

## **CHARLOTTE HISTORIC DISTRICT COMMISSION**

## **CERTIFICATE OF APPROPRIATENESS – AMENDED**

**CERTIFICATE NUMBER: 2016-304** 

DATE: 4 January 2017

14 September 2017 – AMENDED 26 October 2017 – AMENDED 7 December 2017 – AMENDED

**ADDRESS OF PROPERTY:** 716 Woodruff Place

**HISTORIC DISTRICT:** Wesley Heights

TAX PARCEL NUMBER: 07103509

**OWNER(S):** Mynhardt Investments LLC

**APPLICANT:** Angie Lauer

**DETAILS OF APPROVED PROJECT:** The project is a rear addition, front porch restoration, and new rear deck. Exterior details of the addition are wood siding; wood Simulated True Divided Light (STDL) windows in a 6/6 pattern with wood trim; and roof details to match existing. A secondary chimney will be removed. All replacement vinyl windows on the first floor will be replaced with 6/6 STDL wood windows. The rear deck will be wood and the railing will be comprised of pickets centered on the top and bottom rails with an extra piece of trim on the top rail. The tree protection specifications on attached Sheet A-1 for the tree nearest to the new deck will be followed. The existing replacement front door will be replaced with a new wood front door, see attached exhibit labeled 'Door Design – October 2017.' The deteriorated wood front porch columns will be replaced to match existing with a simple cap and base. A new 6' tall wood fence and matching access gate will be installed along the left and right property lines and will tie in at the rear corners of the original house, see attached exhibit labeled 'Site Plan - December 2017.' The fence will in the shadowbox style and painted or stained after an appropriate curing time. Any framing members of the fence will face inward to the property being enclosed or both sides of the fence will be the same. An dilapidated storage shed will be removed. No additional site improvements will be made (i.e. changes to existing driveway, new accessory structures, or tree removal). See attached plans amended in September, October, and December 2017.

- 1. Applicable Policy & Design Guidelines and Approval Authority Projects Eligible for Administrative Approval, page 23: Work in Rear Yards and Replacement Windows and Doors.
- 2. This application is in compliance with the Policy & Design Guidelines for Windows and Doors (page 26) and Work in Rear Yards (page 64).

Continued on next page

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street Charlotte, NC 28202-2853 PH: (704)-336-2205 FAX: (704)-336-5123

COA# 2016-304
Page 2
January 4, 2017
September 14, 2017 - AMENDED
October 26, 2017 - AMENDED
December 7, 2017 - AMENDED

- > This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- > Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- > No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- > All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

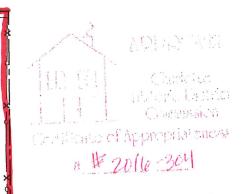
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

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James Haden, Chairman	Staff / [

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September 2017



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STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR

INCHES IN CLEAR WIDHTH AT LIPORITS ABOVE THE PERMITTED HANDRAIL HEIGHT.—SEE PLANS FOR CLEAR WIDTH.

1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.

2. R311.7.4.1 RISER HEIGHT.—THE MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.

3. R311.7.4.2 TISER DEPTH.—THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES FOR THIS PROJECT.

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4. R311.7.1 HANDRAILS.—HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OF MORE RISERS.

7. R311.7.1 HANDRAIL HEIGHT.—HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

5. R312.2 GUARD HEIGHT.—GUARDS SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.

6. R312.2 GUARD HEIGHT.—GUARDS SHALL NOT BE LESS THAN 34 INCHES FON THE OPEN SIDE OF STAIR & SERVE'S AS THE PAILING.

7. R312.3 OPENING IMPATIONS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPRIERE 4 INCHES IN DIAMETER.

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GENERAL NOTES:

1. ALL DIMENSIONS IN FOUNDATION FROM FACE OF BRICK
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I. RAIL 83'S A.F.F. IF GRADE EXCEEDS 29'INHEIGHT VITHIN 3'-0' OF PORCHES.

