



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-231

DATE: 7 September 2016

ADDRESS OF PROPERTY: 321-323 South Summit Avenue

HISTORIC DISTRICT: Wesley Heights

TAX PARCEL NUMBER: 07323106

OWNER(S): Pike Development Company, LLC

DETAILS OF APPROVED PROJECT: The project is a rear addition that is no taller or wider than the existing structure. The rear elevation roof will be changed from a hip to a gable and two small dormers will be added. Materials and details of the addition include wood lap siding, wood trim, wood cornerboards, and wood windows with wood trim. All other details will match existing. The project also includes sash-kit replacement windows throughout the entire house and the enclosure of one window on the right elevation. The replacement windows will be wood, double-hung with Simulated True Divided Light (STDL) molded muntins in a 6/6 pattern to match existing. A new wood replacement front door will be installed. A new wood deck, measuring approximately 15' x 20' will be constructed on the rear. The deck railing will be comprised of 2x2 pickets that die into a horizontal rail at the top and bottom and will have an additional horizontal piece of trim on top. Factory-clad seamless aluminum gutters will be placed on the side and rear elevations to be as unobtrusive as possible. Other improvements are restorative or routine maintenance including re-roofing, wood repair, repointing of masonry, etc.), which do not require approval. See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 23-24 - Work in Rear Yards, Replacement Windows & Doors, and Minor Changes.
2. This application is in compliance with Policy & Design Guidelines based on location of proposed work.

Continued on second page.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

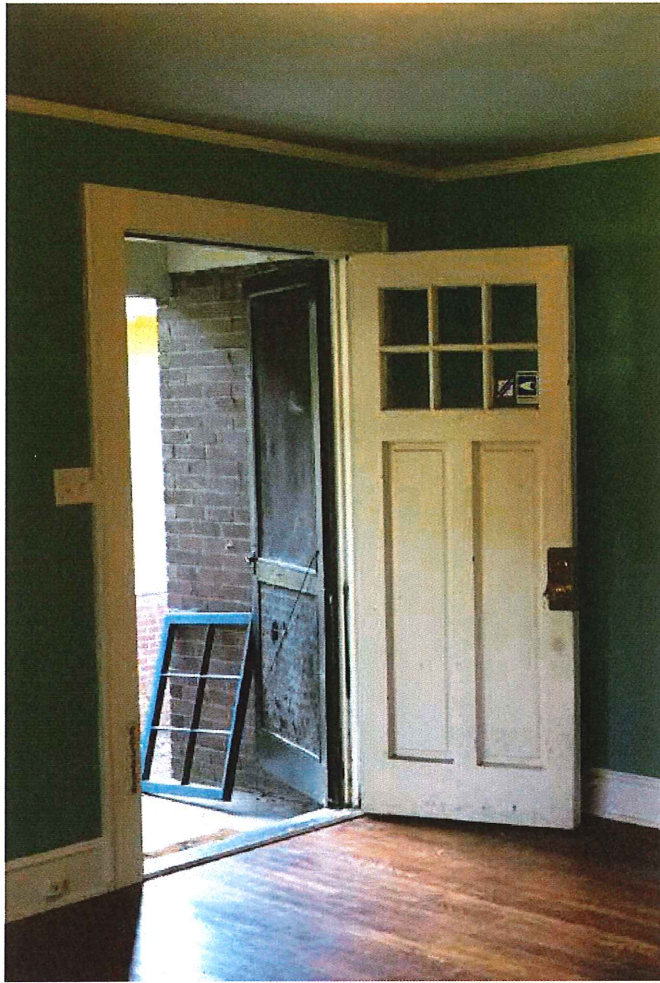
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



James Haden, Chairman



Staff



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2016-231

Front & Side Doors - September
2016

321 S SUMMIT AVE REMODEL

CONSTRUCTION DOCUMENTS

AUGUST 24, 2016

CLIENT:
PIKE PROPERTIES
321 S SUMMIT AVE
CHARLOTTE NC 28208

REDDRICK
ARCHITECTURE

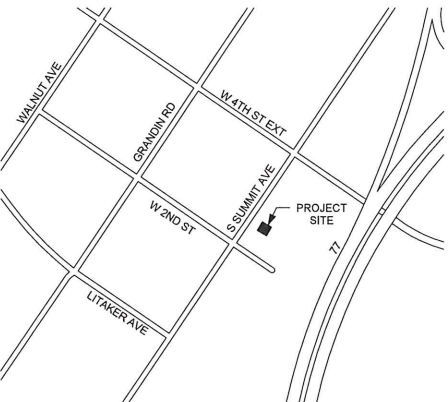
1333 RISING OAK DR, CHARLOTTE NC 28205
T 980.254.5349 jamesreddrick@hotmail.com
www.architizer.com/firms/reddrick/

