



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-262

DATE: September 26, 2016

ADDRESS OF PROPERTY: 1211 East Boulevard

TAX PARCEL NUMBER: 12312712

HISTORIC DISTRICT: Dilworth

OWNER(S): Kenilworth Commons, LLC

DETAILS OF APPROVED PROJECT: The project is the construction of a parking lot. A permit for the project was issued prior to the issuance of a Certificate of Appropriateness. A Notice of Violation was issued September 18, 2016 for the work that was done. The applicant has submitted to HDC staff the approved construction plans for the parking lot which includes the required 44' setback and the installation of seven new large maturing trees that replaces two diseased trees. The trees were approved by the city arborist department.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff

1211 EAST BOULEVARD
PARKING LOT
CONSTRUCTION DOCUMENTS

ZONING CODE SUMMARY

PROJECT NAME: 1211 EAST BLVD. PARKING LOT
OWNER: KENILWORTH COMMONS, LLC (EDENS)
PHONE: 803.760.9687
PLANS PREPARED BY: BANKS ENGINEERING, PLLC.
PHONE: 704.780.4972
TAX PARCEL ID: 123-127-12
STREET ADDRESS: 1211 EAST BLVD.
ZONING: O-2
PROPOSED USE: PARKING LOT
BUILDING HEIGHT: N/A
BUILDING COVERAGE: N/A
GROSS FLOOR AREA: N/A
LOT SIZE: 0.26 AC
JURISDICTION: CITY OF CHARLOTTE

YARD REQUIREMENTS:
SETBACK (FRONT): 44' (PED OVERLAY) SIDE YARD (WEST): 0'
REAR YARD (NORTH): 20' SIDE YARD (EAST): 0'

REQUIRED BUFFERS:
FRONT: N/A SIDE (EAST): N/A
REAR(NORTH): 10' (PED OVERLAY) SIDE (WEST): N/A

REQUIRED SCREENING:
SETBACK (FRONT): N/A SIDE YARD (EAST): N/A
REAR YARD: N/A SIDE YARD (WEST): N/A
PARKING AND SERVICE ONLY: YES

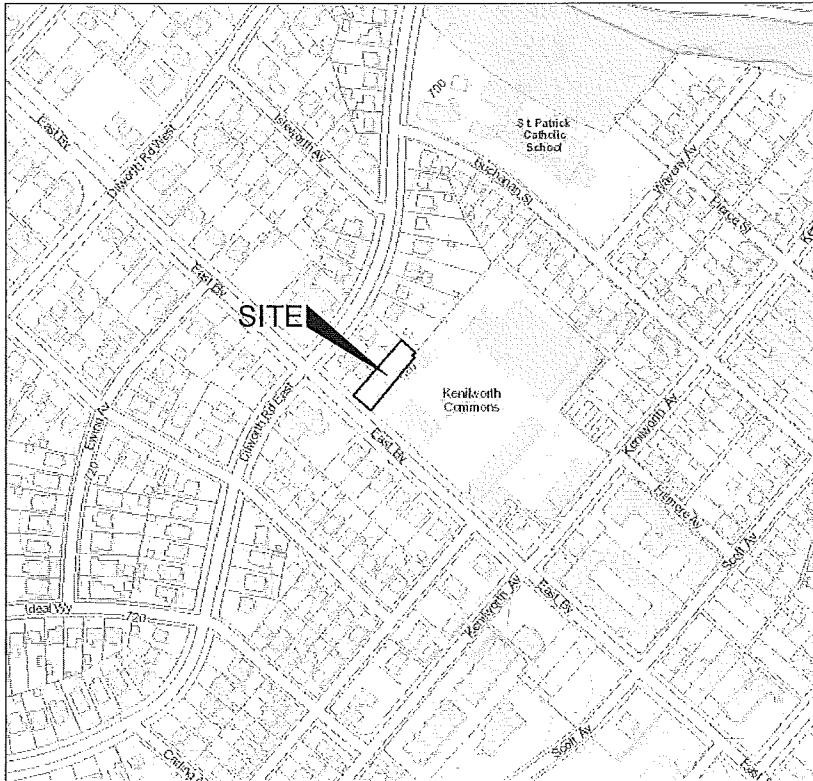
PARKING SUMMARY- 123-127-12

STANDARD PARKING
PARKING REQUIRED: 0 SPACES
PARKING PROVIDED: 31 SPACES

ACCESSIBLE PARKING
ACCESSIBLE SPACES REQUIRED: 2 SPACES SPACES PROVIDED: **2 SPACES
VAN ACCESSIBLE SPACES REQUIRE: 1 SPACES SPACES PROVIDED: ** 1 SPACES
**SPACES ARE EXISTING EXCESS ADA SPACES PROVIDED ON ADJACENT 123-127-13 SHOPPING CENTER PARCEL

BICYCLE PARKING
SHORT TERM BICYCLE PARKING REQUIREMENT: 5% OF AUTO PARKING (OTHER INSTITUTIONAL USES).
LONG TERM: N/A.

SHORT TERM REQUIRED: 31 x 5% = 2 SPACES SPACES PROVIDED: 2 SPACES
LONG TERM REQUIRED: N/A = 0 SPACES SPACES PROVIDED: 0 SPACES



VICINITY MAP
NOT TO SCALE

SHEET INDEX	
Sheet No.	Sheet title
C0-1	COVER SHEET
C0-2	GENERAL NOTES
C0-3	EXISTING CONDITIONS
C1-0	DEMOLITION PLAN
C2-0	EROSION CONTROL
C3-0	SITE PLAN
C4-0	GRADING PLAN
C5-0	NOT USED
C6-0	LANDSCAPE PLAN
C7-0	SITE DETAILS - 1
C7-1	EROSION CONTROL DETAILS - 1
C7-2	PLANTING DETAILS
C7-3	MISCELLANEOUS



ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

APPROVED

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

APPROVED
By Laura Brewer at 2:26 pm, Jul 06, 2016

CDOT

PLANNING
UNUDD / MUDD / PED / TOD

APPROVED

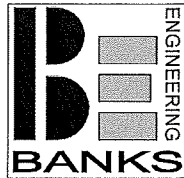
NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CIAC AT 704-336-3829 FOR MORE INFORMATION.



OWNER:
KENILWORTH COMMONS, LLC (EDENS)
1221 MAIN STREET, SUITE 1000
COLUMBIA, SC 29201
803.760.9687
CONTACT: STEVE TEETS

ENGINEER:
BANKS ENGINEERING, PLLC.
1919 SOUTH BOULEVARD, SUITE 200
CHARLOTTE, NC 28203
704.780.4972
CONTACT: JAY D. BANKS, PE

SURVEYOR:
R.B. PHARR & ASSOCIATES
420 HAWTHORNE LANE
CHARLOTTE, NC 28204
704.376.2186
CONTACT: JUSTIN F. CLONINGER, RLS



1919 SOUTH BOULEVARD
SUITE 200
CHARLOTTE, NC 28203
T: 704.780.4972
NC License #P-1370
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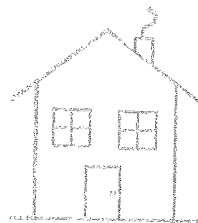
REV.	DATE	REVISION DESCRIPTION	SHEETS
A	6.20.2016	2nd submittal to City of Charlotte	ALL
-	3.15.2016	1st submittal to City of Charlotte	ALL

