

## **CHARLOTTE HISTORIC DISTRICT COMMISSION**

## **CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER: 2016-106** 

**DATE:** October 18, 2016

ADDRESS OF PROPERTY: 1912 South Mint Street

TAX PARCEL NUMBER: 11907538

**HISTORIC DISTRICT:** Wilmore

**OWNER(S):** Justin Nifong

**DETAILS OF APPROVED PROJECT:** The project is a new single family home. Design features include a front porch, front facing gable dormers, rear shed dormer and wood trim materials. The rear dormer has a standing seam metal roof. Proposed height is approximately 24'-7". The front setback is approximately 29' to the front porch. Trim details are noted on plan sheets 10-12. Porch deck is wood T&G installed perpendicular to front wall.

The project was approved by the HDC October 12, 2016.

- > This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- > Display the blue COA placard in a visible location along with any required permits.
- > No other approvals are to be inferred.
- > No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- > All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

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Jim	Haden,	Chair	man

Staff

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charlotteplanning.org

600 East Fourth Street Charlotte, NC 28202-2853 PH: (704)-336-2205

FAX: (704)-336-5123

Heartwood Tree Service, LLC

P.O. Box 240881 Charlotte, NC 28224 Office: 704-525-3066 Fax: 704-521-8831



## **Tree Protection Plan**

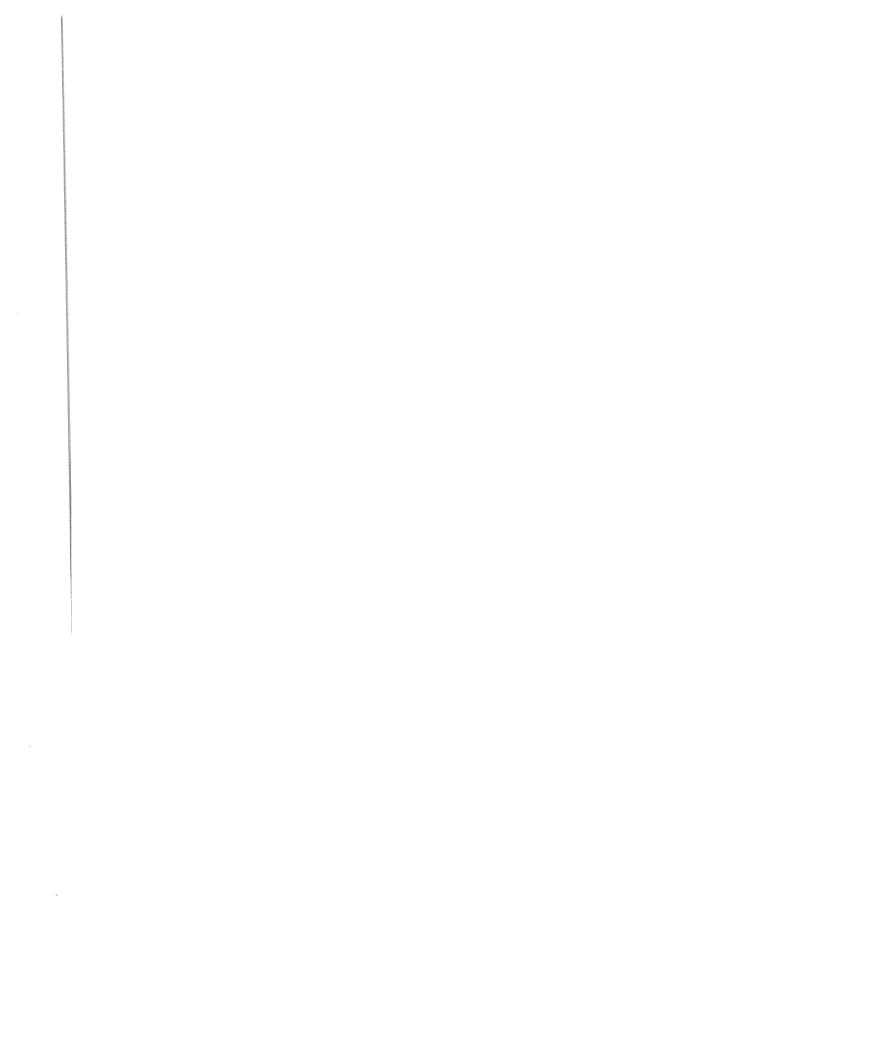


Project specifications for the new home construction at 1912 S. Mint St, 28203 will contain language to address the following items to preserve the (46") Deodara Cedar (front of property):

