



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS – AMENDED

CERTIFICATE NUMBER: 2016-304

DATE: 4 January 2017

14 September 2017 – AMENDED

26 October 2017 – AMENDED

7 December 2017 – AMENDED

ADDRESS OF PROPERTY: 716 Woodruff Place

HISTORIC DISTRICT: Wesley Heights

TAX PARCEL NUMBER: 07103509

OWNER(S): Mynhardt Investments LLC

APPLICANT: Angie Lauer

DETAILS OF APPROVED PROJECT: The project is a rear addition, front porch restoration, and new rear deck. Exterior details of the addition are wood siding; wood Simulated True Divided Light (STD L) windows in a 6/6 pattern with wood trim; and roof details to match existing. A secondary chimney will be removed. All replacement vinyl windows on the first floor will be replaced with 6/6 STD L wood windows. The rear deck will be wood and the railing will be comprised of pickets centered on the top and bottom rails with an extra piece of trim on the top rail. The tree protection specifications on attached Sheet A-1 for the tree nearest to the new deck will be followed. The existing replacement front door will be replaced with a new wood front door, see attached exhibit labeled ‘Door Design – October 2017.’ The deteriorated wood front porch columns will be replaced to match existing with a simple cap and base. A new 6’ tall wood fence and matching access gate will be installed along the left and right property lines and will tie in at the rear corners of the original house, see attached exhibit labeled ‘Site Plan – December 2017.’ The fence will in the shadowbox style and painted or stained after an appropriate curing time. Any framing members of the fence will face inward to the property being enclosed or both sides of the fence will be the same. An dilapidated storage shed will be removed. No additional site improvements will be made (i.e. changes to existing driveway, new accessory structures, or tree removal). See attached plans amended in September, October, and December 2017.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 23: Work in Rear Yards and Replacement Windows and Doors.
2. This application is in compliance with the Policy & Design Guidelines for Windows and Doors (page 26) and Work in Rear Yards (page 64).

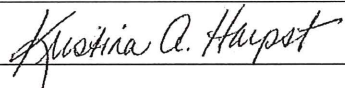
Continued on next page

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



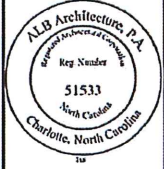
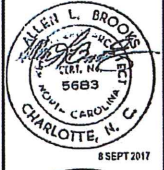
James Haden, Chairman



Staff



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E-mail:
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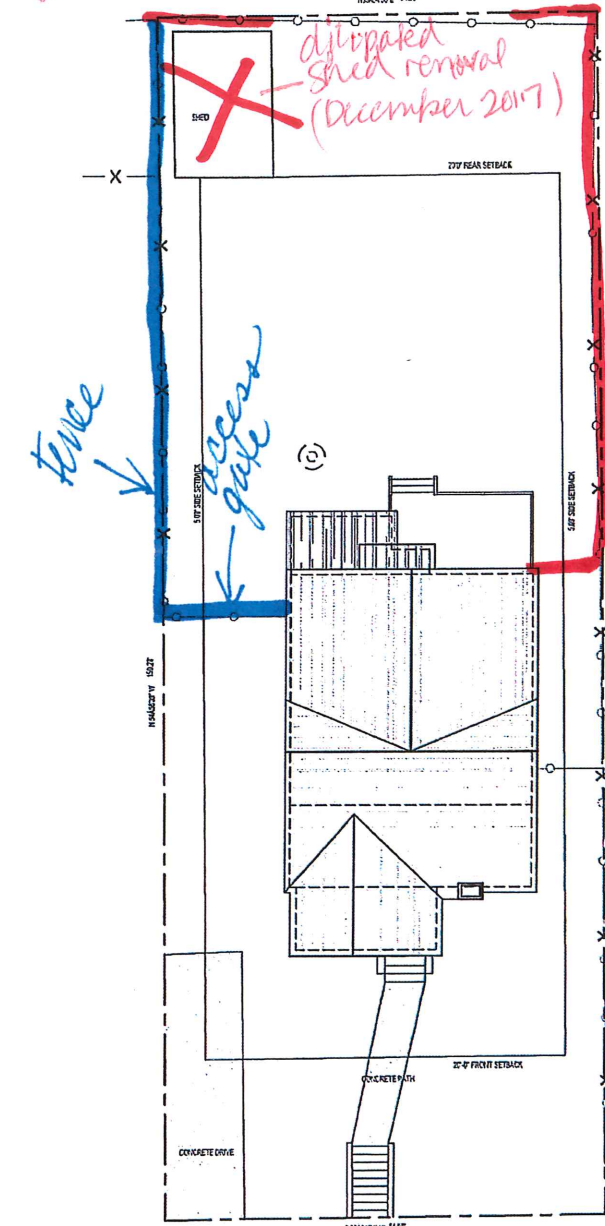
Historic Addition & Renovation For The :
MYNHARDT RESIDENCE
716 Woodruff place, Charlotte NC 28208