INDEX OF DRAWINGS

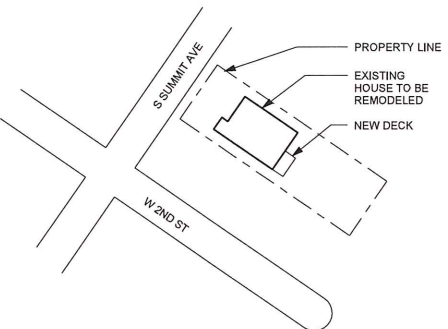
- A1 DEMOLITION PLANS
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 SECTIONS AND DETAILS
- S1 STRUCTURAL DRAWING
- S2 STRUCTURAL DRAWING



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Charlotte
Historic District
Commission
Certificate of Appropriateness
#2016-231
September 2016



2 VICINITY MAP



3 SITE PLAN

GENERAL NOTES

- 1. SOIL BEARING CAPACITY ASSUMED TO BE 2000 PSF. FIELD TEST DURING CONSTRUCTION TO VERIFY BEARING CAPACITY.
- 2. CONCRETE SHALL BE A MINIMUM OF 3500 PSI.
- 3. BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF 12" BELOW GRADE.
- 4. CONTRACTOR SHALL LOCATE UTILITIES BEFORE DIGGING.
- 5. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS.
- 6. ALL SOIL AROUND FOUNDATION TO BE TREATED BY LICENSED TERMITE PRE-TREATMENT CONTRACTOR AND DOCUMENTATION PROVIDED.
- 7. INTERIOR SIDE OF EXTERIOR MASONRY BASEMENT WALLS SHALL RECEIVE WATERPROOFING SEALER. INSTALL 2x4 STUD FRAMED WALLS AT 16" OC ALONG PERIMETER OF INTERIOR SIDE OF EXTERIOR MASONRY BASEMENT WALLS. PROVIDE R-13 BATT INSULATION BETWEEN STUDS. FINISH WITH GYPSUM BOARD.
- 8. DIMENSIONS ARE TO CENTER OF WALL, UNLESS SHOWN OR NOTED OTHERWISE.

FRAMING NOTES

- 1. ALL SAWN FRAMING MATERIALS TO BE MINIMUM #2 SPF OR EQUAL.
- 2. ATTACH EXTERIOR SHEATHING TO FRAMING WITH #8 RING-SHANK NAILS AT 8" ON CENTER AROUND PERIMETER OF SHEATHING AND AT 12" ON CENTER FOR INTERIOR SPACING.
- 3. WALLS SHALL BE 2x4 FRAMING SPACED AT 16" OC.

THERMAL NOTES

- 1. CEILING INSULATION TO BE R-30.
- 2. WALL INSULATION TO BE R-13.
- 3. FENESTRATION REQUIREMENTS:
DESIGN U-FACTOR= 0.35
SHGC= 0.30

WINDOW SCHEDULE

Type Mark	Rough Opening		Head Height
	Width	Height	
75	3'-4"	4'-10"	
80	2'-9"	1'-6"	
81	3'-4"	3'-6"	6'-10 11/16"
82	4'-2"	4'-10"	7'-1 11/16"
84	3'-4"	3'-6"	6'-10 11/16"
92	6'-8"	4'-10"	
99	4'-2"	4'-10"	6'-10 11/16"
101	8'-4 1/2"	4'-10"	8'-10"
102	3'-0"	4'-0"	
104	2'-0"	3'-0"	

- DOOR SCHEDULE -

Mark	Type	Height	Type Comments
48	28" x 80"	6'-8"	
51	48" x 80"	6'-8"	
52	30" x 80"	6'-8"	
53	24" x 80"	6'-8"	
54	30" x 80"	6'-8"	
55	28" x 80"	6'-8"	
56	24" x 80"	6'-8"	
57	30" x 80"	6'-8"	
58	30" x 80"	6'-8"	
60	28" x 80"	6'-8"	
61	30" x 80"	6'-8"	
62	36" x 80"	6'-8"	
63	32" x 80"	6'-8"	
64	30" x 84"	7'-0"	
65	28" x 80"	6'-8"	
66	48" x 80"	6'-8"	
67	24" x 80"	6'-8"	
10	36" x 84"	7'-0"	
68	76" x 84"	7'-0"	
69	48" x 80"	6'-8"	
70	24" x 80"	6'-8"	
72	36" x 80"	6'-8"	
76	36" x 80"	6'-8"	
77	24" x 24"	2'-0"	
78	30" x 80"	6'-8"	