- 1. Install a tree protection barrier/fence to protect the critical root zone measured 6.5' (minimum) from the buttress roots oriented at 185° S, 250°W, 279°W, 324°NW, and 5°N; measured 20' from the buttress root oriented at 55°NE; measured 20' form the base perpendicular to the sidewalk (fence running parallel to the sidewalk)—There is to be no equipment access, storing of materials, or any action that will compact or disturb the soil or roots within the protected zone (\$1,890.00-\$2,205.00)
- 2. Use an Air Spade to create a trench (within the protected root zone) and prune any roots that have been damaged or have the potential to be damaged as a result of the construction process (\$1,575.00)
- 3. Prune to remove dead or broken branches >1" diameter; raise/reduce the lower canopy (as appropriate) to allow adequate clearance for house construction (\$1,260.00)
- 4. Collect a relative soil sample to have the current nutrient content analyzed (\$75.00)
- 5. Kill/remove all voluntary ground cover within the tree preservation area (\$307.50)
- 6. Use an Air Spade to install 4-6 radial trenches within the protected root zone to improve the soil structure/quality and increase the volume of fibrous/collection roots (\$2,460.00)
- 7. Administer a prescription fertilizer blend (according to the soil analysis) directly to the root zone to improve the soil structure, correct the soil pH, and increase vigor (prior, during, and post construction) (\$345.00/application)

- 8. Install a 3-4" layer of wood chips/mulch to buffer the critical root zone (@50 cubic yards) (\$1,155.00)
- 9. Treat the lower stem with a preventative insecticide to protect against Ambrosia Beetles and other harmful wood-boring pests (April, June, Aug, and Oct 2017) (\$102.50/application)
- 10. Have an ISA Certified Arborist will inspect this tree monthly throughout the construction process to assess and document the tree's health
- 11. Install a lightning protection system in the upper canopy to protect against electrical energy in the event of a lightning strike (\$630.00); this is a risk mitigation item, not an essential for construction sustainability; price is valid if scheduled at the same time as pruning

The recommended items (above) are listed in order of priority and scheduling



GENERAL NOTES

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I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

NON-CERTIFIED REFER TO SIGNED & SEALED COPY

> Andrew G. Zoutewelle Professional Land Surveyor NC License No. L-3098

DATED JUNE 30, 2015

SUBJECT PROPERTY lavel = 104.1 WEST WORTHINGTON AYENUE

## SOUTH MINT STREET



1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public eidewalk, front yard grade ("Grade"), let level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.

2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (I.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

# A.G. ZOUTEWELLE

## SURVEYORS

1418 East Fifth St. Charlotte, NC 28204 Phone: 704-372-9444 Fax: 704-372-9555 Firm Licensure Number C-1054

Copyright 2015

Building Heights Sketch of 1900-1928 OF SOUTH MINT STREET FACING NORTHWEST CHARLOTTE, MECKLENBURG COUNTY, N.C. for Charlotte-Mecklenburg Planning Department June 30, 2015

60'

DATE: Tuesday, October 18, 2016 PAGE SIZE 24"X36" SCALE: 0.0469" = 1'-0"