PROJECT #: 15068
ISSUED: 8 SEPT 2017
REVISIONS:

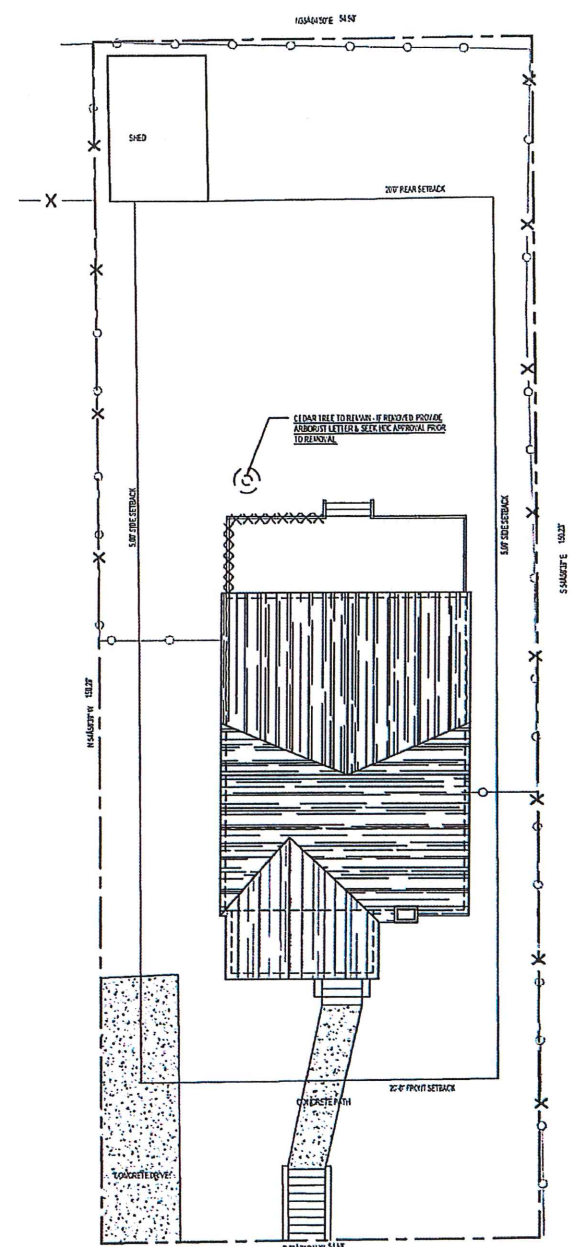
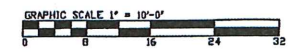
EXISTING & PROPOSED SITE PLANS
A-1
OF: TEN