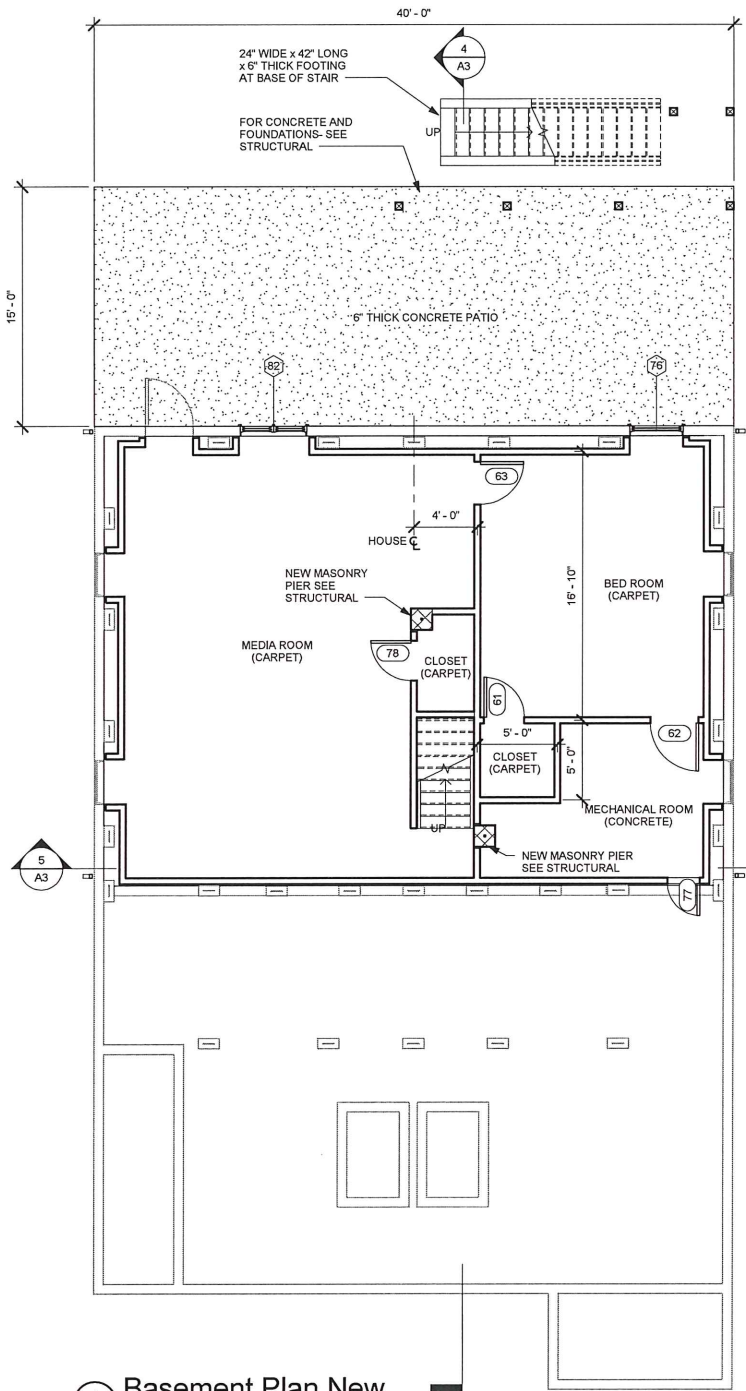


REDDRICK
ARCHITECTURE

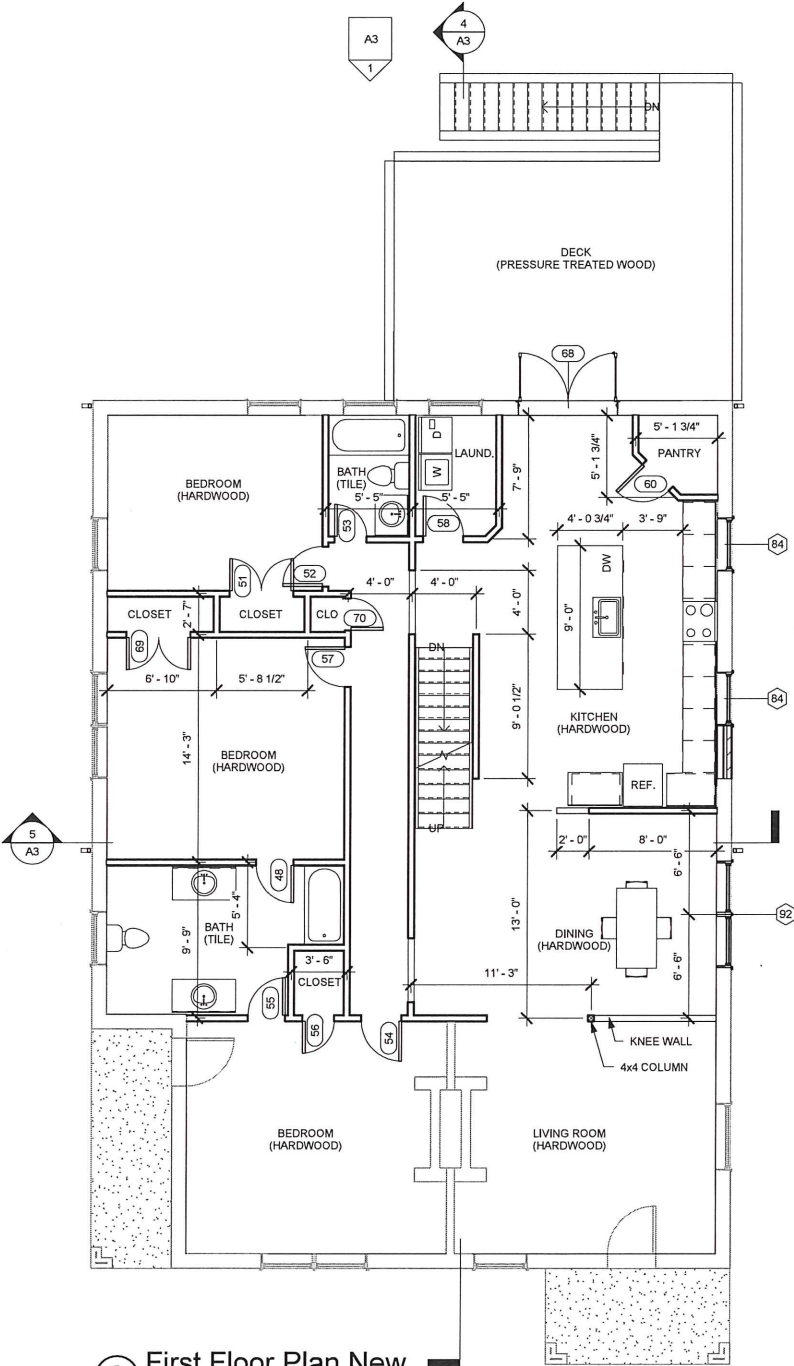
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T 980.254.5348
jamesreddrick@hotmail.com

