



**CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

CERTIFICATE NUMBER: HDC 2016 - 263

DATE: 30 September 2016

ADDRESS OF PROPERTY: 1900 Dilworth Road East

TAX PARCEL NUMBER: 121.116.12

HISTORIC DISTRICT: Dilworth

OWNER: Jane Morgan

APPLICANT: Todd Bolyard

DETAILS OF APPROVED PROJECT: Fence. Wooden fence will be added along back property line to complete the enclosure of the back yard. See exhibit labeled 'Fence Location September 2016'. Height will not exceed six feet. 6' panels will be butt joined to 6x6 uprights. Top ¼ of fence will be framed off (top and bottom) lattice work. Finials or decorative treatment of top of 6x6 uprights may extend above the 6' height. Fence will be painted or stained. See exhibit labeled 'Fence Design September 2016'. Any cross member framing will be to the inside or to both sides.

Applicable ***Policy & Design Guidelines***: Fences page 56

4. The structural members of any fence must face inward to the property being fenced. The HDC will consider approving fences where the structural members are an integral part of an overall design and where both sides of the proposed fence are identical.
5. Wooden fences must be painted or stained.
6. No fencing may be over six feet in height, as measured from the outside at grade.
8. Fencing must avoid any style that presents a long unbroken expanse to adjacent properties or to public thoroughways.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building

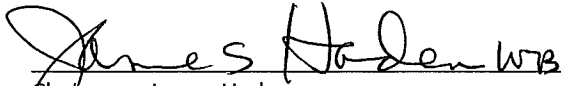
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

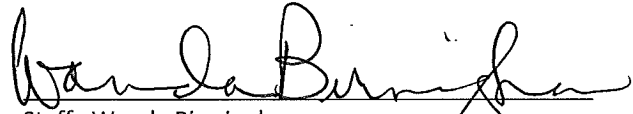
www.charlotteplanning.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

Date 30 September 2016

permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance .


Chairman, James Haden


Staff, Wanda Birmingham

1900 Dilworth Road East

STATE OF NORTH CAROLINA MECKLENBURG COUNTY

"I, MARK C. CARTER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 8425, PAGE 344 OR OTHER REFERENCE SOURCE); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK 3, PAGE 9 OR OTHER REFERENCE SOURCE; THAT THE RATIO OF PRECISION OR POSITION ACCURACY IS 1:10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)." THIS 2nd DAY OF DECEMBER, 2015.