PROJECT: 01004003

1211 EAST BLVD. - PARKING LOT

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C0-2

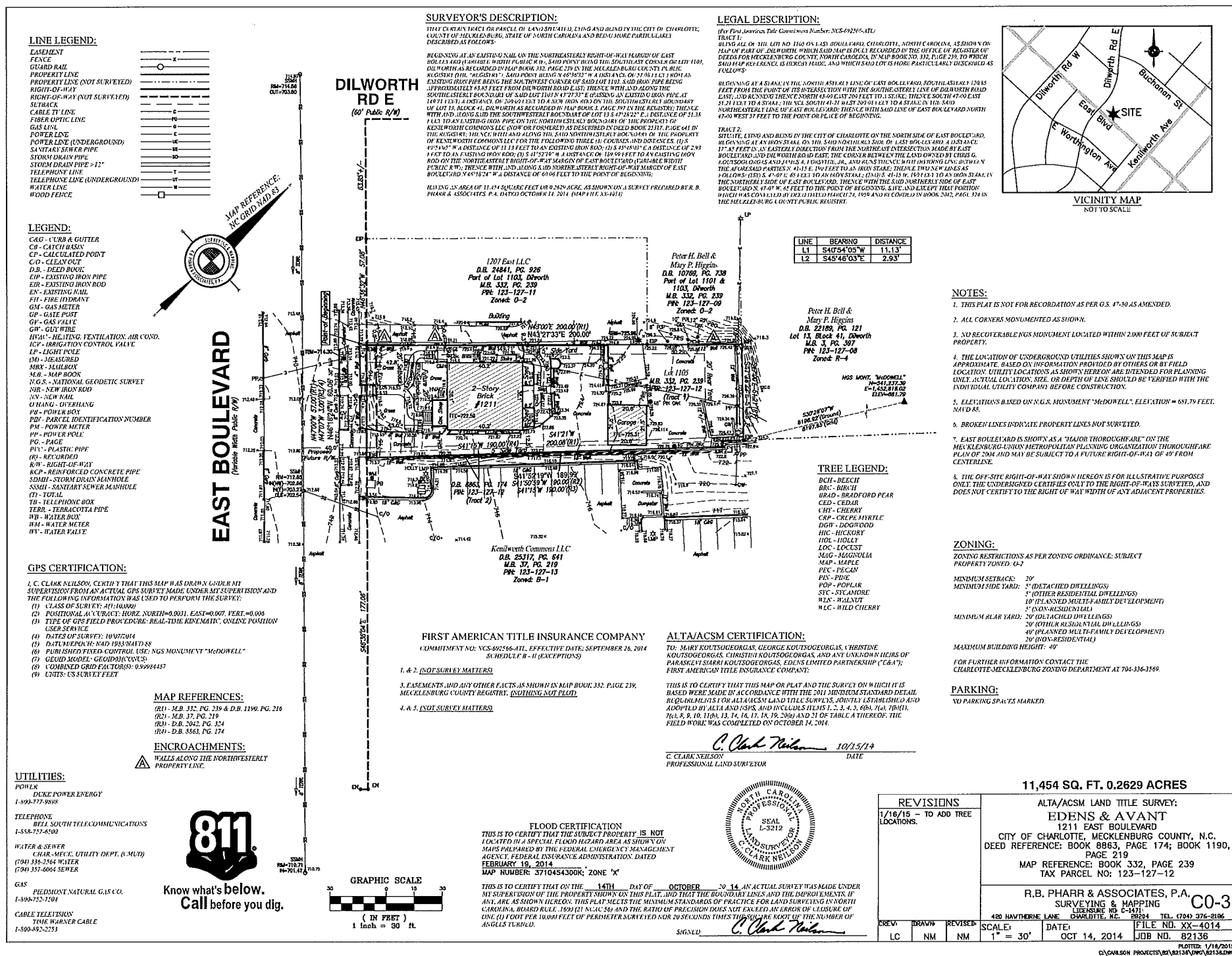


APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness:

2016-262





3

spring)



DEMOLITION NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER.
2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITIONS AT START OF WORK.
4. IT IS RECOMMENDED THAT THE CONTRACTOR'S PRE-BID INSPECTION SPECIFICALLY INCLUDE AN ITEMIZED INVENTORY OF THE SITE ITEMS TO BE REMOVED TO IDENTIFY AND VERIFY EXISTING CONDITIONS.
5. FILL SHALL INCLUDE COMPACTION TO 95% SOIL DENSITY AND/OR GEOTECHNICAL DIRECTION.
6. IMPROVEMENT REMOVAL EFFORT INCLUDES ALL ACCESSORY FEATURES ASSOCIATED WITH ANY SPECIFIC ITEMS MARKED FOR REMOVAL. THESE ACCESSORY FEATURES MAY INCLUDE BUT ARE NOT LIMITED TO FENCES, STAIRS, STEPS, WALKWAYS, PAVES AND UTILITIES.
7. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS OFF-SITE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
8. CONTRACTOR IS RESPONSIBLE TO PERFORM A PRE-BID SURVEY OF EXISTING CONDITIONS.
9. OWNER RESERVES RIGHT TO REMOVE ANY OR ALL STRUCTURES, MATERIALS, OR FEATURES PRIOR TO THE START OF CONTRACTORS DEMOLITION.
10. ALL ITEMS SHOWN WITH HATCHED REMOVAL LIMIT ARE TO BE INCLUDED IN BASE UNLESS SPECIFICALLY NOTED.

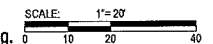


SHEET:

DEMOLITION PLAN

[illegible]

C1-0






ACREAGE SUMMARY
PROJECT CONSTRUCTION
LIMITS = ± 0.40 ACRES



SCALE: 1" = 20'

A horizontal scale bar with alternating black and white segments. It is marked with the numbers 0, 10, 20, and 40 at regular intervals.