MEMBER

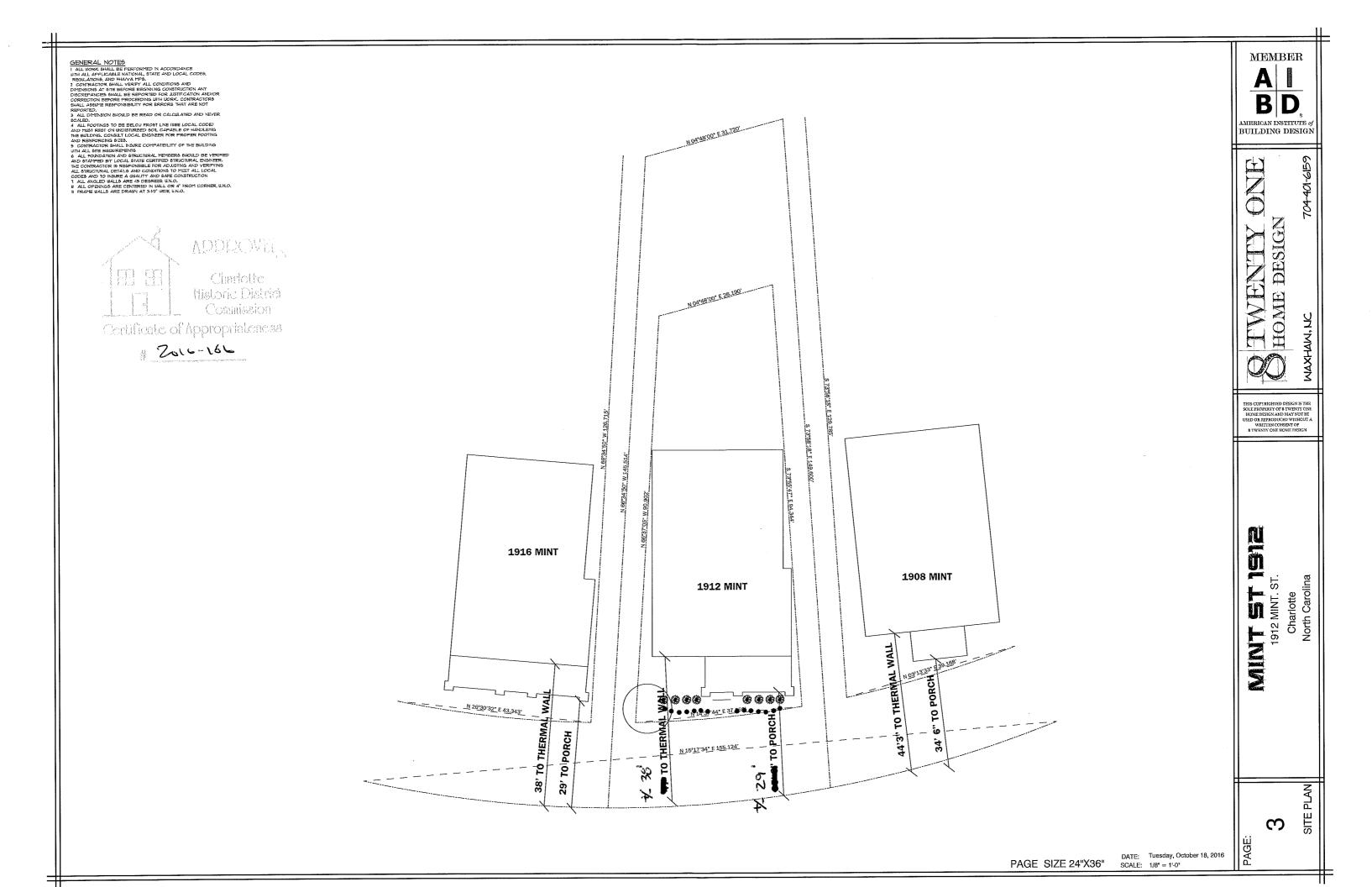
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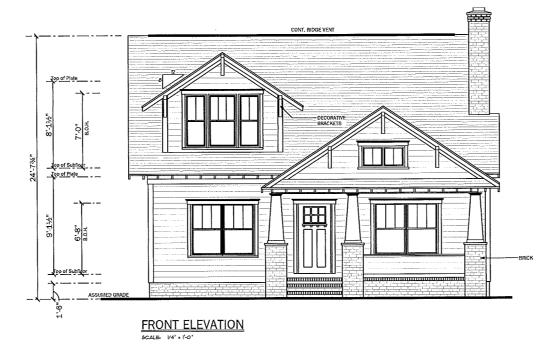
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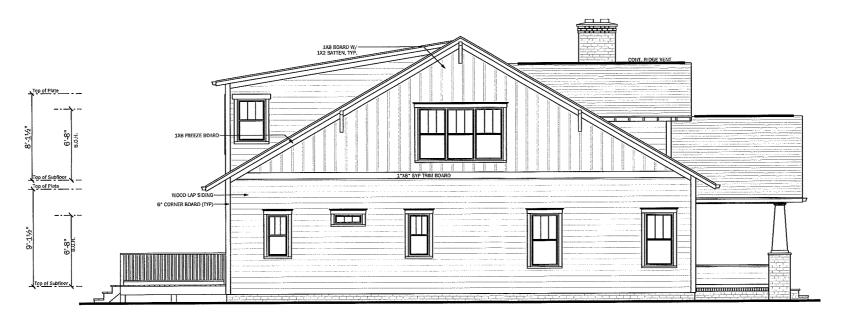
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· 2016-166





