



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-106

DATE: October 18, 2016

ADDRESS OF PROPERTY: 1912 South Mint Street

TAX PARCEL NUMBER: 11907538

HISTORIC DISTRICT: Wilmore

OWNER(S): Justin Nifong

**DETAILS OF APPROVED PROJECT:** The project is a new single family home. Design features include a front porch, front facing gable dormers, rear shed dormer and wood trim materials. The rear dormer has a standing seam metal roof. Proposed height is approximately 24'-7". The front setback is approximately 29' to the front porch. Trim details are noted on plan sheets 10-12. Porch deck is wood T&G installed perpendicular to front wall.

The project was approved by the HDC October 12, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

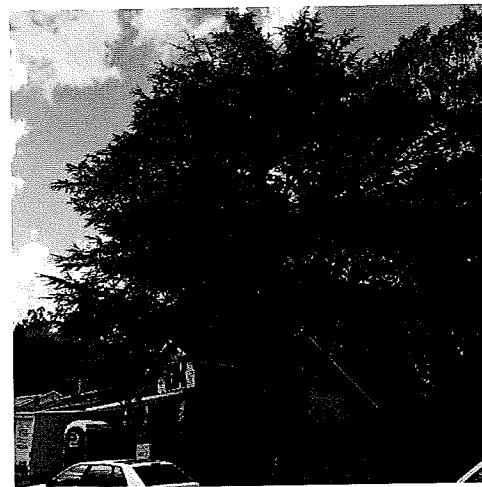
Jim Haden, Chairman

Staff

Heartwood Tree Service, LLC  
P.O. Box 240881  
Charlotte, NC 28224  
Office: 704-525-3066  
Fax: 704-521-8831



## Tree Protection Plan



Project specifications for the new home construction at 1912 S. Mint St, 28203 will contain language to address the following items to preserve the (46") Deodara Cedar (front of property):

1. Install a tree protection barrier/fence to protect the critical root zone measured 6.5' (minimum) from the buttress roots oriented at 185° S, 250°W, 279°W, 324°NW, and 5°N; measured 20' from the buttress root oriented at 55°NE; measured 20' from the base perpendicular to the sidewalk (fence running parallel to the sidewalk)—There is to be no equipment access, storing of materials, or any action that will compact or disturb the soil or roots within the protected zone (\$1,890.00-\$2,205.00)
2. Use an Air Spade to create a trench (within the protected root zone) and prune any roots that have been damaged or have the potential to be damaged as a result of the construction process (\$1,575.00)
3. Prune to remove dead or broken branches >1" diameter; raise/reduce the lower canopy (as appropriate) to allow adequate clearance for house construction (\$1,260.00)
4. Collect a relative soil sample to have the current nutrient content analyzed (\$75.00)
5. Kill/remove all voluntary ground cover within the tree preservation area (\$307.50)
6. Use an Air Spade to install 4-6 radial trenches within the protected root zone to improve the soil structure/quality and increase the volume of fibrous/collection roots (\$2,460.00)
7. Administer a prescription fertilizer blend (according to the soil analysis) directly to the root zone to improve the soil structure, correct the soil pH, and increase vigor (prior, during, and post construction) (\$345.00/application)

8. Install a 3-4" layer of wood chips/mulch to buffer the critical root zone (@50 cubic yards) (\$1,155.00)
9. Treat the lower stem with a preventative insecticide to protect against Ambrosia Beetles and other harmful wood-boring pests (April, June, Aug, and Oct 2017) (\$102.50/application)
10. Have an ISA Certified Arborist will inspect this tree monthly throughout the construction process to assess and document the tree's health
11. Install a lightning protection system in the upper canopy to protect against electrical energy in the event of a lightning strike (\$630.00); **this is a risk mitigation item, not an essential for construction sustainability**; price is valid if scheduled at the same time as pruning

The recommended items (above) are listed in order of priority and scheduling

GENERAL NOTES  
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND ANYVA MFS.  
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.  
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.  
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.  
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7. ALL ANGLED WALLS ARE 45 DEGREES UNLO.  
8. ALL OPENINGS ARE CENTERED IN WALL OR 4' FROM CORNER, UNLO.  
9. FRAME WALLS ARE DRAIN AT 3-1/2" WIDE, UNLO.

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 41-30 recording requirements.