Mark C. Carter
PROFESSIONAL LAND SURVEYOR

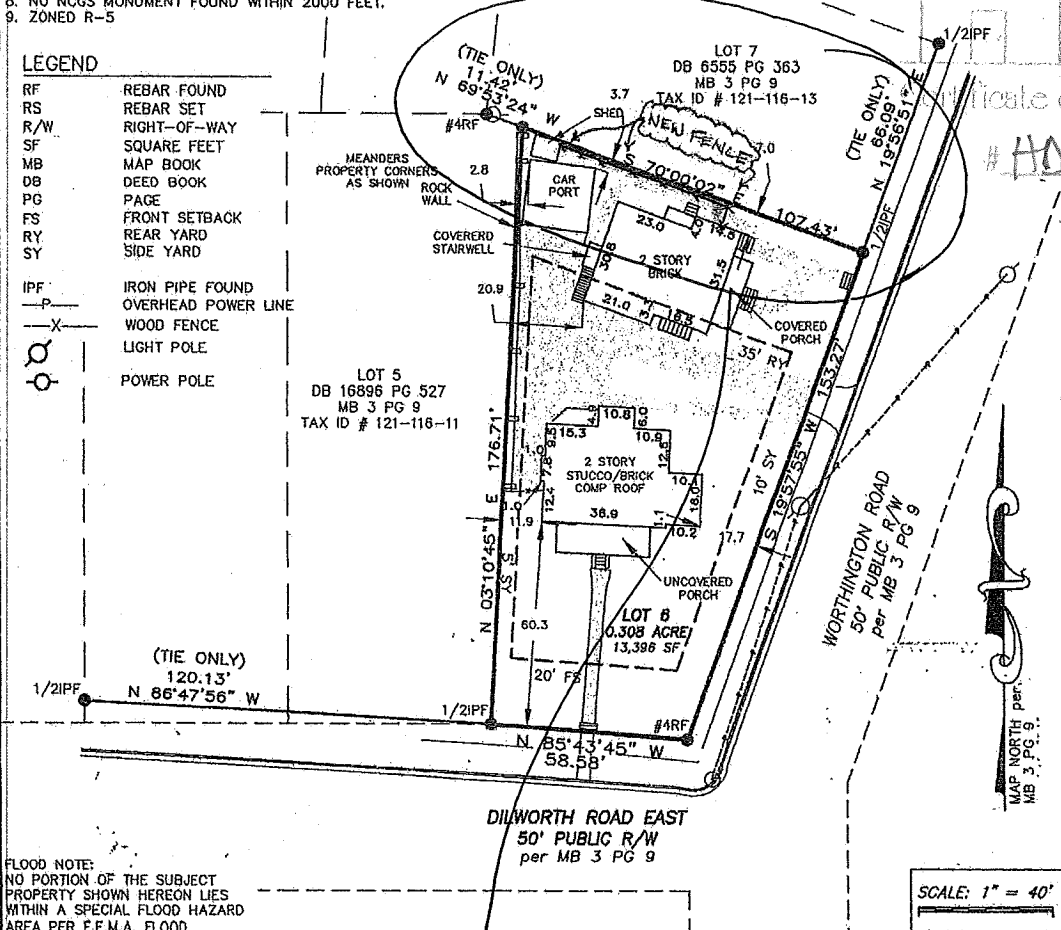


NOTES

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OF FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.
9. ZONED R-5

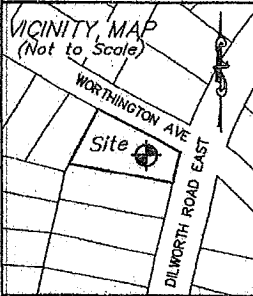
LEGEND

RF	REBAR FOUND
RS	REBAR SET
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
MB	MAP BOOK
DB	DEED BOOK
PG	PAGE
FS	FRONT SETBACK
RY	REAR YARD
SY	SIDE YARD
IPF	IRON PIPE FOUND
P	OVERHEAD POWER LINE
X	WOOD FENCE
○	LIGHT POLE
○	POWER POLE



APPROVED
Charlotte Historic District Commission
Certificate of Appropriateness
#HX-2016-263

FLOOD NOTE:
NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 3710454300L, DATED: SEPTEMBER 2, 2015.



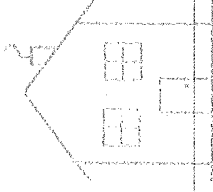
PHYSICAL SURVEY
AT PROPERTY KNOWN AS
1900 DILWORTH ROAD EAST
LOT 8, BLOCK 15, DILWORTH
TAX ID # 121-116-12, MB 3 PG 9, DB 8425 PG 344
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
FOR
TODD BOLYARD

PHOENIX LAND SURVEYING, INC
1402 WAXHAW-INDIAN TRAIL ROAD
INDIAN TRAIL, NORTH CAROLINA 28079
PH: (704)-335-1655 FAX: 704-684-0514
EMAIL: PHOENIX-SURVEYING.COM
FIRM # C-3912