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TWENTY ONE DESIGN HOME

MEMBER

**B D** AMERICAN INSTITUTE of BUILDING DESIGN

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1912 MINT. ST. LUIN

Charlotte North Carolina

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PAGE SIZE 24"X36"

DATE: Tuesday, October 18, 2016 SCALE: 1/4" = 1'-0"

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Alda Chair Charles Historic Charlet Commission Certificate of Appropriateness 2016-160

Top of Plate -30 YR. SHINGLES Top of Subfloor
Top of Plate AND BOTTOM Top of Subfloor

REAR ELEVATION

BCALE: 1/4" • 1'-0'



**RIGHT ELEVATION** 

## **ELEVATION NOTES:**

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DESIGN TWENTY HOME

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1912 MINT. ST.

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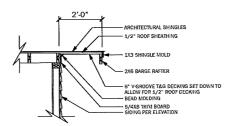
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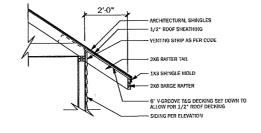
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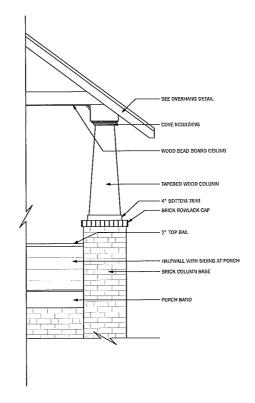
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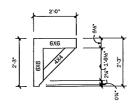
## RAKE OVERHANG DETAIL SCALE: 1/2" = 1'-0"



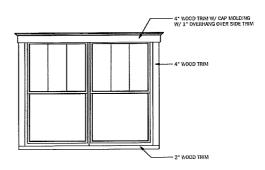
SLOPED OVERHANG DETAIL



PORCH POST DETAIL SCALE: 1/2" = 1'-0"



BRACKET OVERHANG DETAIL SCALE: 1/2" = 1'-0"



WINDOW TRIM DETAIL SCALE: 1/2" = 1'-0"

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HOME DESIGN TWENTY

Charlotte North Carolina 1912 MINT. ST.

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W/A 7" FOMED, TYPEAL OF 3) BRACE DECK PER SECTION AM109 . 2'-8" (SEE PAGE 6) ADDIOVEL 7'-51/4" 5'-934" 80(16 8X16 BAND Charlotte Historic District 4'-1114" Commission -R408.8 PROVIDE MIN. 18"X24" CRAWL SPACE ACCESS HINAL LOCATION PER BUILDER Certificate of Appropriate acid 2016-166 7'-61/4" £5'-7¾", 3'-4" 13'-8¾" 4'-21/4" 1'-9'/ ---44 15'-7" -Typical 200 floor system: 314° TK: Plywood Subfloor 200 floor Joists (SEE Plan) Batt insulation 2'-014"-1 2 SYP #2 2-2X10 BAN -2x6 p.t. 51l plate anchored by UP dia anchor bolté s 6'-0' o.c. IP from corneré and bed plates, bygeteded 1' nto block or concrete or 5traps V. P. TYPICAL FOUNDATION DETAIL (BP) TREATED SYP #2 2-2X10 - 16"X16" MASONRY MER FILL SOLID W/ A 4" BRICK VENER TIED V// 9 g HORIZONTAL JOINT REINFORCEMENT & 16" O.C. VERTICALLY (TYPICAL OF 3) 7'-1" 4'-6%" 11'-7%" FOUNDATION PLAN

120 W. Bland Street Charlotte, NC 28203 704-331-9219 NC License #C-3528

SC License #4185 AMERICAN INSTITUTE of BUILDING DESIGN



NOTES:

1) SPF #2 2X10 @ 16\* 0.C.

2) SYP #2 2X8 @ 16" O.C. TREATED

3 SYP #2 2X8 @ 24" O.C. TREATED

 $\left\langle \mathbf{G} \right\rangle$  SYP #2 3-2X10 FLUSH GIRDER U.N.O.

