



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-227

DATE: 30 August 2016

ADDRESS OF PROPERTY: 729 Woodruff Place

HISTORIC DISTRICT: Wilmore

TAX PARCEL NUMBER: 07102118

OWNER(S): Gregory W. Powell

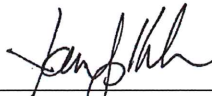
DETAILS OF APPROVED PROJECT: Installation of a fence along the right property line and a gate at the left rear corner of the house, see attached exhibit labeled 'Site Plan – August 2016.' The new wood fence and gate will be shadowbox-style. The fence and gate will not exceed six feet in height. All framing members will face inward to the property being enclosed or both sides of the fence and gate will be the same. The finished fence and gate will be painted or stained. See attached exhibit labeled 'Fence Design – August 2016.'

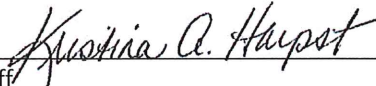
Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 24: Fencing.

The applicable Policy & Design Guidelines for fencing (page 56) have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

LEGEND:

R/W	RIGHT OF WAY	M BK	MAP BK & PG
NIR	NEW IRON REBAR	D BK	DEED BK & PG
N/F	NOW OR FORMERLY	P.D.E.	PUBLIC DRAIN E'SM.'T
E.I.R.	EXIST. IRON REBAR	ESM.'T.	EASEMENT
E.I.P.	EXIST. IRON PIPE	O.P.L.	OVERHEAD POWER LINE
C.P.	CALCULATED POINT (NO POINT FOUND/SET)	P.	PORCH
C.P.P.	POWER POLE	C.	CHIMNEY
PL	PROPERTY LINE	S.	STOOP
FENCE		CONC.	CONCRETE
U.M.	UTILITY MARKER	U.M.	UTILITY MARKER
E.L.	EASEMENT LINE	E.L.	EASEMENT LINE
H.V.A.C. UNIT		EXIST.	EXISTING

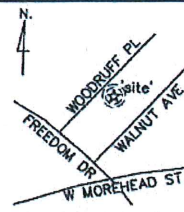
CURRENT CHAR.-MECK. ZONING**CLASSIFICATION: R-8**

(from CIS report)

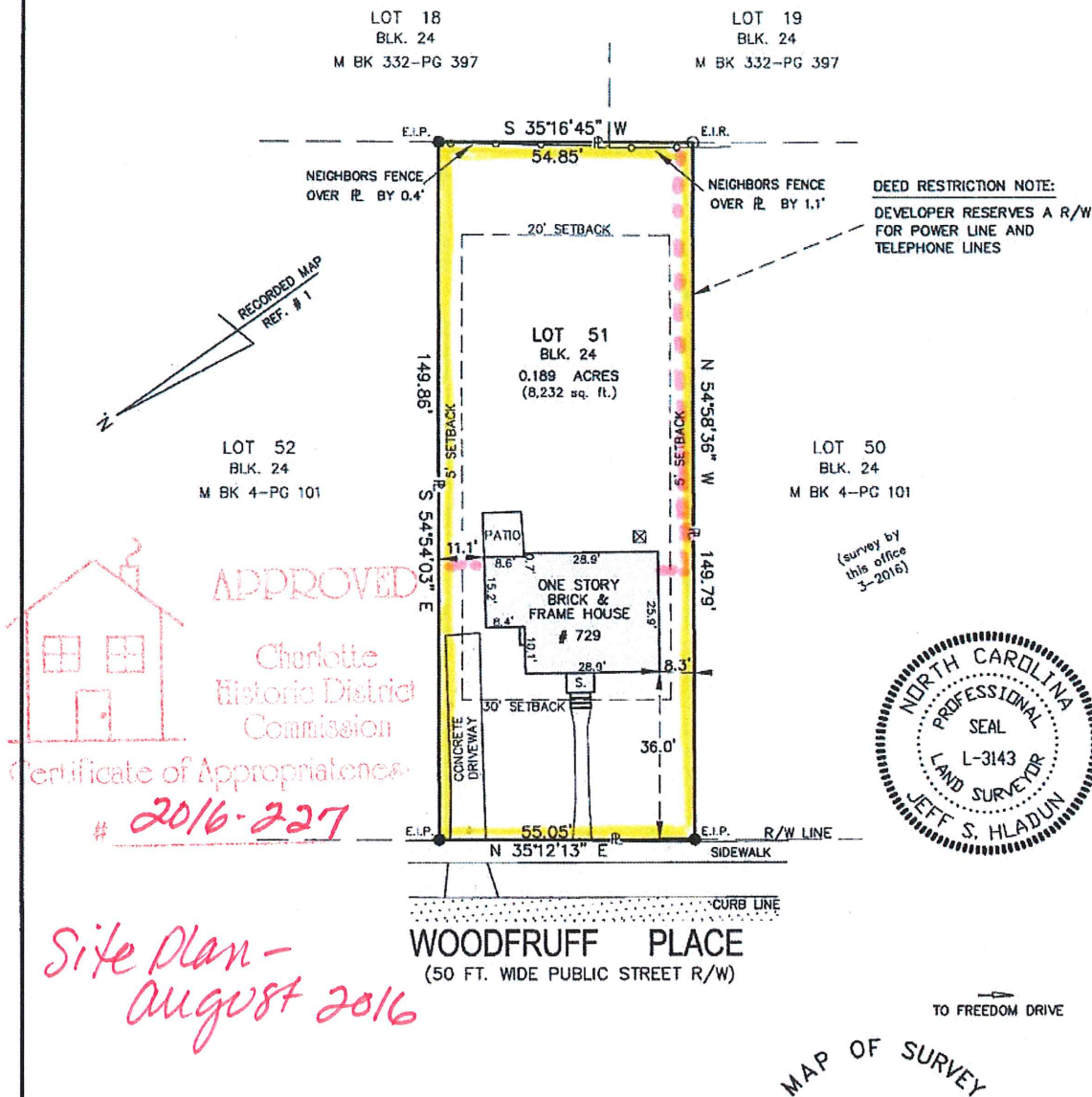
ZONING NOTED ON RECORDED PLAT: NONE
BUILDING SETBACK LINES SHOWN ON LOT ARE
FROM (CHAR.-MECK.) R-8 ZONING AND THE
DEED RESTRICTIONS, AS FOLLOWS:

FRONT=30 FT. SIDES=5 FT. REAR=20 FT.
(from Deed Restrictions) (R-8 zoning)

(Note: Pertains to the principal structure only)



VICINITY MAP
(NOT TO SCALE)

**LEGAL REFERENCES:**

- 1.- RECORDED MAP (PLAT) IN MAP BK 4, PG 101, on JUNE, 1932.
- 2.- DEED-RECORDED IN D BK 27418, PG 671. (into FOSTER)

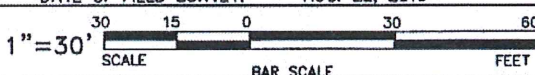
GENERAL NOTES:

1. F.E.M.A. F.I.R.M. PANEL # 37104 54400 K, DATED: 2-19-14 - ZONE X. PARCEL IS NOT LOCATED IN ANY SPECIAL FLOOD HAZARD AREA
2. DIMENSIONS SHOWN ARE IN FEET (FT.) & DECIMAL PARTS OF A FT. (").
(ex: 0.5' = 6 inches / 0.75' = 9 inches / 1.0' = 12 inches).
3. DEED RESTRICTIVE COVENANTS RECORDED IN D BK 1197, PG 353 ON 5-31-1946.

"I HEREBY CERTIFY THAT THIS MAP WAS DRAWN FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION ON THE DATE SHOWN BELOW, AND THAT THIS SURVEY AND MAP COMPLIES WITH THE MINIMUM STANDARDS FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE SEC. 21-56.1600"

Jeff S. Hladun 8-24-16
JEFF S. HLADUN N.C.P.L.S. # 3143 (signature) DATE

DATE OF FIELD SURVEY: AUG. 22, 2016



FOR

GREGORY W. POWELL

(Proposed Purchaser)

LEGAL LOCATION

LOT No. 51 - BLOCK 24

" WESLEY HEIGHTS " (A Portion of)

CITY OF CHARLOTTE

MAP BK 4-PG 101

MECKLENBURG Co., No. CAROLINA

STREET ADDRESS 729 WOODRUFF PLACE, CHARLOTTE

RECORD OWNER JAMES D. FOSTER

JEFF HLADUN
LAND SURVEYOR5848 LEBANON ROAD
CHARLOTTE, NC 28227
Ph. (704) 618-2341

MAP DATE: AUG. 24, 2016

FILE # 265425.04

TAX i.d.# 071 021 18

DISK # flash # 5 carlson '15

drawn by: andrew c. grayson h./james

hladunsurveying @ carolina.rr.com

Fence Design - August 2016

