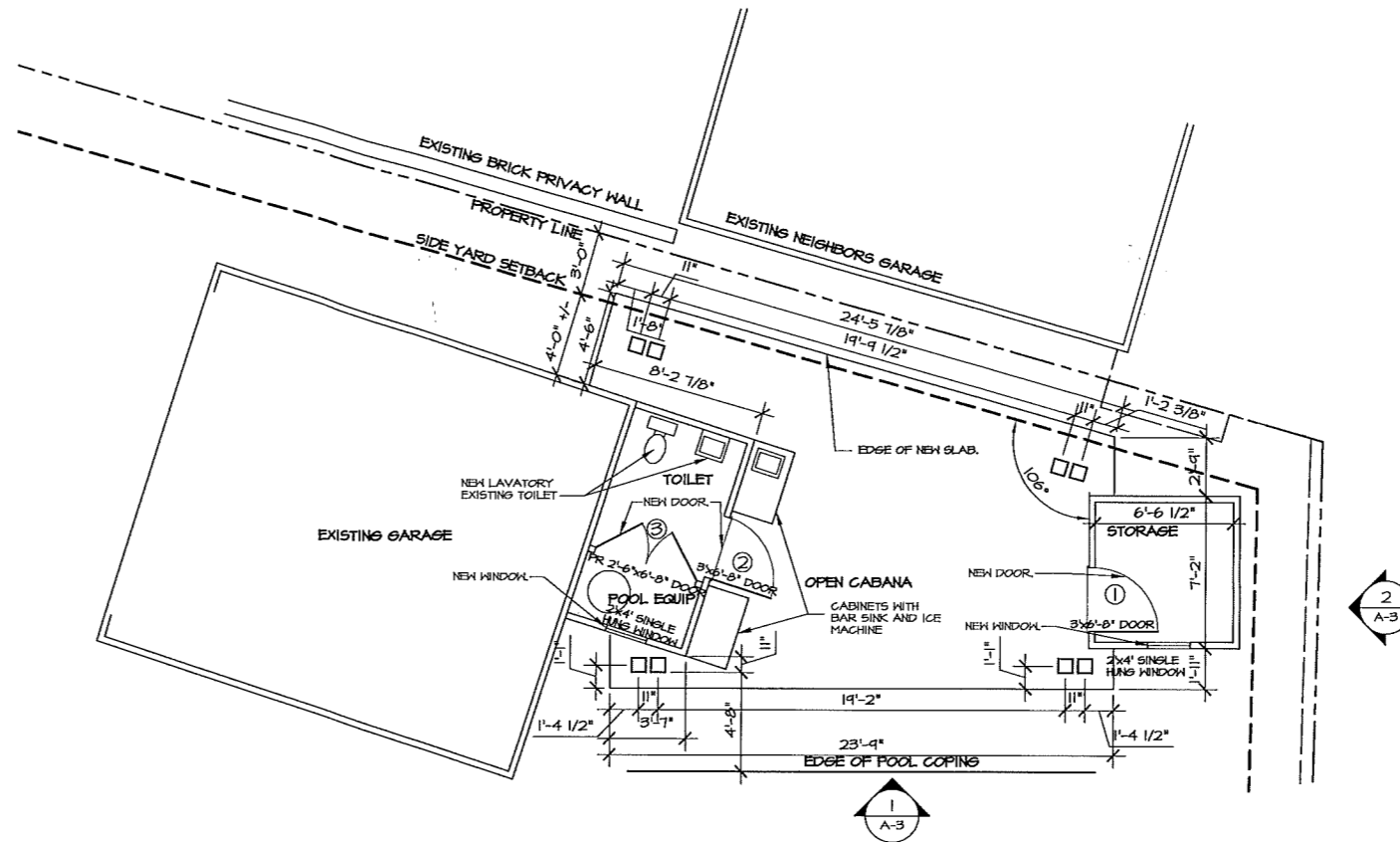
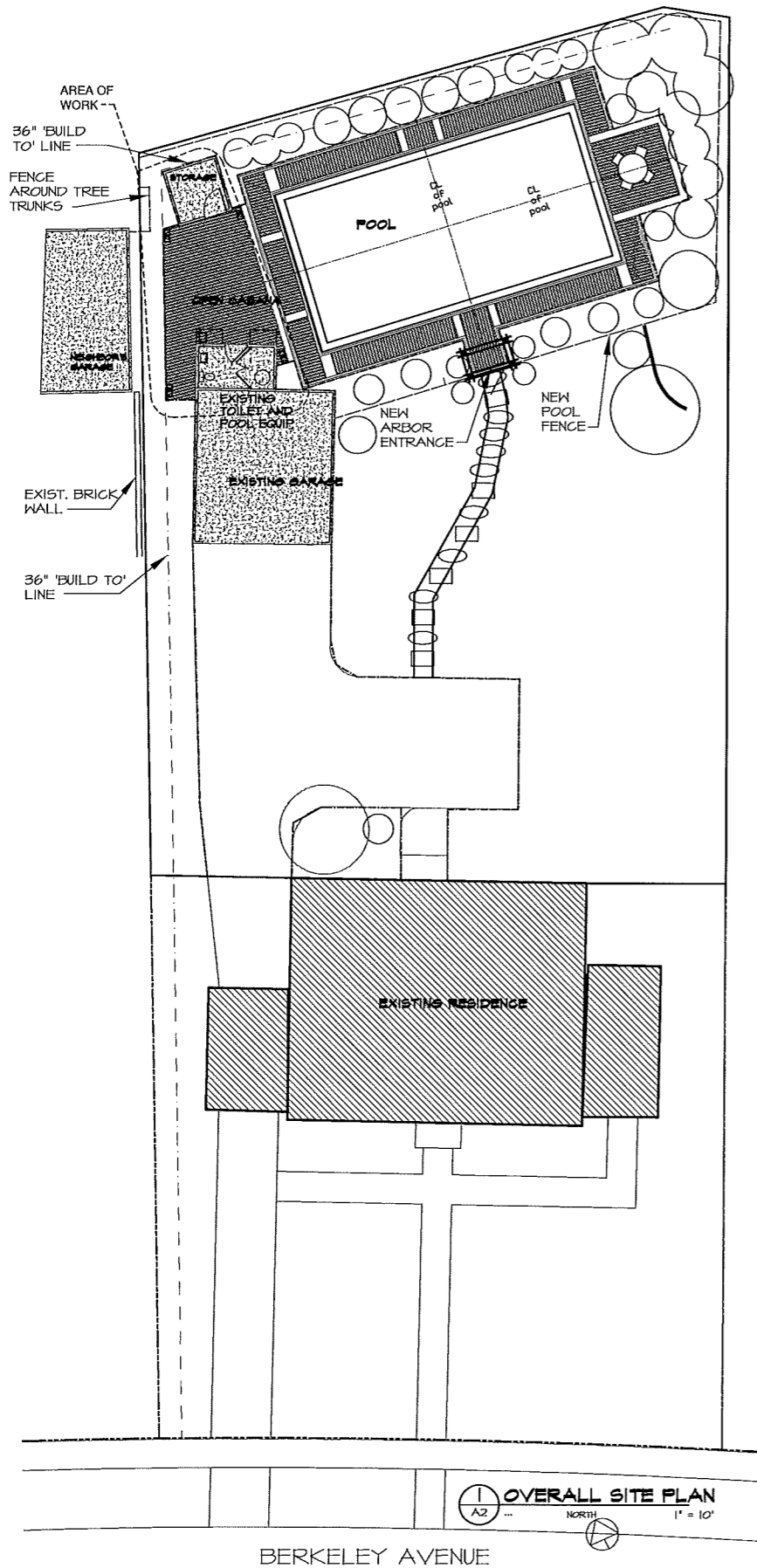
- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance .**