October 2017

September 2017

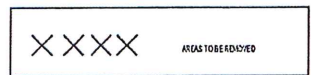


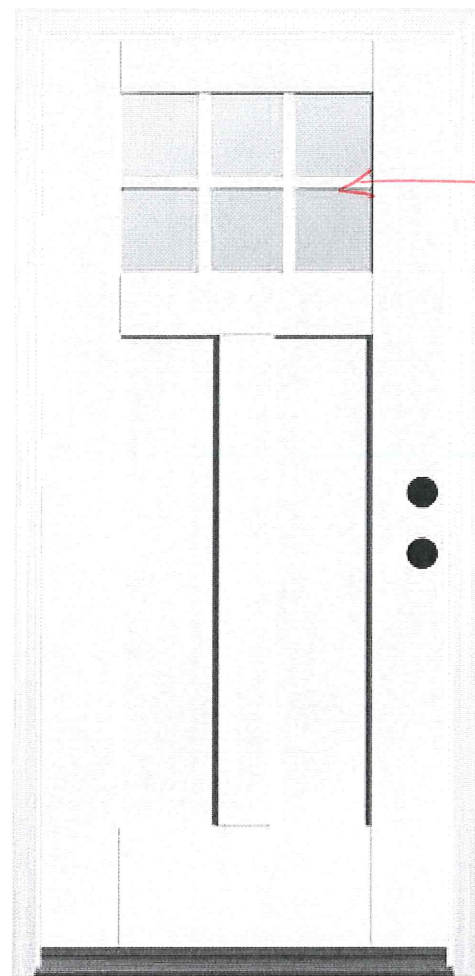
1 PROPOSED SITE PLAN
1" = 10'-0"



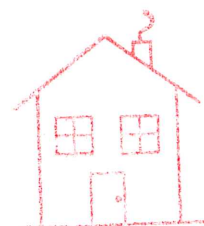
2 EXISTING SITE PLAN
1" = 10'-0"

- STAIRS, RAILING & GUARD NOTES:**
- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 - R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 - R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
 - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE ON OPEN SIDE OF STAIR.
- GENERAL NOTES:**
- ALL DIMENSIONS IN FOUNDATION FROM FACE OF BRICK
 - 8'-3" FIRST FLOOR CEILING HEIGHT.
 - RAIL @ 36" A.F.F. IF GRADE EXCEEDS 22" IN HEIGHT WITHIN 3'-0" OF PORCHES.
 - ALL EAVES TO MATCH EXISTING UNO.
 - USE DOUBLE FELT WITH SNOW GICE GUARD FOR ALL ROOFS WITH PITCHES 4:12 & LESS
 - PROVIDE RIGID MATERIAL OR AIR BARRIER EXCLOSING CAVITY INSULATION BEHIND SHOWER & TUB AREAS AS PER 1102.2.12
 - PROVIDE REQUIRED CORROSION RESISTANT FLASHING ON ALL LOCATIONS PER R903.2.1
- NOTE:**
- REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE DESIGNERS PERMISSION, SHALL BE AT THE CLIENTS SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE DESIGNER HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
 - THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.





Wood Front Door
exterior molded muntins



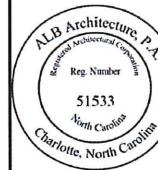
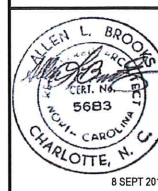
APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

HDC# 2016-304

'Door Design - October 2017'



