



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-184

DATE: 25 July 2016

ADDRESS OF PROPERTY: 828 East Boulevard

HISTORIC DISTRICT: Dilworth

TAX PARCEL NUMBER: 12108210

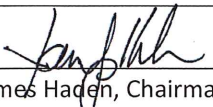
OWNER(S): Hayden Harper Advisory, LLC

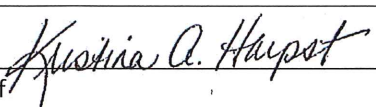
DETAILS OF APPROVED PROJECT: The project the addition of a new parking area adjacent to an original accessory building and re-paving the existing parking areas and driveways, see attached exhibit labeled 'Site Plan – July 2016.' The project also includes the removal of a non-original wood pergola over the rear deck and a replacement garage door; see exhibits labeled 'Site Plan – July 2016' and 'Garage Door – July 2016.' The primary structure's brick foundation will be cleaned with the gentlest means possible and, where necessary, repointed with mortar that matches existing in color and composition.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 23: Replacement Windows and Doors and Work in Rear Yards
2. The applicable Policy & Design Guidelines for Windows and Doors (page 26), Surface Cleaning (page 29) and Parking Areas, Paving and Driveways (page 63) have been met.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

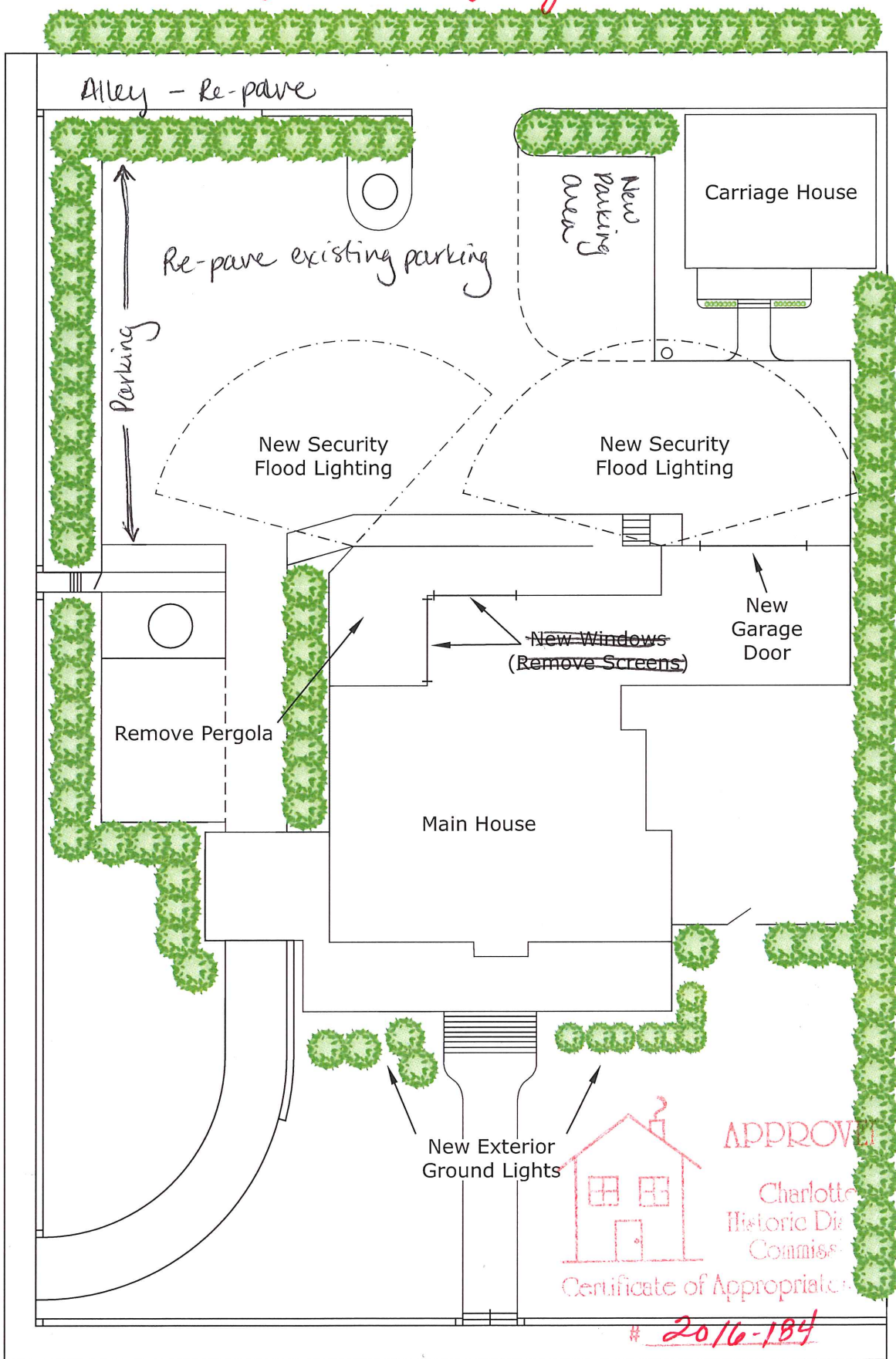
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman

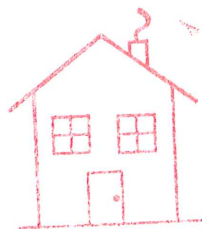

Staff

Site Plan - July 2016

Park Road



Garage door - July 2016



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2016-184