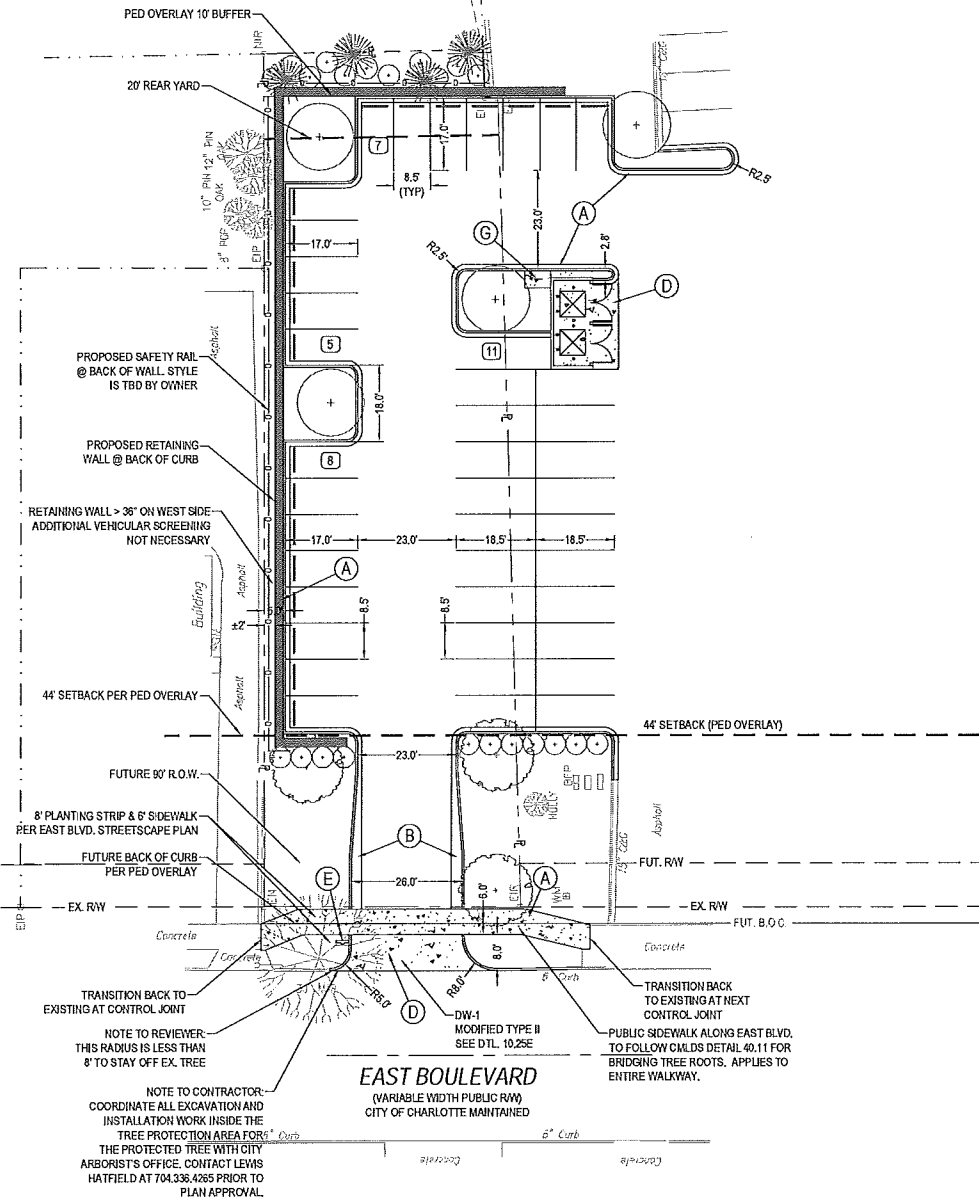
C2-0

June 10, 2016 - 6:26pm By: Ba

C:\Users\Ba\Desktop\Banks Engineering\BEE PROJECTS\1004 EDENS\1004 Kenilworth.dwg expDwg\C3-0 SITE PLAN.dwg

DILWORTH ROAD E.
(60' PUBLIC RW)
CITY OF CHARLOTTE MAINTAINED

NGS MONT. "WALDOWELL"
N=541,277.39
E=1,453,816.02
ELEV=691.79



LEGEND FOR PROPOSED IMPROVEMENTS	
	PROPOSED BUILDING
	PROPOSED 18" CURB AND GUTTER
	PROPOSED SITE NOTE
	PROPOSED PARKING SPACES
	PROPOSED HEAVY DUTY ASPHALT PVMT
	PROPOSED HEAVY DUTY CONCRETE PVMT
	PROPOSED STANDARD DUTY CONCRETE PVMT
	PROPOSED STANDARD DUTY ASPHALT PVMT
	PROPOSED STRUCTURE

DETAIL LEGEND

- (A) 18" CONCRETE CURB & GUTTER
- (B) 30" CONCRETE CURB & GUTTER
- (C) CONCRETE SIDEWALK
- (D) HEAVY DUTY CONCRETE PAVEMENT
- (E) REFERENCE MUTCD-R1-1 STOP SIGN (24"x24")
- (F) 35x35" SIGHT TRIANGLE
- (G) SHORT TERM BICYCLE PARKING RACK (TYP OF 1) - THE PARK MODEL 526-1001 BLACK (HOLDS 3 BIKES EACH) ON 4'x8' PAD



SITE NOTES

- ALL DIMENSIONS ARE BASED FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- MAXIMUM CROSS SLOPE ON SIDEWALKS IS 2% REGARDLESS OF SPOT ELEVATIONS OR CONTOURS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO INSTALLING SIDEWALK IF PROVIDED SITE INFO IS IN CONFLICT WITH THIS MANDATE.
- ALL RADIUS 3.00' UNLESS OTHERWISE NOTED.
- SEE EXISTING CONDITIONS, SHEET 0-3, FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
- THIS PROJECT SITE IS NOT GRAPHICALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA/FIRM COMMUNITY PANEL NO. 3710455899X, WITH AN EFFECTIVE DATE OF 09/02/2015, NOR LOCATED IN THE 100-YEAR FLOODPLAIN.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.



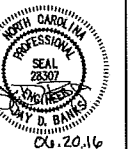
Know what's below.
Call before you dig.



SCALE: 1"=20'

BANKS
1919 SOUTH BOULEVARD
SUITE 200
CHARLOTTE, NC 28203
T: 704.780.4972
NC License #P-1370
© 2016

EDENS
KENILWORTH COMMONS
(EDENS) LLC
1221 MAIN STREET, SUITE 1000
CHARLOTTE, NC 28203



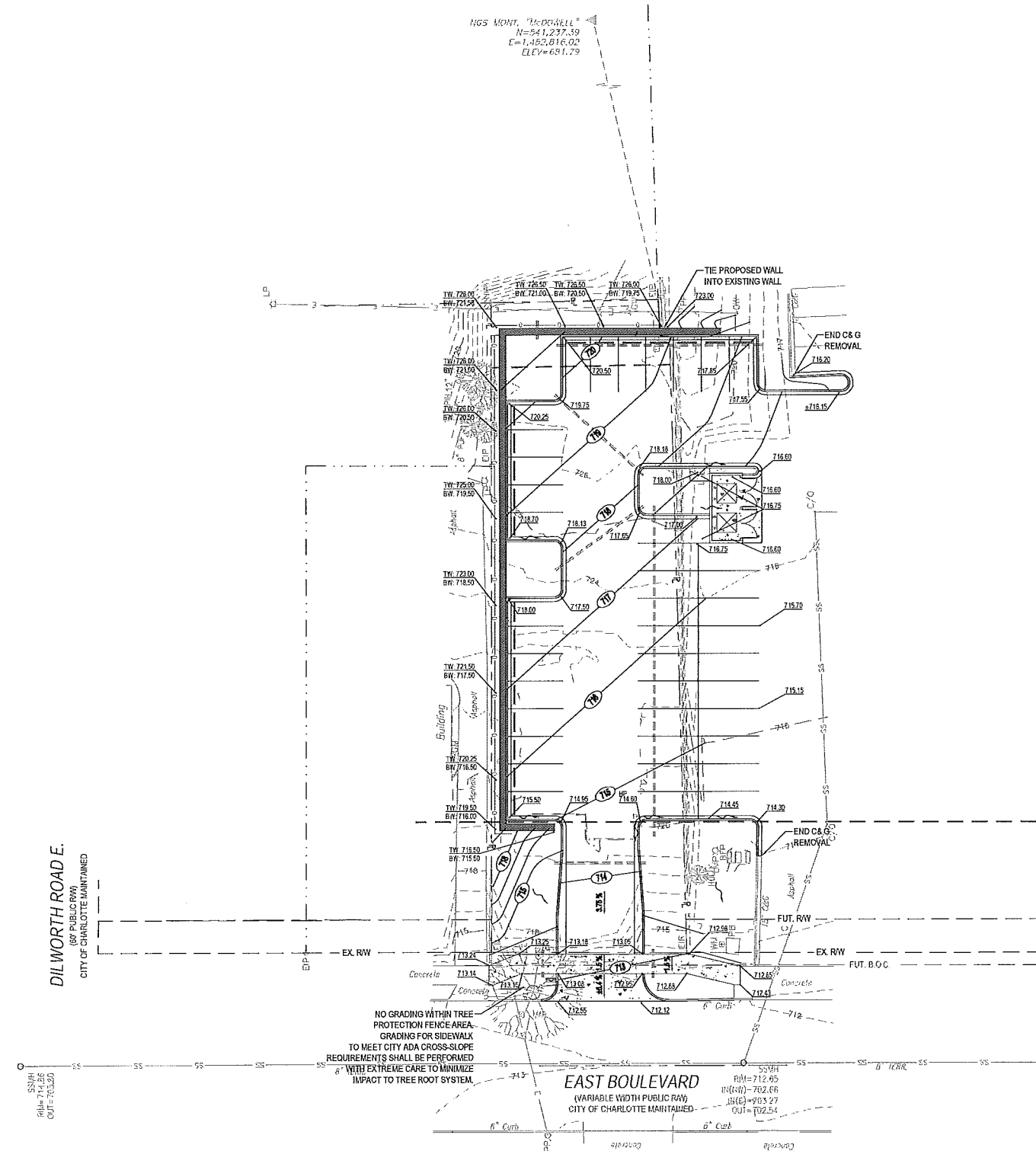
PROJECT: 1211 E. BLVD PARKING LOT
1211 EAST BLVD.
CHARLOTTE, NC 28203

SITE PLAN

DATE	BY	DATE	BY
06.20.16	A	03.15.16	A
03.15.16	A	03.15.16	A

DESIGNED: JDB
DRAWN:
CHECKED:
PROJECT: 01004003
DATE: 03.15.16

C3-0





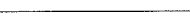






APPROVAL:

Charlotte
Historic District
Commission

Certificate of Appropriateness

2016-262

PROPOSED TOPOGRAPHICAL INFORMATION	
	CONSTRUCTION LIMITS
	H.A.G. 6350 GEOTEXTILE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED SWALE
	PROPOSED 4" C/P DRAIN
	PROPOSED 2" PVC IRRIGATION SLEEVES

GRADING NOTES

1. SEE GENERAL NOTES SHEET C02 FOR GRADING NOTES.
2. CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
3. SEE THE EROSION CONTROL PLANS AND DETAILS FOR THE LOCATION AND SIZING OF ALL RIP-RAP APRONS AND SLOPE AND CHANNEL LININGS.
4. ON ALL SLOPES STEEPER THAN 3:1, CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN PRODUCT SC150 EROSION CONTROL MATTING. REFER TO NAG FOR INSTALLATION GUIDELINES.
5. ALL SPOT ELEVATIONS ALONG CURB AND GUTTER LINE REPRESENT FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.


PCCO SUMMARY		
Original Parcel ID Number(s):	123-127-12	
Development Type:	Commercial	
Subject to PCCO? Y/N	NO	
If NO, why?	Below BUA/Disturbance Thresholds	
Watershed:	Central Calawba	
Disturbed Area (ac):	0.4	
Site Area (ac):	0.28	
	DA#1	DA#2
Total on-site Drainage Area (ac):	0.28	
Existing Built-upon-area (SF):	5435	
Existing BUA to be removed (SF):	5435	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	7,991	
Proposed % BUA:	70	
Density (High / Low)	High	
Total Post-Project BUA for site:	7,991	
Development or Redevelopment?	Redevelopment	
Natural Area Required (ac):	0	
Natural Area Provided (ac):	0	
Total stream buffer protected on-site (ac):	0	
Transit Station Area? Y/N	NO	
Distressed Business District? Y/N	NO	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	



Know what's **below**.
Call before you dig.



SCALE: 1" = 20'



A horizontal scale bar with a black and white alternating pattern. It is marked with the numbers 0, 10, 20, and 40, representing feet.



BANKS ENGINEERING
9 SOUTH BOULEVARD
SUITE 200
CHARLOTTE, NC 28203
704.780.4972
License #P-1370
D16

CLIENT:

 EDENS
KENILWORTH COMMONS
(EDENS), LLC
1221 MAIN STREET, SUITE 1000
COLLIERIA SC 29201



PROJECT: 1211 E. BLVD PARKING
LOT
1211 EAST BLVD.
CHARLOTTE, NC 28203

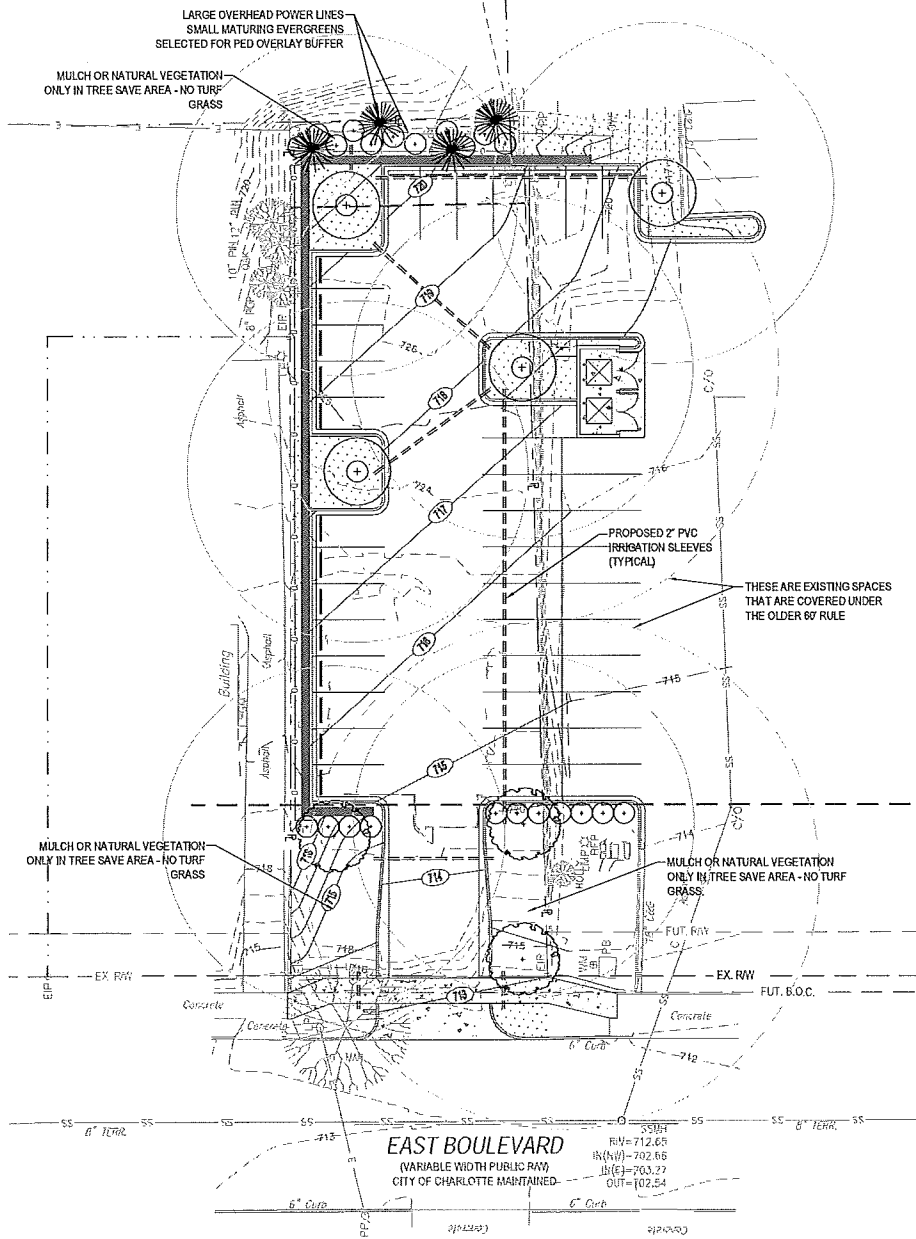
GRADING AND DRAINAGE PLAN

[illegible]