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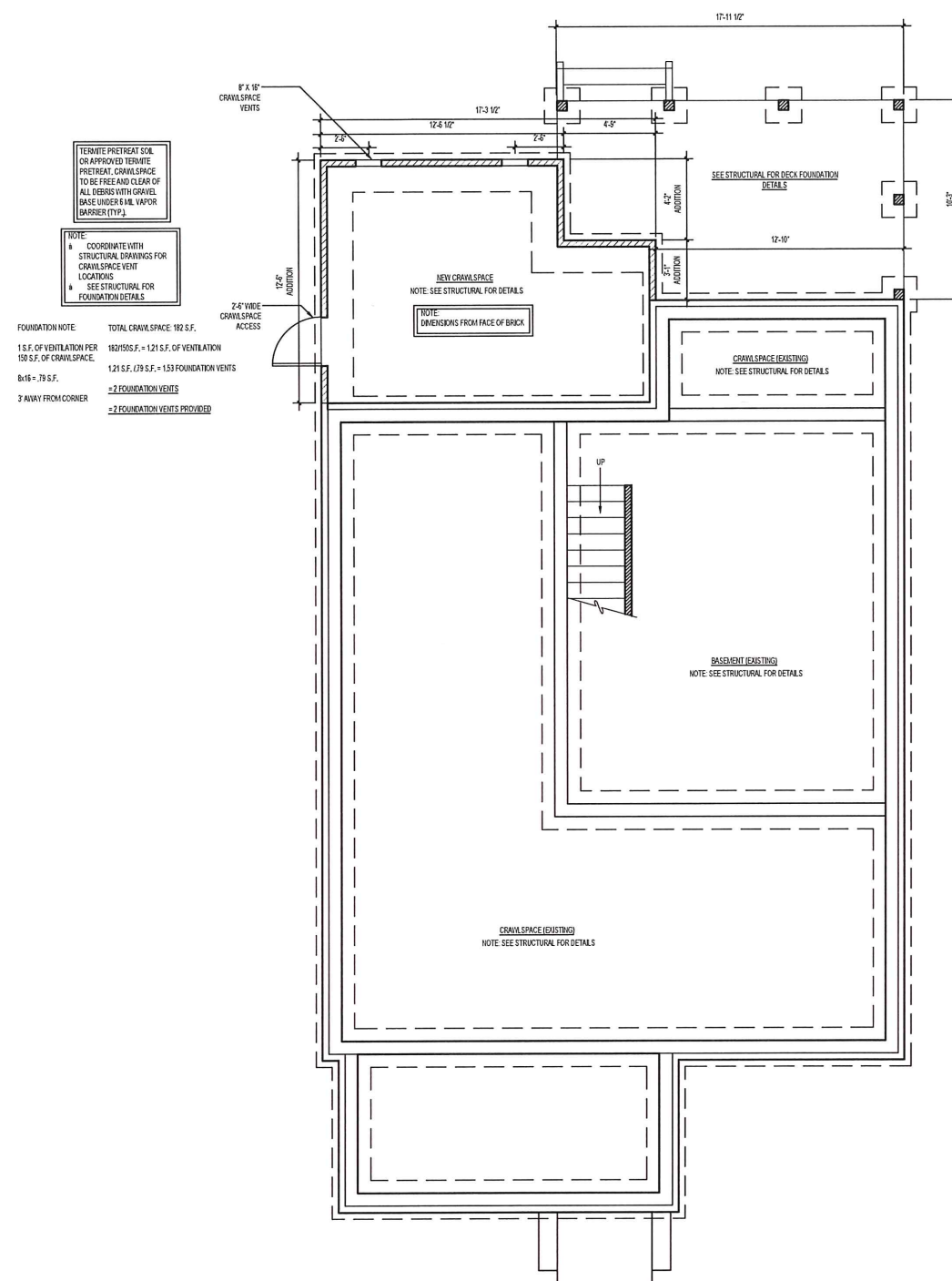
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PROJECT #:	16066
ISSUED:	8 SEPT 2017
REVISIONS:	