FIELD WORK: J.M.C. MAPPING: D. ZBIKOWSKI
PROJ # 989-02-01 LOT 8 BLOCK 15

Fence Location September 2016

1900 Dilworth Road East



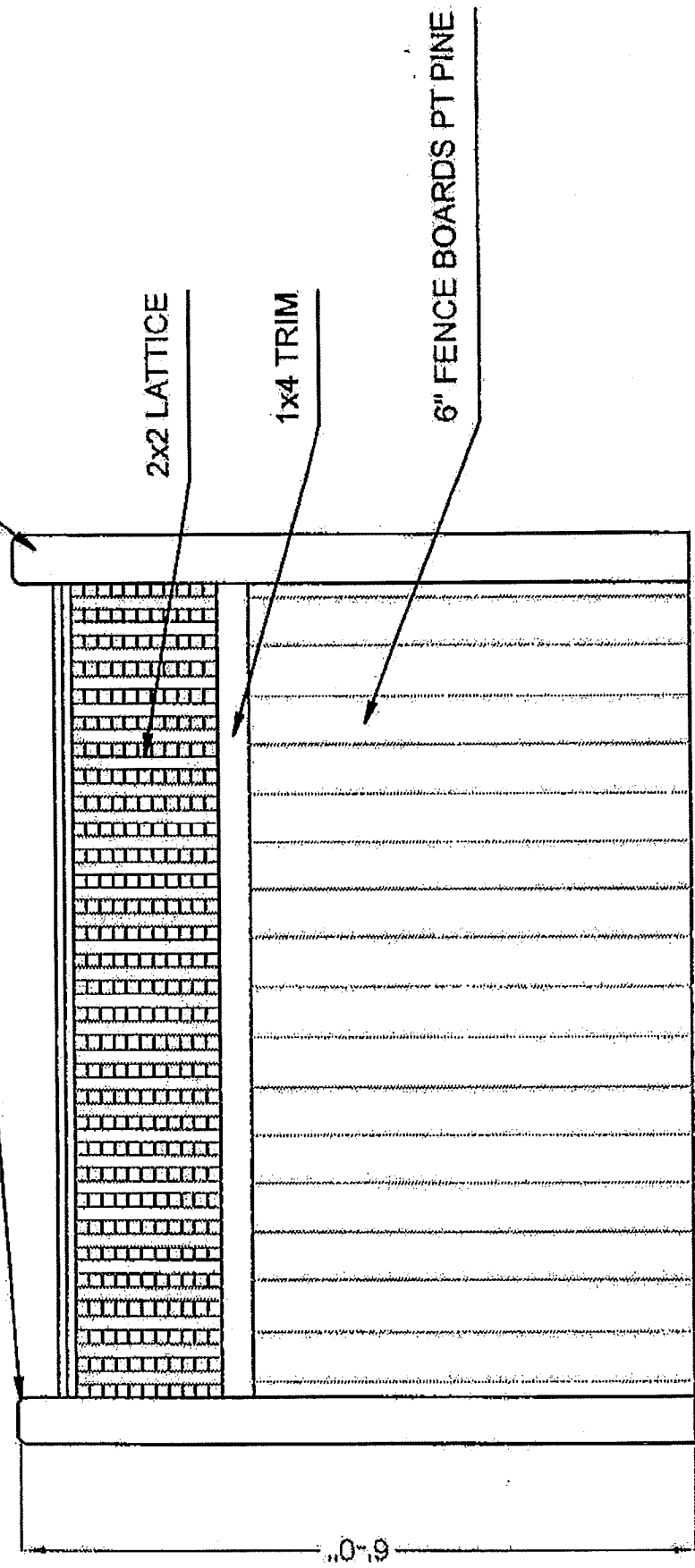
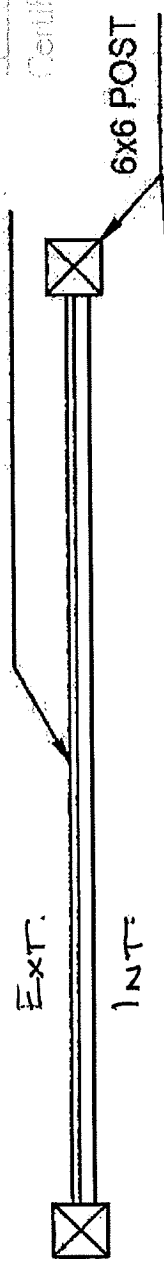
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Commission

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#NOC. 2016.263

6" FENCE BOARDS PT PINE



Fence Design
September 2016