This \_\_\_\_ day of \_\_\_\_\_, 2015.

NON-CERTIFIED  
REFER TO SIGNED & SEALED COPY  
DATED JUNE 30, 2015

Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098

MEMBER

A I  
B D

AMERICAN INSTITUTE of  
BUILDING DESIGN

TWENTY ONE  
HOME DESIGN

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MINT ST 1912

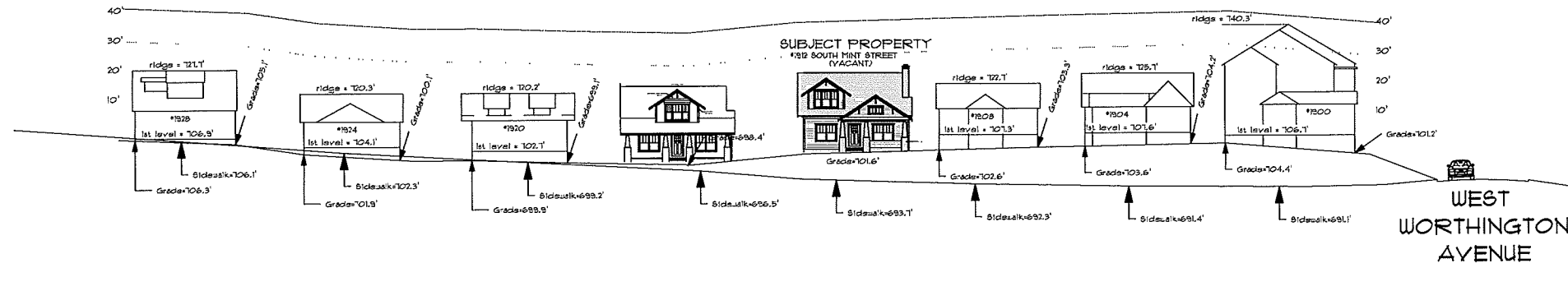
1912 MINT. ST.

Charlotte  
North Carolina

PAGE:

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STREET VIEW



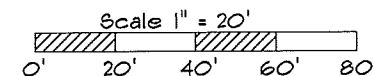
SOUTH MINT STREET

A.G. ZOUTEWELLE  
SURVEYORS

1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 Fax: 704-372-9555  
Firm Licensure Number C-1054

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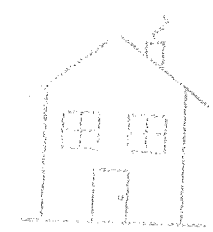
Building Heights Sketch of  
1900-1928 of SOUTH MINT STREET  
FACING NORTHWEST  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
June 30, 2015



2100EDUGS\2403\2403 SOUTH MINT STREET 1900 TO 1912\2403\2403 SOUTH MINT STREET 1900 TO 1912

PAGE SIZE 24"X36"

DATE: Tuesday, October 18, 2015  
SCALE: 0.0469" = 1'-0"



APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# 2016-166

General Notes:

1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridge line of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.  
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.

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7. ALL ANGLED WALLS ARE 45 DEGREES, U.N.O.
8. ALL OPENINGS ARE CENTERED IN WALL OR 4" FROM CORNER, U.N.O.
9. FRAME WALLS ARE DRAWN AT 3/12" WIDE, U.N.O.