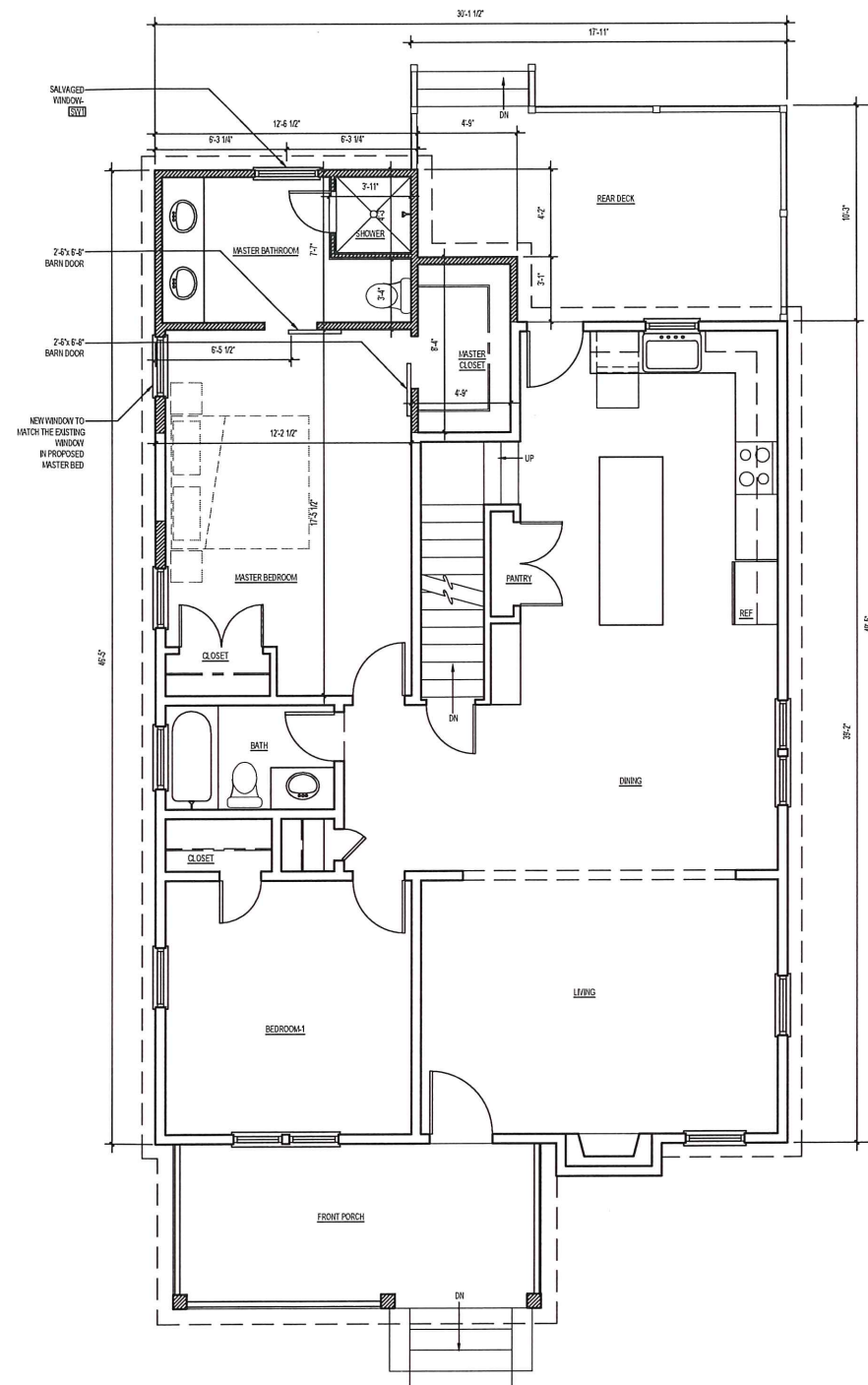
PROPOSED PLANS

A-6

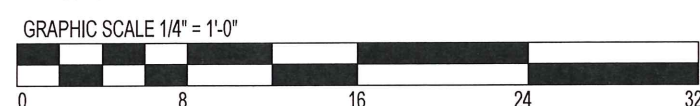
OF: TEN



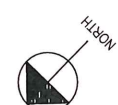
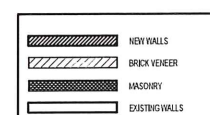
② PROPOSED FOUNDATION PLAN