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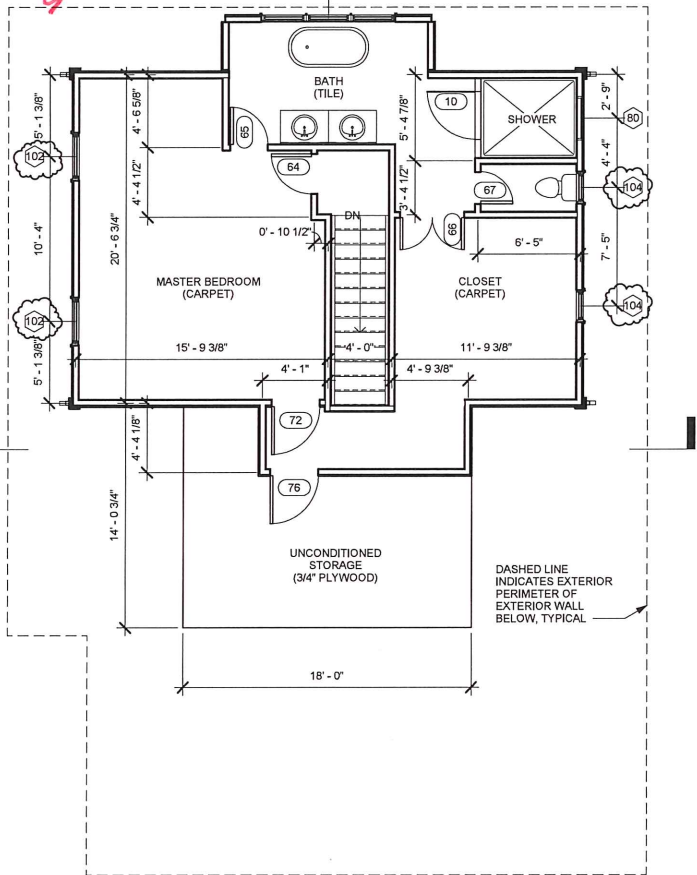
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1 Basement Plan New
3/16" = 1'-0"