  
Chairman, James Haden

  
Staff, Wanda Birmingham

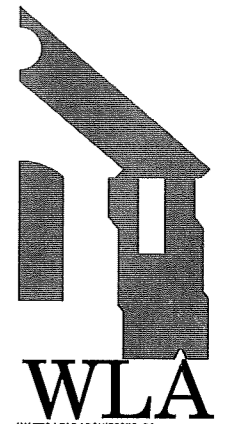




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Charlotte  
Historic District  
Commission

Certificate of Appropriateness  
#HDC. 2016.  
306



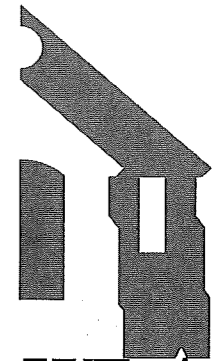
**WLA**  
WATTS LEAF ARCHITECTS, PA  
101 North McDowell Street, Suite 112  
Charlotte, North Carolina 28204  
PH 704 376 1200 FX 704 376 5111



**Jordan Pool Cabana**  
909 Berkeley Ave  
Charlotte, North Carolina 28203

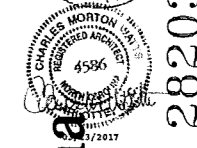
PROJECT	1600
DATE	21MAR17
DRAWN BY	AMP/CMW
CHECKED BY	CMW
OVERALL SITE PLAN CABANA PLAN ROOF PLAN	
<b>A-2</b>	