TREATED SYP #2 2X8 BAND; FASTEN TO 2-2X10 EXT. BAND W/ 5/8" DIA. HDG THRU BOLTS @ 16" O.C. STAGGER 2-1/2" FROM TOP AND BOTTOM OF 2X8 BAND

SEPERATE PIERS FROM FRAMING W/ A TREATED SYP #2 2X6 SILL OR NON-CORROSIVE FLASHING U.N.O.

16"X16" MASONRY PIER, FILL SOLD W/ 2000 PSI GROUT OR TYPE M OR S MORTAR ON 30"X30"X10" FOOTING W/ 3 - #4 BARS EACH WAY

4" LONG X 4" WIDE X +/- 10" DEEP BEAM POCKET, LEVEL W/ STEEL SHIMS

30X30X10 W/ 3#4'S E.W. 36X36X10 W/ 4-#4'S E.W.

DROPPED PIER

**FLUSH PIER** 

**CRAWL VENTILATION CALCULATIONS** 

CRAWL SPACE AREA = 1357 REQ D # OF VENTS = 1357 150 SQ. FT.(0.5 SQ. FT./VENT) = (18 VENTS)

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Charlotte North Carolina NINT ST

> FOUNDATION 4

DATE: Saturday, September 24, 2010

SCALE: 1/4" = 1'-0"

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GENERAL NOTES

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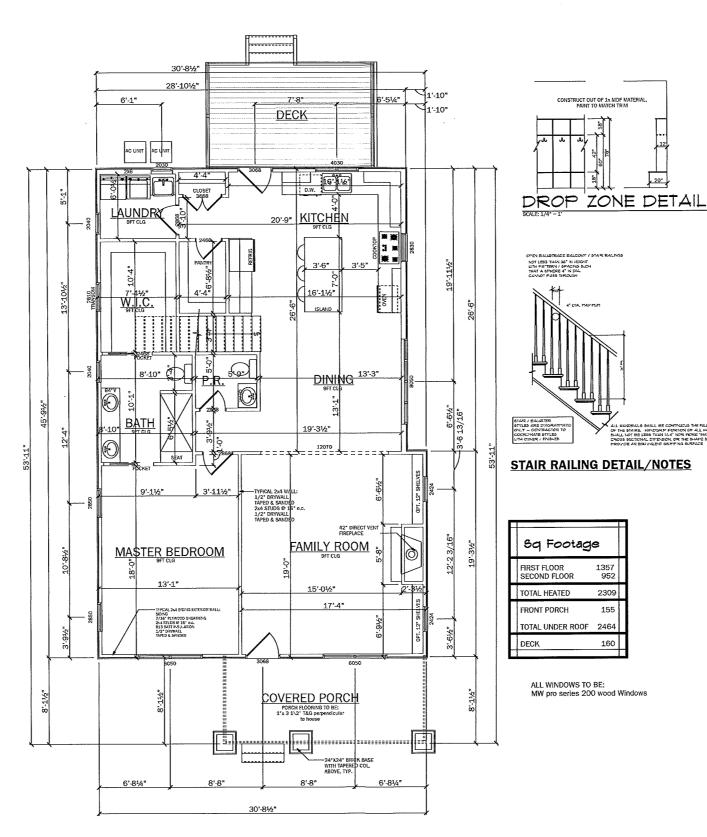
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9. FRAME WALLS ARE DRAWN AT 3-1/2" WIDE UN.O.

APPROVED Charlotte Historic District Commission Contificate of Appropriate and a

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FIRST FLOOR WALLS

MEMBER **B D** 

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TWENTY ONE DESIGN HOME

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1912 MINT. ST.