2 First Floor Plan New
3/16" = 1'-0"



3 Second Floor New.
3/16" = 1'-0"

REMODEL & ADDITION
321 S SUMMIT AVE

CONSTRUCTION

ISSUE DATE 8/24/16
CHECKED BY J REDDRICK
DRAWN BY J REDDRICK
PROJECT NUMBER 2016-321-323

A2



REV

REV

REV

REV

09/06/16
REV 1 REVISED WINDOWS

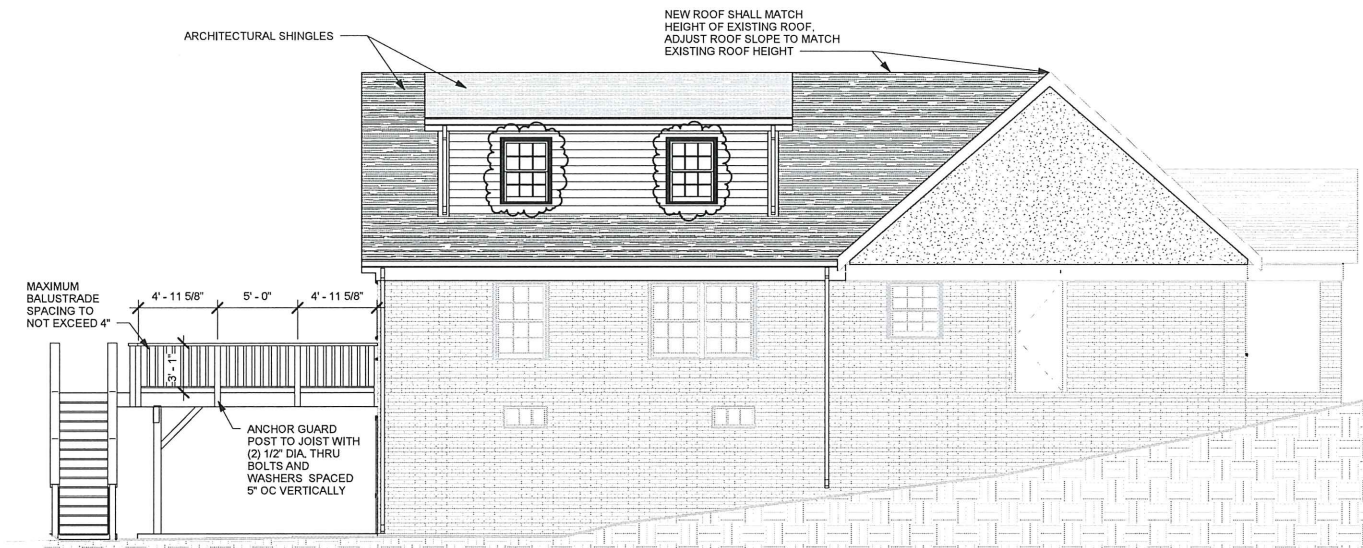
REV 0 ISSUED FOR CONSTRUCTION

REMODEL & ADDITION
321 S SUMMIT AVE

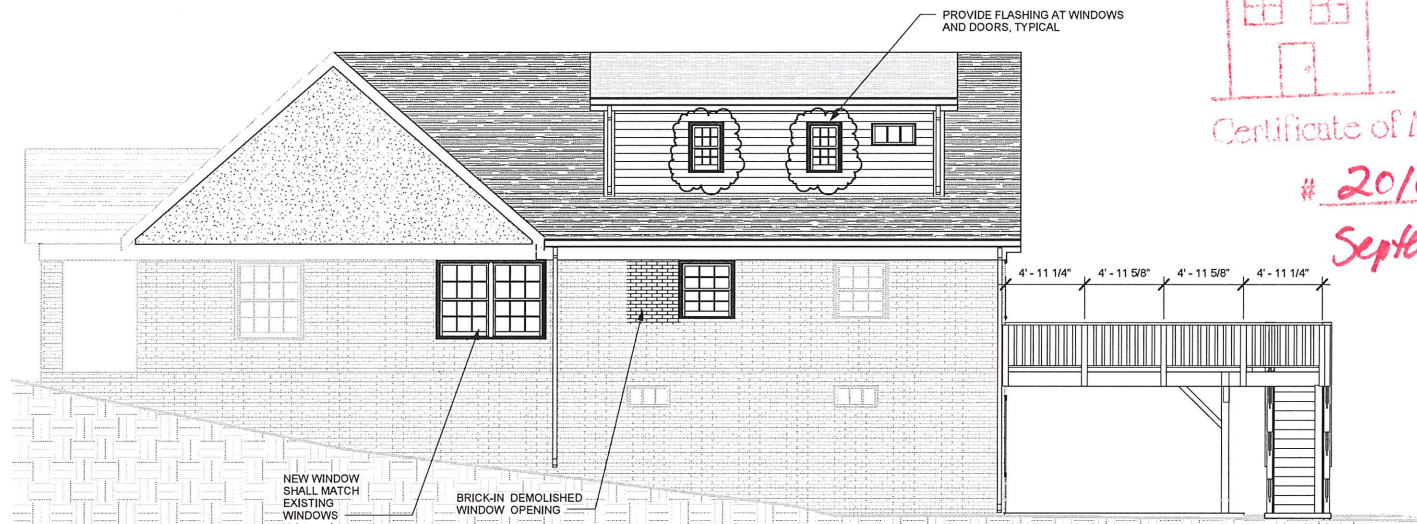
CONSTRUCTION

ISSUE DATE 8/24/16
CHECKED BY J REDDRICK
DRAWN BY J REDDRICK
PROJECT NUMBER 2016-321-323

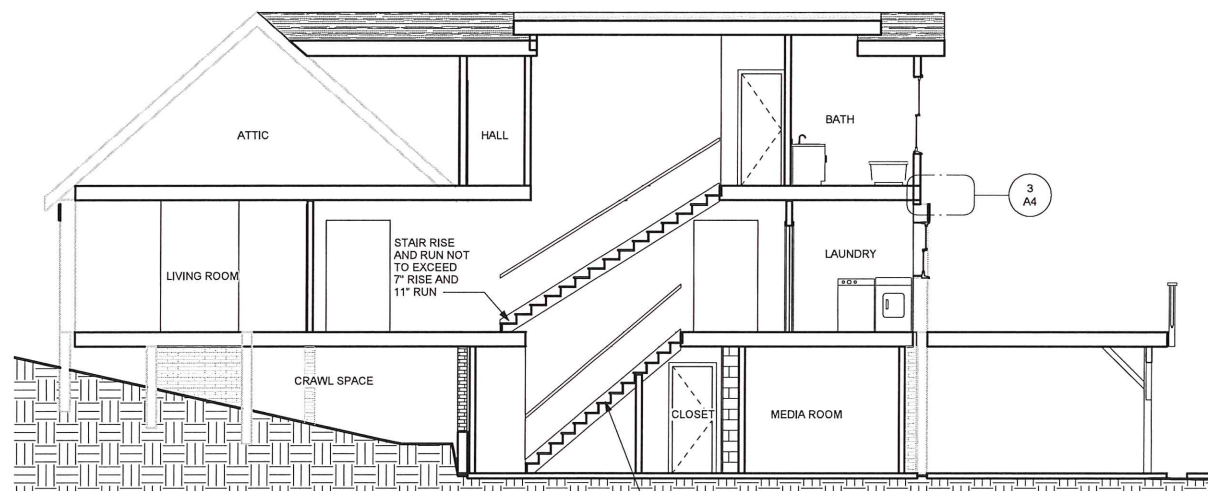