1. ALL EAVES TO MATCH EXISTING U.N.O.

1. USE DOUBLE FELT WITH SNOTY BLICE GUARD FOR ALL ROOFS WITH PITCHES 41'S 4 LESS

1. PROVIDE RIGID MATERIAL OR AIR BARRIER EXCLOSING CAVITY INISLATION BEHIND SHOWER 8 TUB AREAS AS PER INID 2.212

1. PROVIDE RECURRED CORROSION RESISTANT FLASHING ON ALL LOCATIONS PER RIGID.2.12

NOTE:

1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CUEHT, WITHOUT THE DESIGNERS FERMISSION, SHALL BE AT THE CUEHT SOLE RISK, AND THE CUEHT AGREES TO INDIPMETY AND HIGH THE DESIGNER PRANCES FOR ALL CLAMS, DAMAGES AND EXPENSES, INCLUMING ATTORIVEY FEES ANSING OUT OF SUCH REUSE OF SUCH HAND GROWN OF THE STANDARD HAND FOR ANY REASON, ALL DIVERSIONS TO BE FEEL OF FOR ANY REASON, ALL DIVERSIONS TO BE FEEL OF VERTICOL FOR ANY REASON, ALL DIVERSIONS TO BE THE OFFERD AND REASON, ALL DIVERSIONS OF BATHER OFFERD AND REASONS. ARE IN QUESTION DEFINING AND REMOVED THE ORDER OF THE OFFERD AND REASONS.



WOODRUFF PLACE







ALB Architecture 1200 E. Morehead St. Suile 240 Charlotte, NC 28204 Phone: 704.503.9595

E-mail: brooks.alb@icloud.com lauerarch@aol.com





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RESIDENCE 9, Charlotte NC 28208

Addition & Renovation For The MYNHARDT F

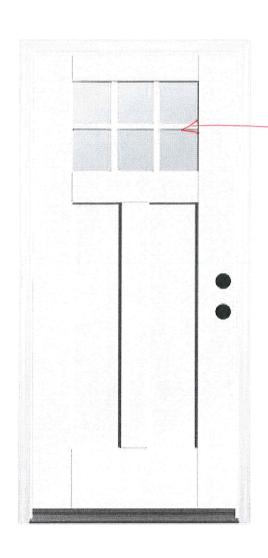
PROJECT #: 16065 ISSUED: 8 SEPT 2017 REVISIONS:

Historic

EXISTING & PROPOSED SITE PLANS

A-1 OF: TEN

 $2 \frac{\text{EXISTING SITE PLAN}}{r = 10^{\circ}0^{\circ}}$ 

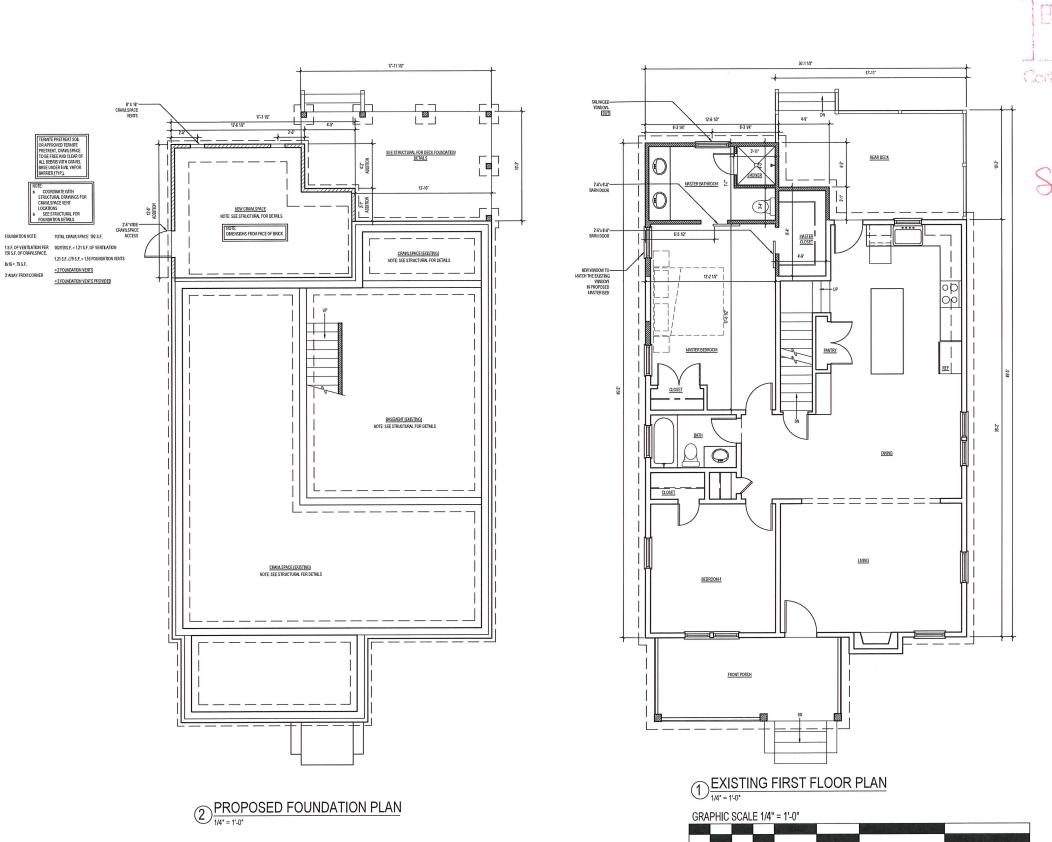


Wood Front Door
- Exterior molded muntins



Down Design - October 2017

nunting		





**APPROVED** 

Charlotte Historic District Commission

Certificate of Appropriatences

##2016-304

September 2017

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OF A SPHERE 4 INCHES IN DIAMETER.

(BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 48 DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.

NEW WALLS BRICK VENEER





architecture

ALB Architecture 1200 E, Morehead St. Suite 240 Charlotte, NC 28204 Phone: 704.503.9595

brooks.alb@icloud.com lauerarch@aol.com





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MYNHARDT RESIDENCE 716 Woodruff place, Charlotte NC 28208

Addition & Renovation For The

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EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE

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THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL
DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN
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PROPOSED PLANS A-6

PROJECT #: 16066 ISSUED: 8 SEPT 2017 REVISIONS:

OF: TEN







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Historic Addition & Renovation For The

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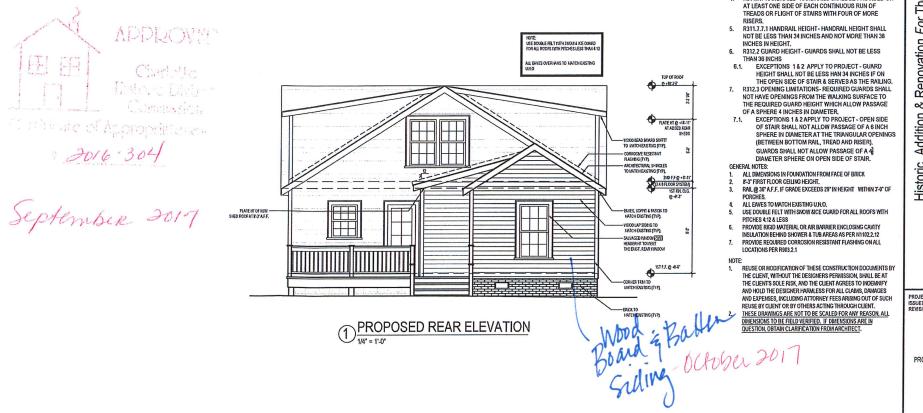
PROJECT #: 16066 ISSUED: 8 SEPT 2017 REVISIONS:

PROPOSED ELEVATIONS

A-8 OF: TEN



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architectur

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orooks.alb@icloud.com auerarch@aol.com





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Historic Addition & Renovation For The

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PROPOSED ELEVATIONS

A-9

OF: TEN