Charlotte North Carolina

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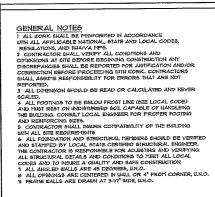
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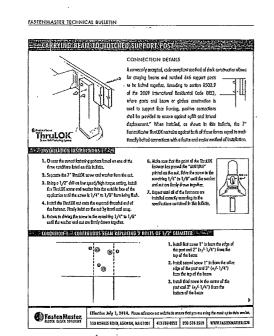
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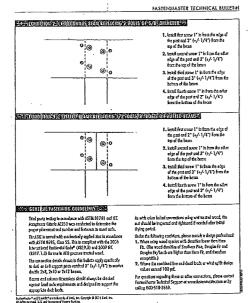
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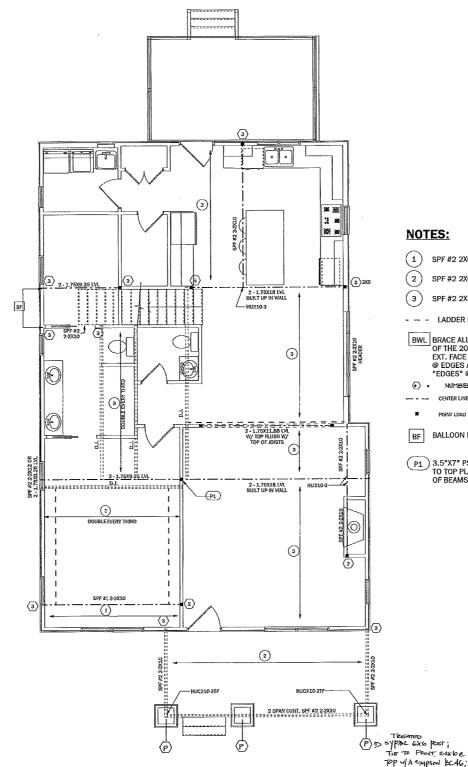
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SECOND FLOOR SYSTEM



SEAL 32126

NC License #C-3528

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120 W. Bland Street Charlotte, NC 28203 704-331-9219

SC License #418

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ABSCACKE HAT APPEARS

OF THE ENSUREER DESIGN.

NOTES:

1) SPF #2 2X6 @ 16" O.C.

(2) SPF #2 2X6 @ 16" O.C.

(3) SPF #2 2X10 @ 16" O.C.

- - LADDER BLOCK BELOW WALL ABOVE W/ 2-2X10 BETWEEN JOISTS

BWL BRACE ALL EXTERIOR WALLS PER ENGINEERED DESIGN (SECTION R602.10.4 OF THE 2012 NCRC W/ SEPTEMBER 2013 AMENDMENTS) AS FOLLOWS: COVER EXT. FACE OF WALL W/ 7/16" OSB, FASTEN W/ 8d (PENNY) NAILS @ 6" O.C. @ EDGES AND @ 12" O.C. @ INTERMEDIATE SUPPORTS; LAP ALL PLATES (FASTEN PER "EDGES" @ TOP, BOTTOM, AND SILL PLATES)

● NUMBER OF 2X4 JACK STUDS

- - CENTER LINE OF BEAM

POINT LOAD

THE TO TOP OF PHER BELOW A SIMPSON ABUNGE

of A 1/2 & Ankthop Bout of

A 7" EMBERMENT

BF BALLOON FRAME SPF #2 3-2X4 STUDS @ 12" 0.C.

(P1) 3.5"X7" PSL COLUMN W/ TOP IN CONTACT LET-IN TO TOP PLATE TO BE IN CONTACT W/ BOTTOM

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BUILDING DESIGN

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GENERAL NOTES

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2 CONTRACTOR SHALL VERBY ALL CONDITIONS AND
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DISCREPANCES SHALL SE REPORTED FOR DISTRICTION ANY
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AND RERNOSCING SIZES.