A3



2 ELEVATION-2
3/16" = 1'-0"



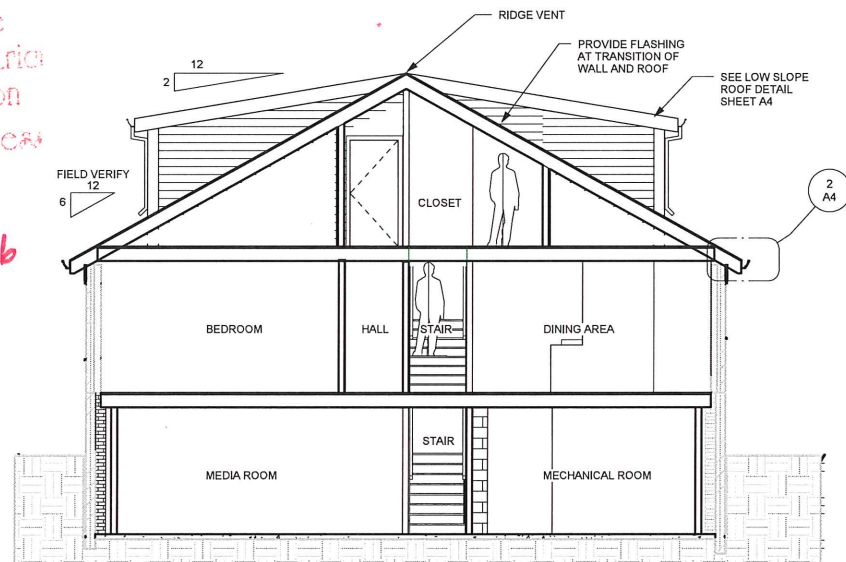
3 ELEVATION-3
3/16" = 1'-0"



4 Section 5 Copy 1
3/16" = 1'-0"



1 ELEVATION-1
3/16" = 1'-0"

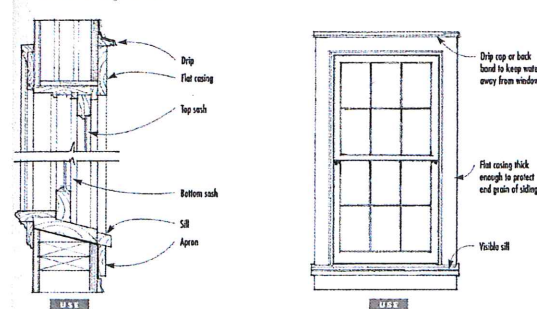


5 Section 8
3/16" = 1'-0"

HISTORICAL NOTES

- EXISTING FACADE ARCHITECTURAL ELEMENTS SHALL NOT BE CHANGED. INTEGRITY OF HISTORICAL CHARACTER SHALL BE MAINTAINED BY CONTRACTOR DETAILS.
- NEW WINDOWS SHALL CONFORM TO HISTORICAL ELEMENTS AS SHOWN IN REFERENCE IMAGE BELOW.
- FASCIA, SOFFITS, AND FREEZE TO MATCH EXISTING.