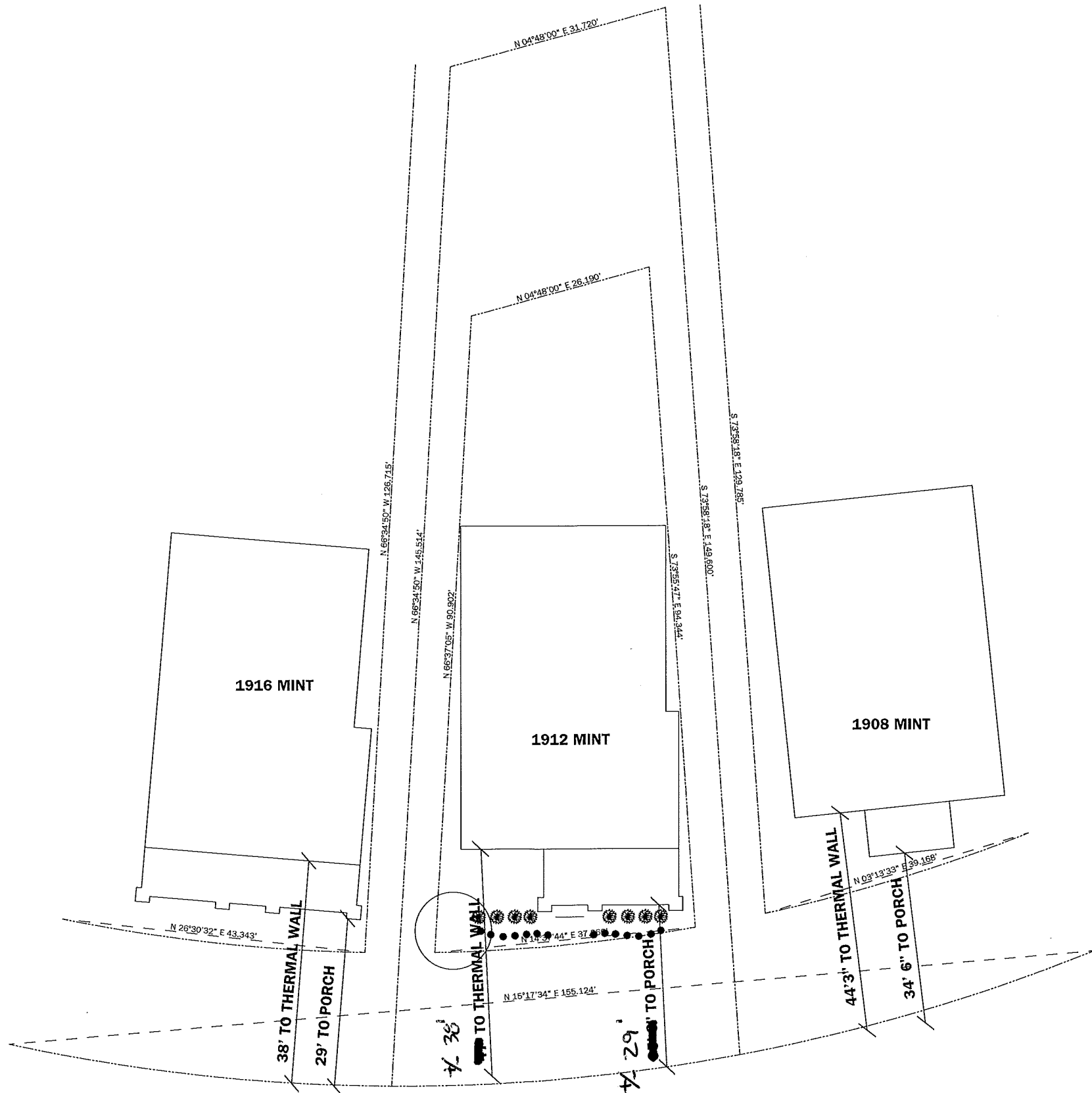


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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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**MINT ST 1912**

1912 MINT. ST.

Charlotte

North Carolina

PAGE:

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FRONT

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Certificate of Appropriateness

# 2016-16



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- ALL WINDOWS TO BE WOOD WITH PAINTABLE SIMULATED DIVIDED LIGHT (SDL)
- SIDING TO BE 3/4"X8" SELECT CEDAR SIDING
- 4"X8" SMOOTH PLYWOOD FOR BOARD ON BOARD AND BATTEN SIDING
- 1"X2" SYP STRIPS FOR BATTENS ON BOARD AND BATTEN SIDING
- 1"X6" SELECT CEDAR TRIM BOARDS
- AT SIDING TO CORNER BOARD INTERSECTIONS; MAINTAIN 1/4" REVEAL. PACKOUT CORNER BOARDS ACCORDINGLY
- BATTENS TO BE FLUSH WITH FREEZE BOARDS

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PAGE:

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REAR

PAGE SIZE 24"X36"

DATE: Tuesday, October 18, 2016  
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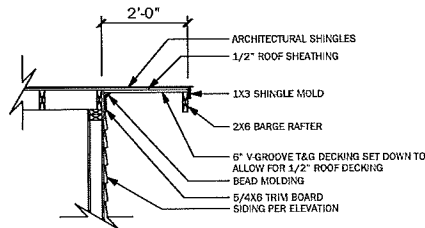