DESIGNED:	JDB
DRAWN:	
CHECKED:	
PROJECT:	01004003
DATE:	03.15.16

C4-0

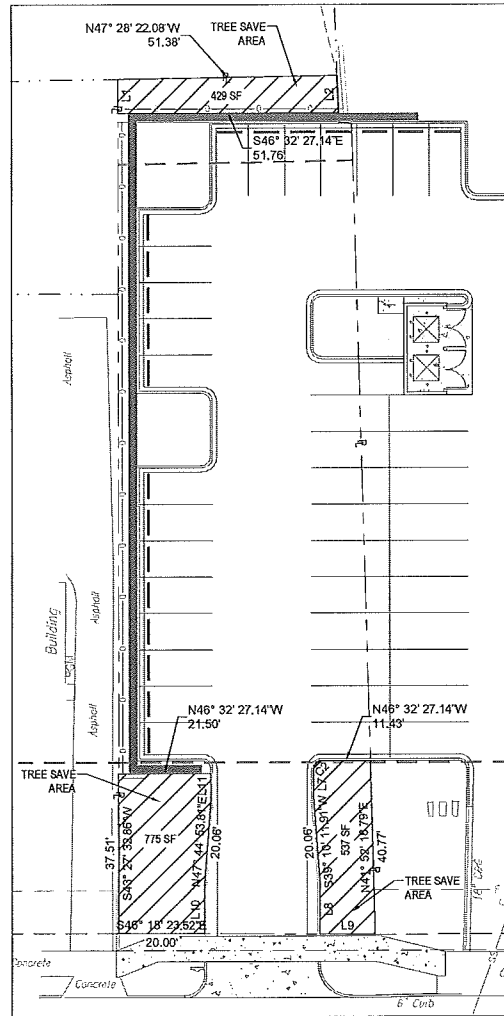
June 10, 2016 - 0:53pm By: Ba
C:\Users\Ba\Dropbox (Banka Engineering)\PROJECTS\101004 EDENS\1003 Kenilworth 3pg.dwg (C6-0) LANDSCAPE.dwg



TREE SAVE AREA-PARCEL TABLE

Parcel Line and Curve Table				
Line #/Curve #	Length	Bearing/Delta	Radius	
L8	11.53	S43° 27' 32.86"W		
L9	13.06	S46° 18' 23.52"E		
C2	3.14	90.00	2.00	
L7	7.18	S43° 27' 32.86"W		
L2	8.75	N40° 54' 04.57"E		
L1	7.90	S43° 27' 32.86"W		
L10	11.42	N43° 27' 32.86"E		
L11	6.18	N43° 27' 32.86"E		

TREE SAVE AREA



TREE SAVE AREA
PARCEL AREA = 0.26 AC
REQUIRED TREE SAVE = 0.039 AC
NATURAL TREE SAVE AREA PROVIDED = 0.04 AC
PLANTED TREE SAVE AREA PROVIDED = 0.039 AC
TOTAL TREE SAVE AREA = 0.079 AC
PLANTED TREE SAVE AREA = 0.039 AC TREES REQ = 2 TREES. 7 ARE SHOWN

Charlotte Urban Forestry - Tree Planting and Preservation Requirements

Plant Material

- Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be tree form, 13. Minimum tree size at planting is 2-inch caliper (for single stem trees). All multi-stem plants must be tree form, maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified the minimum height shall be 10' tall. If multi-stem trees are specified then they shall be a minimum of 12' tall.
- All new trees must have straight trunks with strong central leaders intact to the top of the crown unless multi-stem trees are specified. All required trees shall be typical of their species and variety, have normal growth habits, have well-developed branches, be vigorous and have fibrous root systems. Trees with co-dominant branching will NOT be accepted. Trees that have been sheared, topped or cut back to multiply the branching structure will NOT be accepted. Trees shall be free of abrasions, damage, disease, pests and insects. All pruning cuts greater than 1/2 inch diameter shall have callus tissue formed prior to planting. No pruning cut on the bark shall be more than one-half the diameter of the central leader at the height where the cut was made. Root flares shall be located at grade. Trees with more than 2" of soil covering the root ball/flare will NOT be accepted (CMDS 40.09).
- Size of required plants, spread of roots and size of balls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.
- All required trees of a particular species and variety shall be uniform in size and configuration.
- Perimeter trees in urban zones shall be 3" in caliper and be free of branches up to 6' from the top of the ball.
- A minimum of 50% of new trees must be native species, and sites with more than 20 trees required will have to install multiple (3 or more) species pursuant to the Tree Ordinance Guidelines.
- 75% of required trees must be large mature species except in situations with overhead power line conflicts.

Planting Requirements

- See CMDS 40.01 (on plan) for detailed tree planting requirements.
- Plastic hose parts will NOT be accepted for tree staking. See CMDS 40.01 for approved staking method/materials.
- All shipping, and top 1/2 of wire basket and burlap must be cut away and removed from the root ball when planting.
- For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 24" new topsoil, or till and amend the top 24" of existing soil to meet topsoil / planting mix standards for trees (within entire minimum area of 274 square feet per large mature tree and 200 square feet per small mature tree).
- Review soil requirements in the Tree Ordinance Guidelines at: <http://landpermits.charmack.org> then click Trees.

Utility Issues

- Large maturing trees may not be planted within 25' of overhead power distribution or transmission lines. If trees conflict with power line or signs, call Urban Forester to resolve BEFORE planting.
- Adjust tree planting locations to avoid underground utilities. Plant 15' from all underground utilities.
- No light poles, utility poles or transformers can be installed in tree islands.
- Commercial scale lighting (> 15' in height) must be a minimum distance of 30' from a tree. Pedestrian scale lighting (<= 15' in height) must be a minimum distance of 15' from a tree. Show site lighting on landscape plan.

Tree Save and Preservation

- Tree protection must be installed and verified by Urban Forestry prior to starting ANY construction activity.
- Show tree protection and tree save areas on erosion control, grading and landscape plan sheets.
- Commercial tree save areas must be recorded on a final plat with the MacKenzie County Register of Deeds before Urban Forestry holds can be released. A 10' no build zone around tree save areas must be referenced on the plat.
- The area of easements (water, sewer, utility, etc. can NOT be counted toward the tree save requirement.
- Any alterations to tree save areas must be accomplished without mechanized equipment.
- No structure will be allowed within 10' of tree save areas unless approved by Urban Forestry.
- All trees on public property are protected and removal must be permitted by the City Arborist (704) 336-4282.

General

- Call (704) 336-4258 for an inspection of tree protection / planting areas, a minimum of 5 days before a CO is needed.
- Visit City of Charlotte's Land Development website for additional information and Urban Forestry requirements: <http://landpermits.charmack.org> then click Trees.

ADDITIONAL NOTES
ALL DISTURBED AREAS TO BE SEEDING AS NEEDED FOR STABILIZATION FOLLOWED BY SOD FOR FINAL COMPLETION.
ALL EXISTING TREES USED TO MEET PLANTING REQUIREMENT MUST BE VERIFIED FOR HEALTH CONDITION. MUST BE PROTECTED DURING CONSTRUCTION (IF IN CLOSE PROXIMITY TO CONSTRUCTION ACTIVITY) AND MAY BE REQUIRED TO BE REPLACED WITH NEW TREES IF IN POOR CONDITION. COORDINATE HEALTH CONDITION INSPECTION WITH URBAN FORESTRY SPEAKLIST.
RE-SEEDING
INSPECT PERMANENTLY SEEDING AREAS FOR FAILURE, MAKE NECESSARY REPAIRS AND RE-SEED OR OVERSEED WITHIN THE SAME GROWING SEASON IF POSSIBLE.
IF THE GRASS COVER IS SPARSE OR PATCHY, REEVALUATE THE CHOICE OF GRASS AND QUANTITIES OF LIME AND FERTILIZER APPLIED. IF THE PERMANENT SEEDING HAS LESS THAN 40% COVER, HAVE THE SOIL TESTED TO DETERMINE ANY ACIDITY OR NUTRIENT DEFICIENCY PROBLEMS.
FINAL STABILIZATION BY PERMANENT SEEDING OF THE SITE REQUIRES THAT IT BE COVERED BY A 70% COVERAGE RATE.