Window Casings to Use





REV

REV

REV

REV

REV

REV 0 ISSUED FOR CONSTRUCTION

REMODEL & ADDITION
321 S SUMMIT AVE

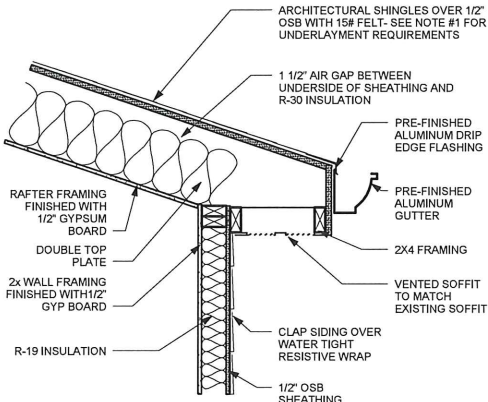
CONSTRUCTION

ISSUE DATE 8/24/16
CHECKED BY J REDDRICK
DRAWN BY J REDDRICK
PROJECT NUMBER 2016-321-323

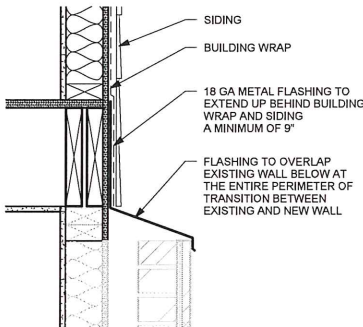
A4

ROOFING NOTES

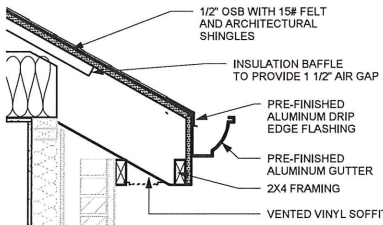
1. PROVIDE 2 LAYERS OF UNDERLAYMENT AT LOW SLOPE ROOF. APPLY 19" STRIP OF UNDERLAYMENT PARRALLEL TO AND STARTING AT EAVES FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT EAVE APPLY 36" WIDE SHEETS OVERLAPPING SUCCESSIVE SHEETS 19" AND FASTENED SUFFICIENTLY TO HOLD IN PLACE.



⑤ LOW SLOPE ROOF PITCH
1" = 1'-0"

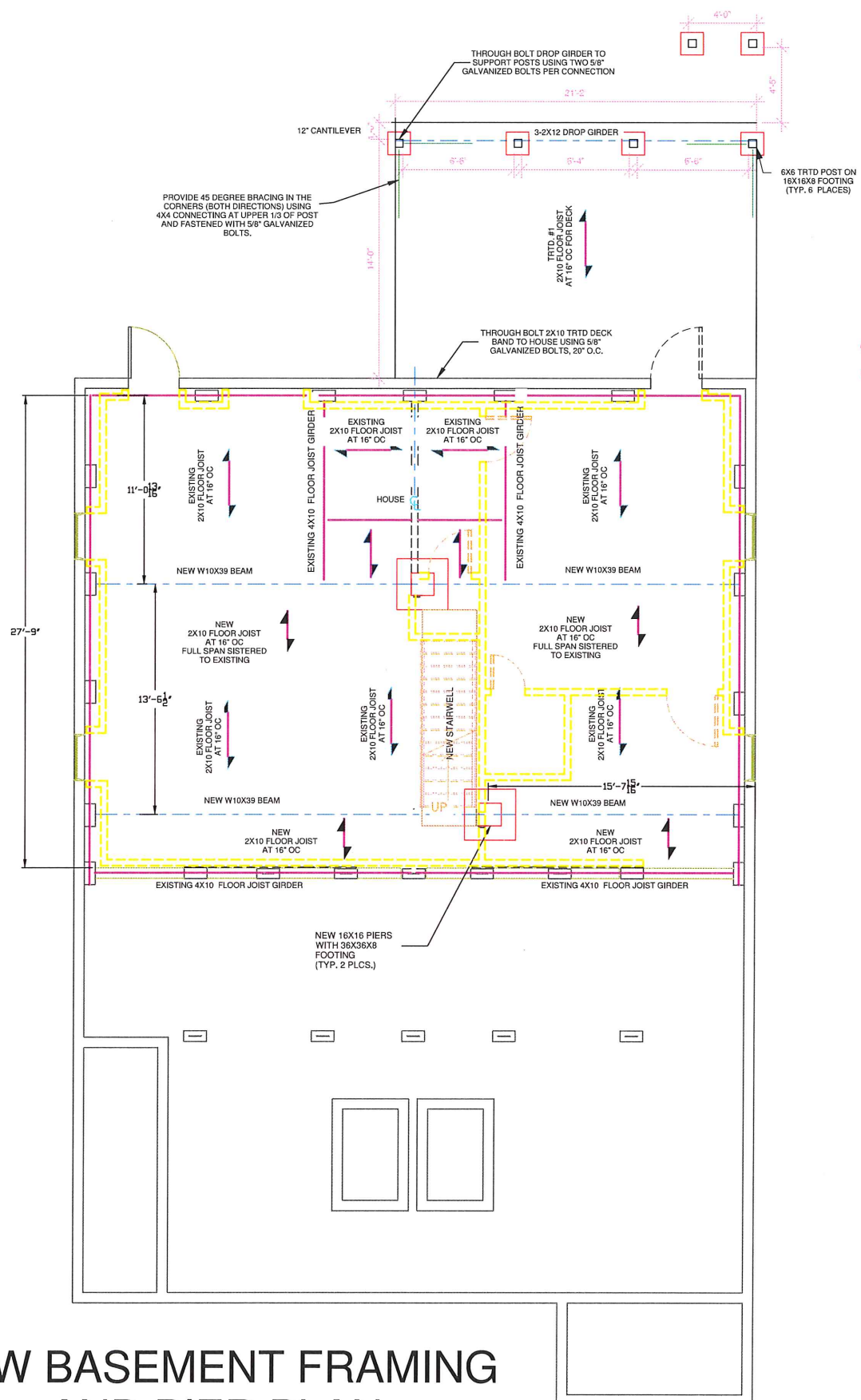


③ Section 5 Copy 1 - Callout 1
1 1/2" = 1'-0"