5 CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING

WITH ALL SITE REQUIREMENTS

6 ALL FORNOATION AND STRUCTURAL MEMBERS SHOLD BE VERIFIED

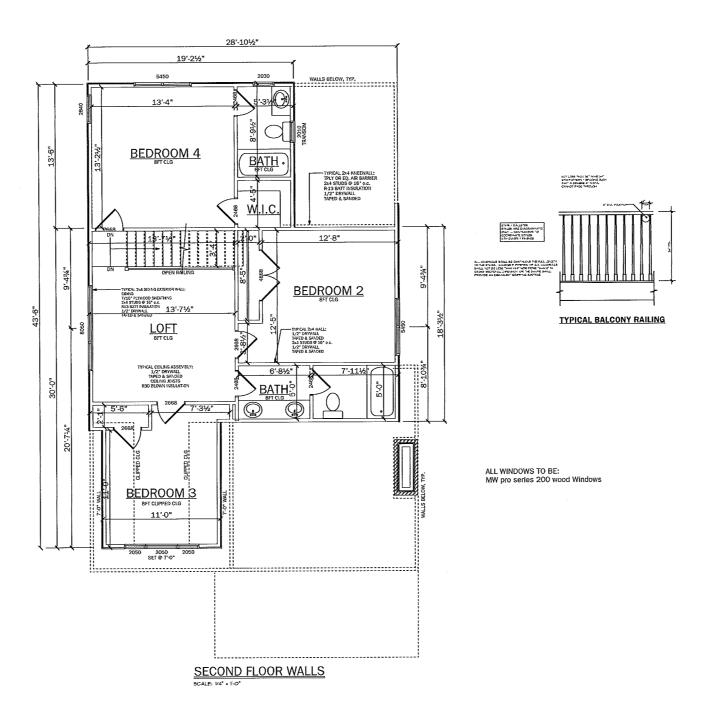
6 ALL FORNOATION AND STRUCTURAL MEMBERS SHOLD BE VERIFIED

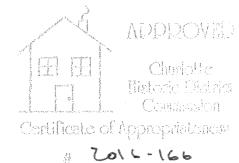
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9 FRAME WALLS ARE DRAWN AT 3-1/2" WIDE UN.O.





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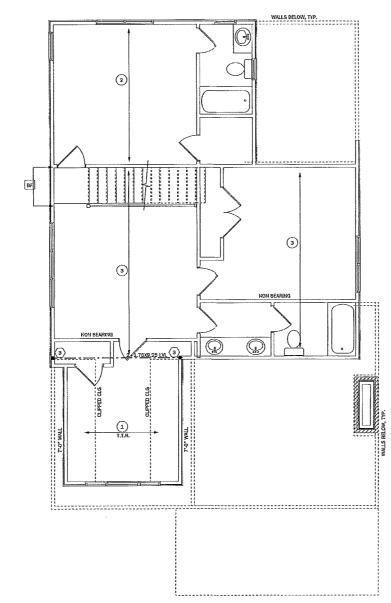
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NOTES:

1) SPF #2 2X6 @ 16" O.C.

(2) SPF #2 2X8 @ 16" O.C.

(3) SPF #2 2X10 @ 16" O.C.

T.T.R. = TIE TO RAFTERS W/ 3-10d NAILS

BWL BRACE ALL EXTERIOR WALLS PER ENGINEERED DESIGN (SECTION R602.10.4 OF THE 2012 NCRC W/ SEPTEMBER 2013 AMENIMENTS) AS FOLLOWS: COVER EXT. FACE OF WALL W/ 7/16° OSB, FASTEN W/ 8d (PENNY) NAILS @ 6° O.C.
@ EDGES AND @ 12° O.C. @ INTERMEDIATE SUPPORTS; LAP ALL PLATES (FASTEN PER "EDGES" @ TOP, BOTTOM, AND SILL PLATES)

a NUMBER OF 2X4 JACK STUDS

- - CENTER LINE OF BEAM

■ POINT LOAD

**CHIMNEY CHASE FRAMING (TYPICAL):** 

- 2X4 @ 12" O,C, OR 2X6 @ 16" O.C. BALLOON FRAMED FROM ATTIC CEILING OR FLOOR

- FASTEN 7/16" OSB SHEATHING ON ALL SIDES W/ 8d NAILS AT 4" O.C. AROUND EDGES AND 12" O.C. IN FIELD.

- FASTEN ALL STUDS TO SUPPORT BEAM OR STUDS BELOW WITH SIMPSON LSTA24 STRAPS

- FASTEN BEARING ENDS OF BEAMS TO SUPPORT STUDS WITH SIMPSON

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4 ALL PROTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND THAT REST ON INDIBUTISED SOLL CAPABLE OF NAMILER'S THE BUILDING. CONMAIL LOCAL BINGNESS FOR PROPER POOTING AND REINFORCING SIZES.

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2 ALL OPPENIESS AND CONTRIEDED ON BUILD OF A FROM CONNER, WILLO.

3 FRAME WALLS ARE DRAWN AT 3-1/2 WIDE, WALO.

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BRACE RAFTERS ON THIS WALL 2'-0" 1 <del>-(1</del>) ⊕<sub>1</sub>

ROOF PLAN

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- ALL RAFTERS TO BE SPF #2 2X6 @ 16" O.C. U.N.O. - ALL HIPS, RIDGES, AND VALLEYS TO BE SPF #2 2X10'S

= SPF #2 2-2X6 RAFTER W/ A SPF #2 2X4 COLLAR AT EACH FACE FASTENED W/ 3-10d NAILS

H = SPF #2 2-2X6 HOG @ RAFTERS

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