SEEDING SCHEDULE

Description of Area from Planting Plan Legend	Pennington Seed Specification
Temporary Stabilization	Brown Top Millet
Permanent Lawn	Rye Grass
SODING	Grass Seed Blend Tall Fescue Blend

PROVIDE SOD SPECIES SUITABLE AS LAWN TURF FOR THE REGION. SOD SHALL BE STRONGLY ROOTED, WEED, DISEASE, PEST FREE AND UNIFORM IN THICKNESS.
CUT AND LAY SOD ON SAVE DAY. ONLY HEALTHY VIGOROUS GROWING SOD SHALL BE LAYED.
LAY SOD A CROSS SLOPE AND TIGHTLY TOGETHER TO RESULT IN SOLID COVERAGE FREE OF GAPS.
ROLL OR FINALLY BUT LIGHTLY TAMP NEW SOD WITH SUITABLE WOODEN OR METAL TAMPER SUFFICIENTLY TO SET OR PRESS SOD INTO UNDERLYING SOIL.
ALL FINISHED SODGING SHALL BE SMOOTH AND FREE OF LUMPS AND DEPRESSIONS.
AFTER SODGING HAS BEEN COMPLETED, CLEAN UP AND THOROUGHLY WATER NEWLY SODDED AREAS.

MULCHING

ALL PERMANENT SEEDING AREAS SHOULD BE COVERED WITH MULCH IMMEDIATELY UPON COMPLETION OF THE SEEDING APPLICATION TO RETAIN SOIL, MOISTURE AND REDUCE EROSION DURING ESTABLISHMENT OF VEGETATION.
THE MULCH SHOULD BE APPLIED EVENLY IN SUCH A MANNER THAT IT PROVIDES A MINIMUM OF 75% COVERAGE. TYPICAL MULCH APPLICATIONS INCLUDE STRAW, WOOD CHIPS, BARK, WOOD FIBER, AND HYDRO-MULCHES.
ALL TREES WITHIN SODDED AREAS TO HAVE 4" DIAMETER MULCH RINGS.

THE MOST COMMONLY ACCEPTED MULCH USED IN CONJUNCTION WITH PERMANENT SEEDING IS SMALL GRAIN STRAW. THIS STRAW SHOULD BE DRY AND FREE FROM MOLD DAMAGE AND NOXIOUS WEEDS. THE STRAW MAY NEED TO BE ANCHORED WITH NETTING OR ASPHALT EMULSIONS TO PREVENT IT FROM BEING BLOWN OR WASHED AWAY. THE STRAW MULCH MAY BE APPLIED BY HAND OR MACHINE AT THE RATE 2 TONS PER ACRE (60 POUNDS PER 1000 SQUARE FEET). FREQUENT INSPECTIONS ARE NECESSARY TO CHECK THAT CONDITIONS FOR GROWTH ARE GOOD.

Know what's below.
Call before you dig.

SCALE: 1"=20'

PLANT SCHEDULE & LEGEND											
TYPE			SPECIFICATIONS								
SYM / KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	SPREAD	ROOT	SPACING	PLANTING ZONE	OTHER	
	3	Quercus Lyrata	Overcup Oak	2.5"-3"	14'-18'	8'-10'	B&B	AS SHOWN		LIMITED TO 7' CLEAR HEIGHT TREES SHOULD NOT HAVE FEEDING PRUNING CUTS AND PRUNING SHOULD BE HELD AT TIME OF PLANTING.	
	4	Acer x fremanii	Freeman Maple (Jelfred Autumn Blaze)	2.5"-3"	14'-18'	8'-10'	B&B	AS SHOWN		LIMITED TO 7' CLEAR HEIGHT TREES SHOULD NOT HAVE FEEDING PRUNING CUTS AND PRUNING SHOULD BE HELD AT TIME OF PLANTING.	
	4	Prunus caroliniana	Cherry Laurel, Carolina	2.5"-3"	14'-18'	8'-10'	B&B	AS SHOWN		LIMITED TO 7' CLEAR HEIGHT TREES SHOULD NOT HAVE FEEDING PRUNING CUTS AND PRUNING SHOULD BE HELD AT TIME OF PLANTING.	
	22	Ilex cornuta burfordi nana	Dwarf burford holly		30"	24"	7 GAL	5' O.C.		FULL TO GROUND	
	1,650 SF		Tall fescue								

NOTICE TO CONTRACTOR

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC PER MUTCD.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CHARLOTTE-MECKLENBURG UTILITIES SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

ATTENTION LANDSCAPER / CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR/LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONDITIONS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 336-3559 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY COMMENTS REGARDING SITE, SIGNS, OVERHEAD POWER LINES OR OTHER UTILITIES.

NOTE: NO LIGHT UTILITY POLES TO BE PLACED IN ISLANDS WITH NEWLY PLANTED TREES.

INTERNAL TREE REQUIREMENTS (PARKING LOT)

ONE TREE PER 10,000 SF OF IMPERVIOUS AREA. ALL PARKING SPACES WITHIN 40' OF A TREE UNLESS WITHIN A CONTINUOUS 8' PLANTING STRIP. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 5% FOR RENOVATED SITES AND 10% FOR NEW SITES.

CALCULATIONS
IMPERVIOUS AREA = 7,591 SF
LANDSCAPE AREA = 3,452 SF (30%)
TOTAL SITE AREA = 11,043 SF

IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES AREA ALLOWED WITHIN 25 FT OF LINES. OTHERWISE, 50% OF NEW TREES MUST BE LARGE MATURING.

* INTERNAL TREE REQUIREMENT IMPERVIOUS AREA / 10,000 SF = 1 TREES REQUIRED
3 TREES PROVIDED

PERIMETER TREE REQUIREMENTS

LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDES DRIVEWAYS

EAST BLVD @ LF/40 FT = 2 TREES REQUIRED
2 TREES PROVIDED

IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED WITHIN 25 FT OF LINES. OTHERWISE 75% OF NEW TREES MUST BE LARGE MATURING

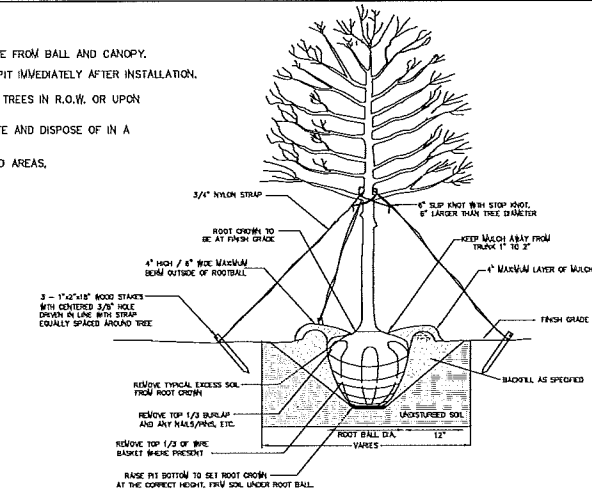
IRRIGATION PLAN NOTES

- CONTRACTOR SHALL MODIFY EXISTING IRRIGATION SYSTEM FOR PLANTINGS SHOWN. CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE LOCATION OF THE PROPOSED CONTROLLER FOR THE IRRIGATION SYSTEM.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY CONTRACTOR OR SUCH THAT LAWN AREAS, SHRUB AREAS, ANNUAL/PERENNIAL BEDS, AND PARKING AREA TREES ARE IRRIGATED BY SEPARATE ZONES.
- CONTRACTOR SHALL SUBMIT DESIGN/CONSTRUCTION DOCUMENTS TO OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THEIR EXISTENCE AND LOCATION PRIOR TO COMMENCEMENT OF ANY DIGGING. SEE CONSTRUCTION DOCUMENTS FOR LIMITS OF IRRIGATION. CONTRACTOR SHALL DESIGN.
- ALL PROPOSED IRRIGATION SLEEVING SHALL BE TWO LINES OF 6" SCH40 40 PVC.
- CONTRACTOR SHALL RESEED LAWN AREAS DAMAGED DUE TO INSTALLATION.