Site Plan April 2017

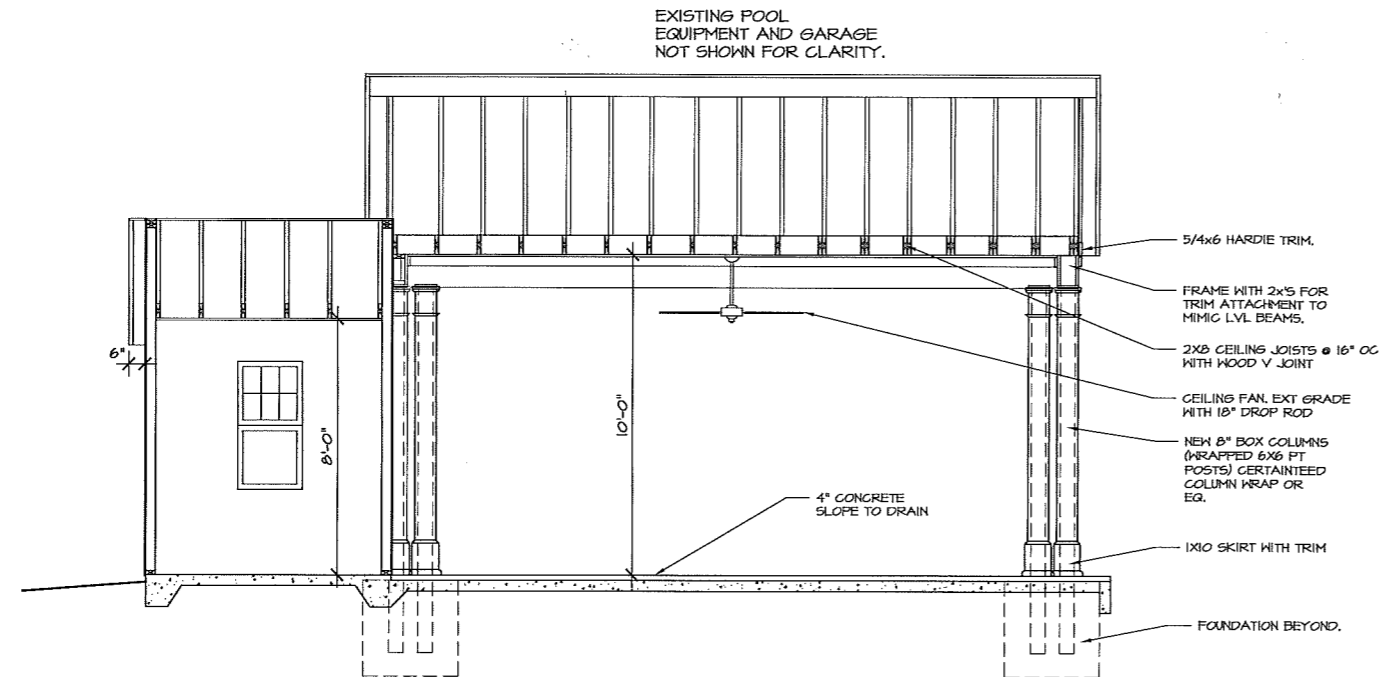


**WLA**

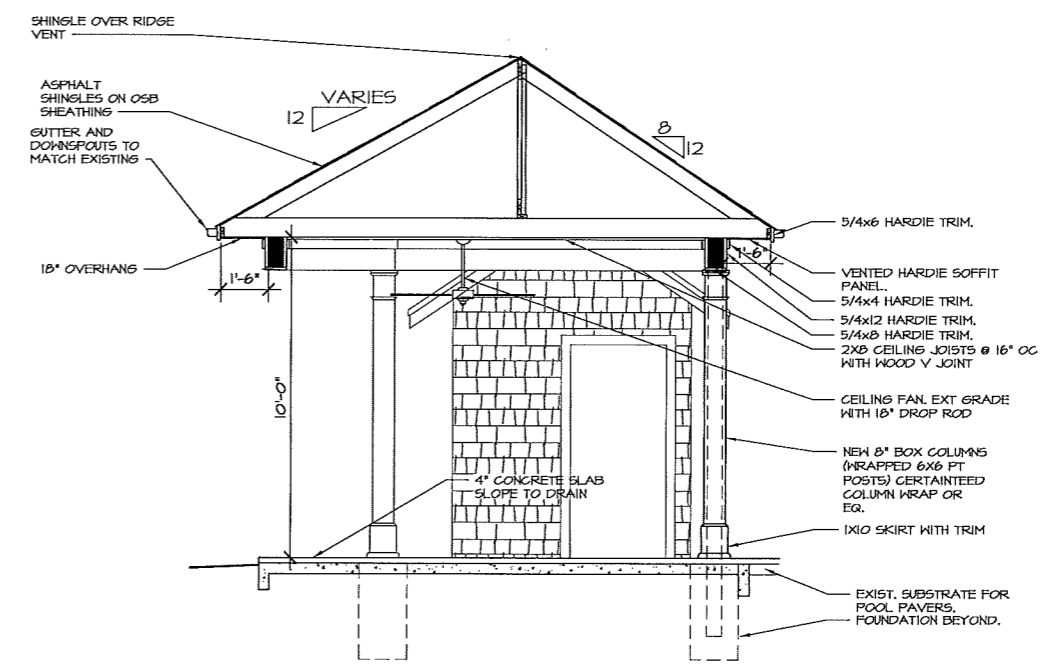
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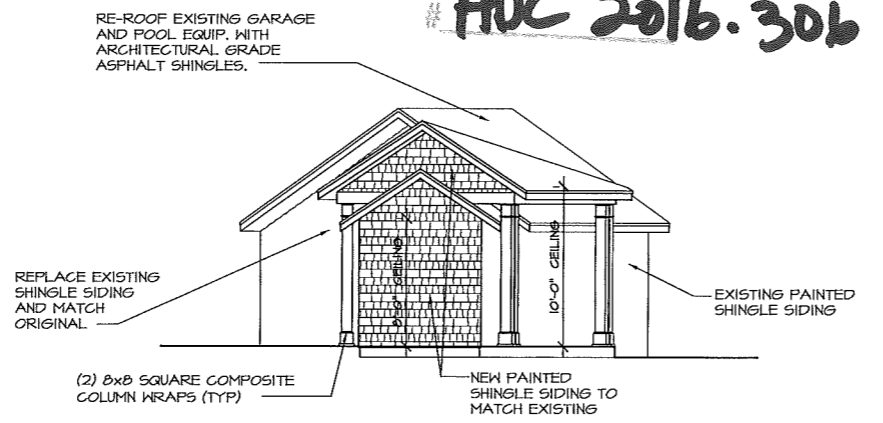


**4 SECTION THROUGH SCREEN PORCH**  
A-3

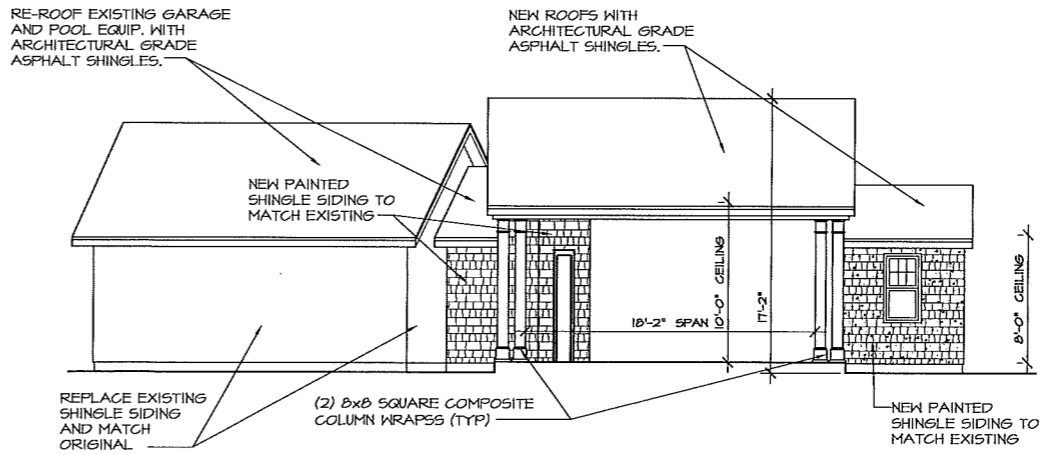


**3 SECTION THROUGH CABANA ROOF**  
A-3

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3/8"=1'-0"  
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# HOC 2016.306



**2 REAR ELEVATION**  
A-3



**1 POOL ELEVATION**  
A-3

Elevations April 2017

PROJECT	1600
DATE	21MAR17
DRAWN BY	AMP/CMW
CHECKED BY	CMW

ELEVATIONS  
BUILDING SECTIONS  
**A-3**