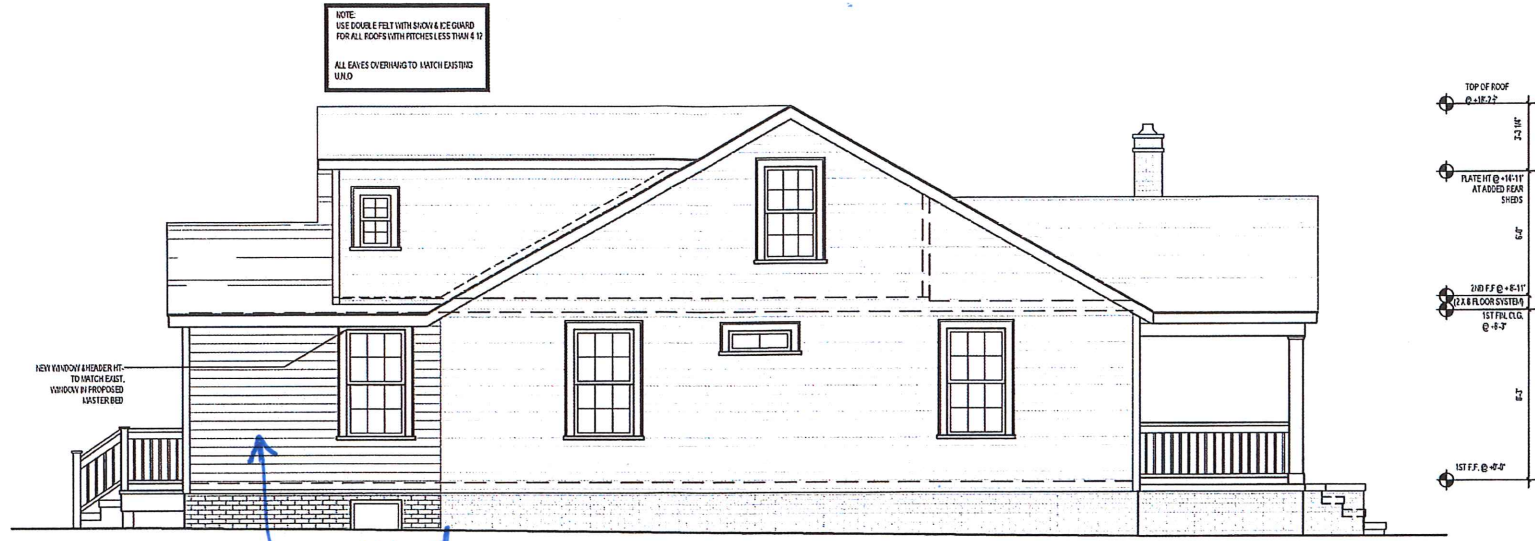


① EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



- STAIRS, RAILING & GUARD NOTES:**
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
 - 2.1. A1B SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 - 3.1. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.
 5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON OPEN SIDE OF STAIRS & SERVES AS THE RAILING.
 - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER).
GUARDS SHALL NOT ALLOW PASSAGE OF A $\frac{4}{4}$ DIAMETER SPHERE ON OPEN SIDE OF STAIR.
- GENERAL NOTES:**
1. ALL DIMENSIONS IN FOUNDATION FROM FACE OF BRICK
 2. FIRST FLOOR CEILING HEIGHT
 3. RAIL @ 30" O.C. IF GRADE EXCEEDS 20" IN HEIGHT WITHIN 3'-0" OF POLES
 4. ALL EAVES TO MATCH EXISTING G.U.O.
 5. USE DOUBLE FELT WITH SNOW GICE GUARD FOR ALL ROOFS WITH PITCHES 4:12 & LESS
 6. PROVIDE RIGID MATERIAL OR AIR BARRIER ENCLOSING CAVITY INSULATION BEHIND SHOWER & TUB AREAS AS PER N1102.2.12
 7. PROVIDE REQUIRED CORROSION RESISTANT FLASHING ON ALL LOCATIONS PER R903.2.1
- NOTE:**
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② PROPOSED LEFT ELEVATION
1/4" = 1'-0"