[illegible]

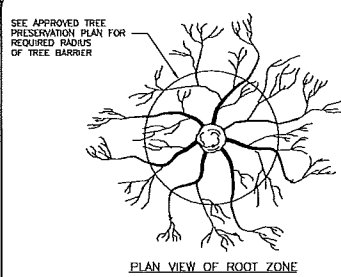
NOTES:

1. REMOVE WIRE AND NYLON THINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.

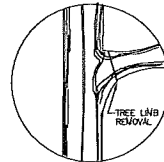


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)
FOR EXAMPLE: CALIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH

NOT TO SCALE

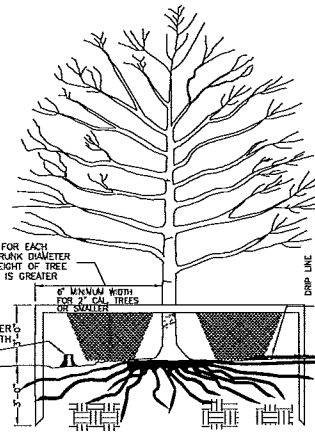


PLAN VIEW OF ROOT ZONE



FOR PRUNING SEE
INTERNATIONAL SOCIETY
OF ARBORICULTURE SPECS.

2"x4" STANDARDS + 1"x4" RAILS
OR ORANGE SAFETY FENCING
MAY BE USED.



ONE FOOT FOR EACH
INCH OF TRUNK DIAMETER
OR 1/2 HEIGHT OF TREE
WHICHEVER IS GREATER

6" BARK MULCH, PLACE BARK
MULCH AT AREAS NOT
PROTECTED BY BARRIER.

NOTES:

1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 0100 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.




APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2016-262



1919 SOUTH BOULEVARD
SUITE 200
CHARLOTTE, NC 28203
T: 704.780.4972
NC License #P-1370
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CLIENT:

EDENS
KENILWORTH COMMONS
(EDENS), LLC
1221 MAIN STREET, SUITE 1000
COLUMBIA, SC 29204



PROJECT:
1211 E. BLVD PARKING
LOT
1211 EAST BLVD.
CHARLOTTE, NC 28203

PLANTING DETAILS

SHEET:

			A	06/20/16	2nd submittal to COC
			-	03/15/16	1st submittal to COC
DEL.	DTE	REQUISITION			

DESIGNED:	JDB
DRAWN:	
CHECKED:	
PROJECT:	01004003
DATE:	03.15.16

C7-2

GENERAL NOTES:

- THIS PLAN SUPPLEMENTS THE APPROVED CIVIL PACKAGE PREPARED BY BANKS ENGINEERING. CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVED PLANS AND ADHERING TO ALL STANDARDS & SPECIFICATIONS CONTAINED THEREIN.
- ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMAN AND THE GENERAL PUBLIC SHALL BE PROTECTED FROM INJURY.
- NO ON-SITE BURIAL PIT WILL BE LOCATED ON THIS SITE. CONTRACTOR RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS.
- THE ENTIRE SITE, WITHIN THE LIMIT OF CONSTRUCTION, SHALL BE GRADED TO DRAIN FREELY. SEE CIVIL PLANS FOR GRADING.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION, OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER, SHALL BE RELOCATED AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- REFER TO CIVIL DRAWINGS FOR GRADING, STORM WATER DRAINAGE, & EROSION CONTROL.
- SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE. TYPICAL, UNLESS APPROVED OTHERWISE BY THE CITY.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" DOUBLE-HAMMERED HARDWOOD MULCH.

PLANTING NOTES:

CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS

PLANT MATERIAL:

- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED. REQUIRED MINIMUM HEIGHT SHALL BE 10' TALL; IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
- ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL FLARE FROM WILL NOT BE ACCEPTED (CLDS 40.09).
- SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED AUTHORIZED BY URBAN FORESTRY.
- ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- PERMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF THE BALL.
- A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

PLANTING REQUIREMENTS

- SEE CLDS 40.01 FOR DETAILED TREE PLANTING REQUIREMENTS.
- PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD / MATERIALS.
- ALL STAKING AND TOP 10" OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE).
- REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://LANDPERMITS.CHARMECK.ORG](http://landpermits.charmeck.org), THEN CLICK TREES.

UTILITY ISSUES

- LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
- NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
- COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SEE SITE LIGHTING ON LANDSCAPE PLAN.

TREE SAVE AND PRESERVATION

- TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
- SHOW TREE PROTECTION AND TREE SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
- COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAN WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAN.
- THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
- ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
- NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
- TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.

GENERAL

- CALL (704) 336-3622 FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE A CO IS NEEDED.
- VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://LANDPERMITS.CHARMECK.ORG](http://landpermits.charmeck.org), THEN CLICK TREES.

PLANT MAINTENANCE / GUARANTEE:

MAINTENANCE OF PLANT MATERIALS:

- PLANT MATERIALS SHALL BE MAINTAINED FOLLOWING PLANTING AND UNTIL FINAL ACCEPTANCE IS GRANTED BY THE OWNER.
- MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, PRUNING, MULCHING, ADJUSTMENT OF GUYING, RESTORATION OF PLANT POSITION OR SAUCERS, AND SPRAYING IF NECESSARY.
- FINAL ACCEPTANCE FOR SEGMENTS OF THE CONTRACT WORK MAY BE GRANTED BY THE OWNER.
- THE CONTRACTOR SHALL PROTECT PLANTED AREAS WITH STAKES AND FLAGGING TO LIMIT DAMAGE.
- SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN WHEN MAINTENANCE OPERATIONS ARE IN PROGRESS.
- ALL INSTALLED MATERIALS SHALL BE IN ACCEPTABLE CONDITION WHEN CONTRACTOR APPLIES FOR PAYMENT.

INSPECTION AND ACCEPTANCE OF WORK:

- UPON 48 HOURS ADVANCE NOTICE, THE OWNER SHALL INSPECT ALL WORK FOR ACCEPTANCE.
- THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE SHALL TERMINATE AT THE DATE OF ACCEPTANCE OF EACH SEGMENT OF WORK.
- UPON THE DATE OF ACCEPTANCE, THE GUARANTEE PERIOD SHALL COMMENCE.

GUARANTEE:

- THE CONTRACTOR SHALL GUARANTEE TO PROVIDE TO THE OWNER THRIVING PLANT MATERIALS TO INCLUDE TREES, SHRUBS, AND GROUND COVERS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE.
- ADDITIONALLY, THE CONTRACTOR SHALL GUARANTEE TO THE OWNER THRIVING PERENNIALS, ANNUALS, WELL-ESTABLISHED SEEDED AREAS, AND WELL-ROOTED SODDED AREAS FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE.
- THE GUARANTEE ARE SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE OWNER IS RESPONSIBLE FOR PROPER WATERING OF PLANT MATERIALS, SEEDS AREAS, AND SODDED AREAS FOLLOWING FINAL ACCEPTANCE.
 - THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN INSTRUCTIONS SPECIFYING THE RATES AND EXTENT OF WATERING REQUIRED. THE CONTRACTOR SHALL MAKE MONTHLY INSPECTIONS, AT NO EXTRA COST TO THE OWNER, TO DETERMINE WHAT CHANGES, IF ANY, SHOULD BE MADE TO THE WATERING PROGRAM. ANY RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER IN WRITING.
 - DAMAGE CAUSED TO PLANT MATERIALS FROM ACTS OF NATURE, VANDALISM, EROSION, OR MALICIOUS ACTS WILL VOID THE GUARANTEE FOR ANY EFFECTED MATERIALS.
 - DAMAGE TO PLANT MATERIALS CAUSED BY DISEASE, INCLUDING BROWN PATCH IN TURF GRASSES, EXCLUDE ANY EFFECTED MATERIALS FROM THE GUARANTEE.