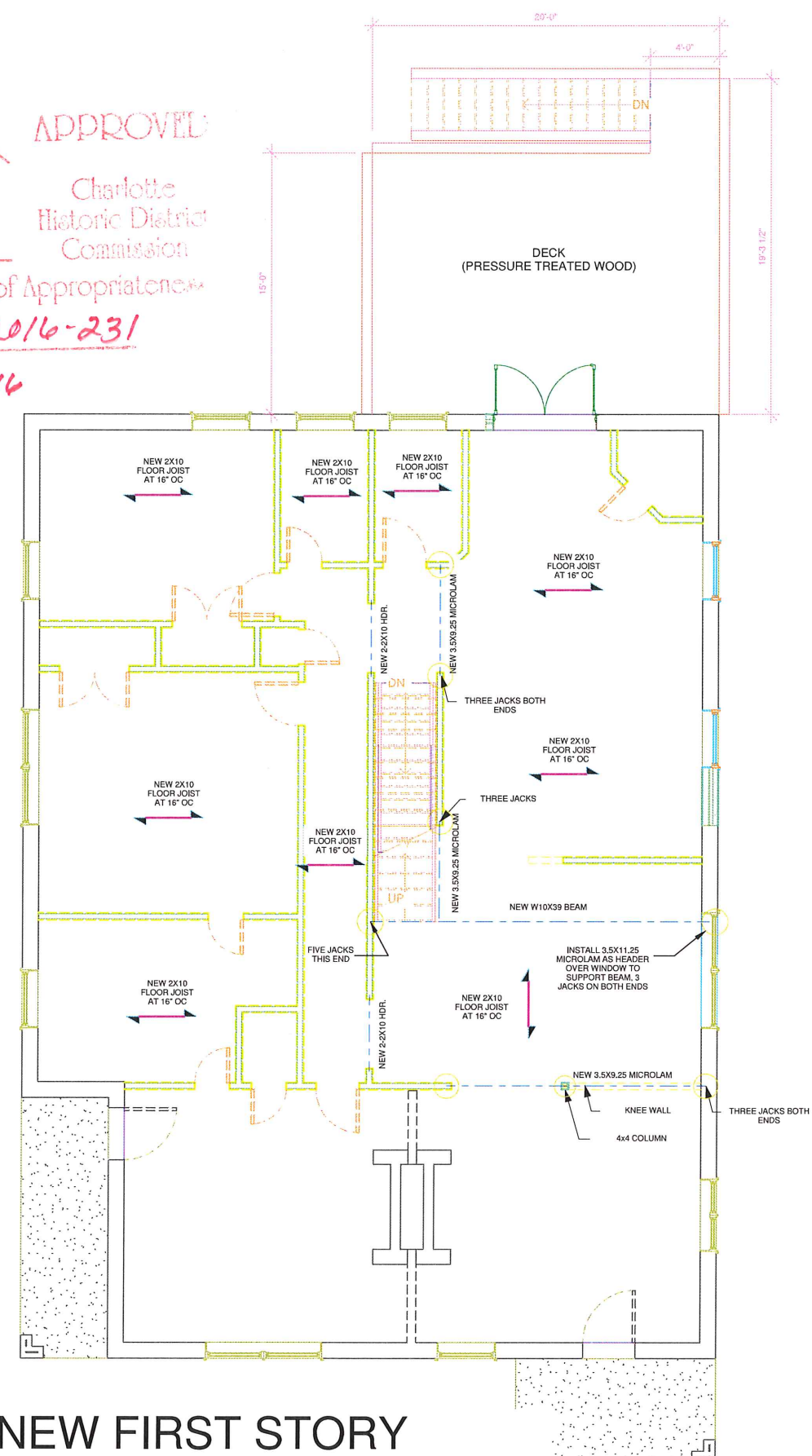
② Section 8 - Callout 2
1" = 1'-0"



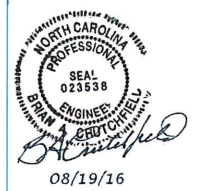


NEW BASEMENT FRAMING
AND PIER PLAN

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2016-231
September 2016



NEW FIRST STORY
FRAMING PLAN



REV.	0
DATE: AUGUST 19, 2016	
DRAWN BY: B. CRUTCHFIELD	
APPROVED BY:	
REVISIONS:	

CRUTCHFIELD HOMES
DESIGN/BUILD
4511 Morrowick Rd.
Charlotte, NC 28226
(704) 516-7689 mobile
CRUTCHFIELDHOMES@AOL.COM

PIKE PROPERTIES
321 SOUTH SUMMIT AVENUE
CHARLOTTE, NC

BUILDING STRUCTURALS
RESIDENTIAL ADDITION
BASEMENT & FIRST FLOOR FRAMING
SCALE: 1/4" = 1'-0"