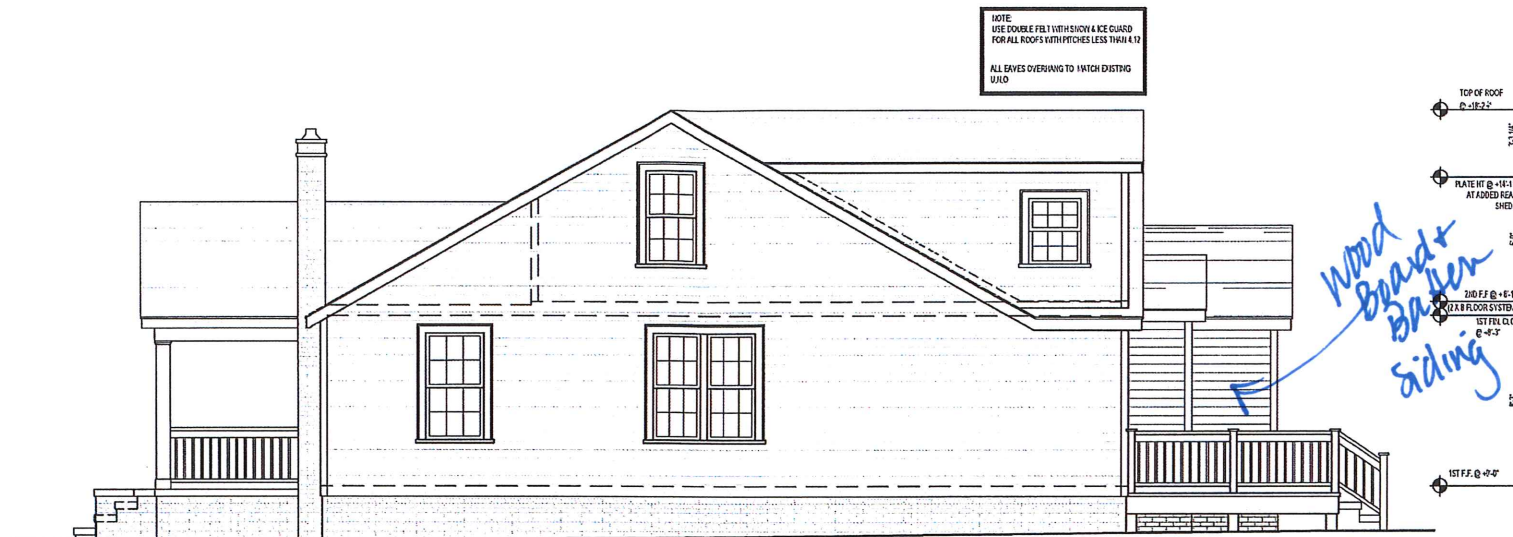


September 2017



① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

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 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
 - R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
 - R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
 - R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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- GENERAL NOTES:
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 - 8'-3" FIRST FLOOR CEILING HEIGHT.
 - RAIL @ 36" A.F.F. IF GRADE EXCEEDS 28" IN HEIGHT WITHIN 3'-0" OF PORCHES.
 - ALL EAVES TO MATCH EXISTING UNO.
 - USE DOUBLE FELT WITH SNOW & ICE GUARD FOR ALL ROOFS WITH PITCHES 4:12 & LESS
 - PROVIDE RIGID MATERIAL OR AIR BARRIER ENCLOSED CAVITY INSULATION BEHIND SHOWER & TUB AREAS AS PER N1102.2.12
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② PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

APPROVED
Charlotte Historic District
Commission
Certificate of Appropriateness
2016-304
September 2017



① PROPOSED REAR ELEVATION
1/4" = 1'-0"

STAIRS, RAILING & GUARD NOTES:

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- EXCEPTION DOES NOT APPLY TO THIS PROJECT.
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GENERAL NOTES:

- ALL DIMENSIONS IN FOUNDATION FROM FACE OF BRICK.
- 8'-3" FIRST FLOOR CEILING HEIGHT.
- RAIL @ 36" A.F.F. IF GRADE EXCEEDS 28" IN HEIGHT WITHIN 3'-0" OF PORCHES.
- ALL EAVES TO MATCH EXISTING UNO.
- USE DOUBLE FELT WITH SNOW & ICE GUARD FOR ALL ROOFS WITH PITCHES 4:12 & LESS.
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716 Woodruff place, Charlotte NC 28208

PROJECT #: 16066
ISSUED: 8 SEPT 2017
REVISIONS:

PROPOSED ELEVATIONS

A-9

OF: TEN