PLANT MATERIAL REPLACEMENT:

- THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL PLANTS NOT IN THRIVING CONDITION AS DETERMINED BY THE OWNER DURING AND AT THE END OF THE GUARANTEE PERIOD.
- THE GUARANTEE OF ALL REPLACED PLANTS SHALL EXTEND FOR AN ADDITIONAL 30 CALENDAR DAYS.

IRRIGATION:

- CONTRACTOR TO INSPECT EXISTING IRRIGATION SYSTEM AND DETERMINE IF SYSTEM IS CAPABLE OF HANDLING THE ADDITIONAL GPM NECESSARY FOR THE PARKING LOT EXPANSION. IF EXISTING SYSTEM IS NOT ADEQUATE, CONTRACTOR SHALL BE RESPONSIBLE FOR NEW BACKFLOW, WATER METER, AND CONTROLLER.

- CONTRACTOR SHALL DESIGN AND INSTALL A COMPLETE FUNCTIONING IRRIGATION SYSTEM FOR ALL TURF AND PLANTING AREAS WITHIN PROJECT CONSTRUCTION LIMITS. CONTRACTOR SHALL SUBMIT IRRIGATION PLANS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. PLANS SHALL INCLUDE A COMPLETE SEPARATION OF SHRUB AND TURF AREAS. PLANS SHALL INCLUDE CONTROLLER, ALL SLEEVING, ELECTRIC VALVES, HEADS, LATERALS, MAINS, DRIP LINES, CONNECTIONS TO EQUIPMENT, AND ALL OTHER COMPONENTS NECESSARY FOR A WORKING IRRIGATION SYSTEM. ALL CONTROLLERS, VALVES, AND HEADS TO BE MADE BY THE SAME MANUFACTURER. BACKFLOW PREVENTOR TO BE PROVIDED BY CONTRACTOR AND SHALL CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE CONTROLLER BOX WITH THE OWNER.

- CONTRACTOR SHALL VERIFY THAT AVAILABLE WATER PRESSURE IS ADEQUATE FOR IRRIGATION SYSTEM. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF WATER METERS, BACKFLOW PREVENTORS, VALVES, ELECTRIC WIRING FOR THE IRRIGATION SYSTEM, ALL SLEEVING, ALL FITTINGS, ADAPTERS, ETC. TO COMPLETE THE IRRIGATION SYSTEM.

- CONTRACTOR SHALL ADJUST ALL HEADS IN FIELD TO ENSURE MAXIMUM COVERAGE AND TO ELIMINATE OVERTHROW ONTO PAVED AREAS & BUILDING AND WALL SURFACES (LOCATE HEADS 3' CLEAR OF ALL HARDSCAPE SURFACES). ALL AUTOMATIC VALVES SHALL BE INSTALLED IN A VALVE BOX.

- CONTRACTOR SHALL COORDINATE PIPING LAYOUT WITH LANDSCAPE PLAN TO ENSURE PIPES DO NOT INTERFERE WITH ROOT BALLS OF TREES OR ROWS OF SHRUBS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

- CONTRACTOR SHALL VERIFY THAT ALL PERTINENT LOCAL AND STATE CODES ARE BEING OBSERVED.

- REFER TO CIVIL PLANS FOR SLEEVING LAYOUT.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	
	CECA	3	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B	2" Cal	10'-12' H X 5'-6' W	
	COFL	2	Cornus florida / Eastern Dogwood	N/A	2" Cal	10'-12' H X 5'-6' W	
	ILXA	13	Ilex x attenuata 'Fosteri' / Foster's Holly	N/A	2" Cal	6' HT. MIN.	
	MGLG	6	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	B & B	2" Cal	10'-12' H X 5'-6' W	
	QULY	3	Quercus lyrata 'Highbeam' / Highbeam Overcup Oak	B & B	3" Cal	14' HT/ MIN.	
	ULPA	4	Ulmus parvifolia 'Athena' / Athena Elm	B & B	3" Cal	14' HT/ MIN.	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	SPACING
	AZEN	18	Azalea Encore 'Autumn Ruby' TM / Autumn Ruby Azalea	5 gal			30" o.c.
	HYPA	18	Hydrangea paniculata 'Limelight' TM / Limelight Hydrangea	7 gal	24" w X 24" h		36" o.c.
	ICBN	57	Ilex cornuta 'Burfordi Nana' / Dwarf Burford Holly	7 gal	30" w X 30" h		48" o.c.
	ILCH	27	Ilex crenata 'Hoketi' / Hoker Japanese Holly	3 gal			24" o.c.
	RORA	5	Rosa shrub 'Radial' TM / Double Knock Out Rose	7 gal	24" w X 24" h		48" o.c.
	ROSM	57	Rosa x 'Meigaprio' / Red Drift Rose, PP #17877	3 gal			36" o.c.
GRASSES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	SPACING
	MUCW	21	Muhlenbergia capillaris 'White Cloud' / White Muhlly Grass	3 gal			48" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING
	ANNU	101 sf	Annuals / Annuals	flat			6" o.c.
	LIMB	848 sf	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal			12" o.c.
	SOD	286 sf	Turf Sod / Drought Tolerant Fescue Blend	sod			

PED BUFFER CALCULATIONS:

BUFFERING SHALL CONSIST OF A 10-FOOT WIDE PLANTING STRIP. THE PLANTING STRIP SHALL CONSIST OF A COMBINATION OF EVERGREEN TREES AND EVERGREEN SHRUBS. PLANT MATERIALS WILL BE PROVIDED AT A MINIMUM OF SIX (6) TREES AND TWENTY (20) SHRUBS PER 100 LINEAR FEET IN ACCORDANCE WITH SECTION 12.302(b)(5), (c), (d) AND (e).

REQUIRED PLANTINGS:

50 LINEAR FT. = 3 TREES REQ'D & 10 SHRUBS REQUIRED

PROPOSED PLANTINGS:

9 TREES (3 MGLG, 6 ILXA), 13 SHRUBS (ICBN)

TREE SAVE AREA:

SITE AREA:
11,454 SQUARE FEET, OR 0.26 ACRES

REQUIRED PLANTINGS:
36 TREES @ X 0.039 = 2 CANOPY TREES

TREE SAVE AREA REQUIRED:
0.26 AC X 0.15 = 0.039 ACRES

PROPOSED PLANTINGS:
2 CANOPY TREES (QULY)
9 UNDERSTORY TREES (6 ILXA + 3 MGLG)

TREE SAVE AREA PROVIDED:
775 SF + 537 SF + 429 SF = 1,741 SF, OR 0.039 ACRES



SCALE: 1" = 10'
0 5 10 20

1919 SOUTH BOULEVARD
SUITE 200
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PROJECT: 1211 E. BLVD. PARKING LOT
1211 EAST BLVD
CHARLOTTE, NC 28203

SHEET: 1

REV.	DATE	DESCRIPTION
-	09.08.16	FOR CONSTRUCTION
-	04.03.16	OWNER REVIEW

DESIGNED:	BRS
DRAWN:	
CHECKED:	
PROJECT:	SD #11605
DATE:	04.03.16

L1-0