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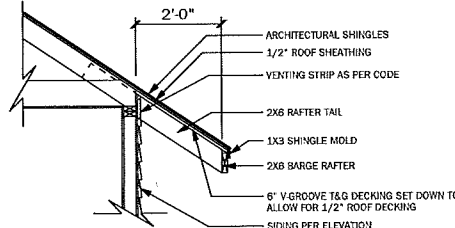
Certificate of Appropriateness

# 2016-166



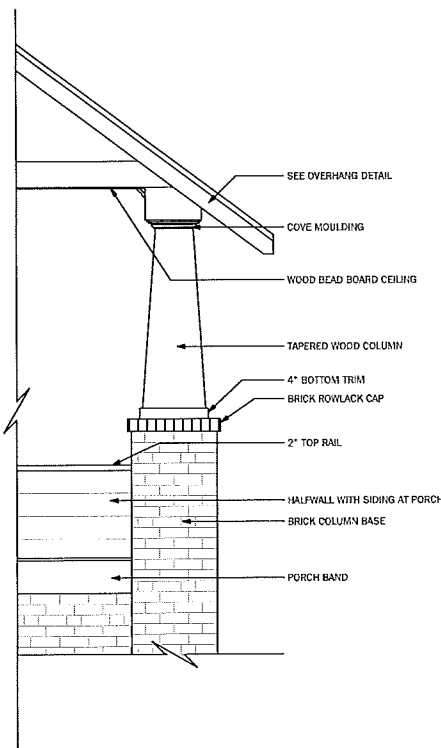
**RAKE OVERHANG DETAIL**

SCALE: 1/2" = 1'-0"



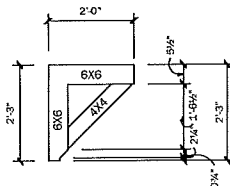
**SLOPED OVERHANG DETAIL**

SCALE: 1/2" = 1'-0"



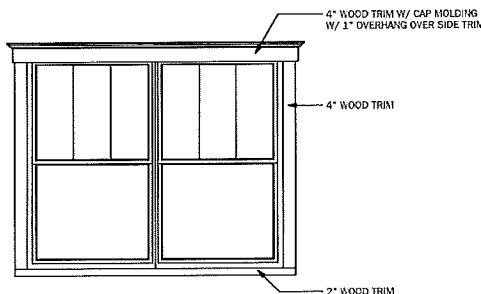
**PORCH POST DETAIL**

SCALE: 1/2" = 1'-0"



**BRACKET OVERHANG DETAIL**

SCALE: 1/2" = 1'-0"



**WINDOW TRIM DETAIL**

SCALE: 1/2" = 1'-0"

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**MINT ST 1912**

1912 MINT. ST.

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DETAILS

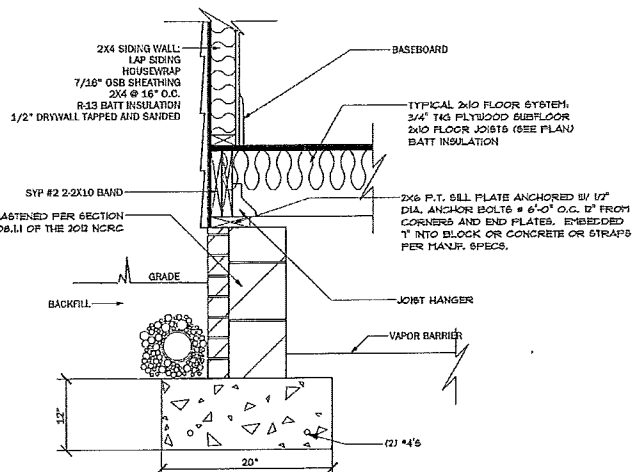
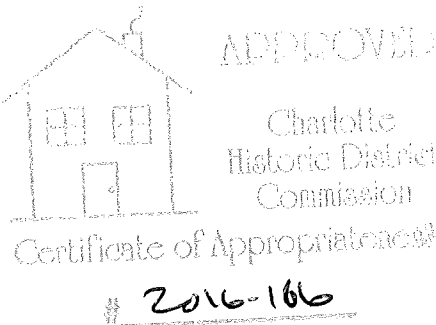
PAGE SIZE 24"X36"

DATE: Tuesday, October 18, 2016  
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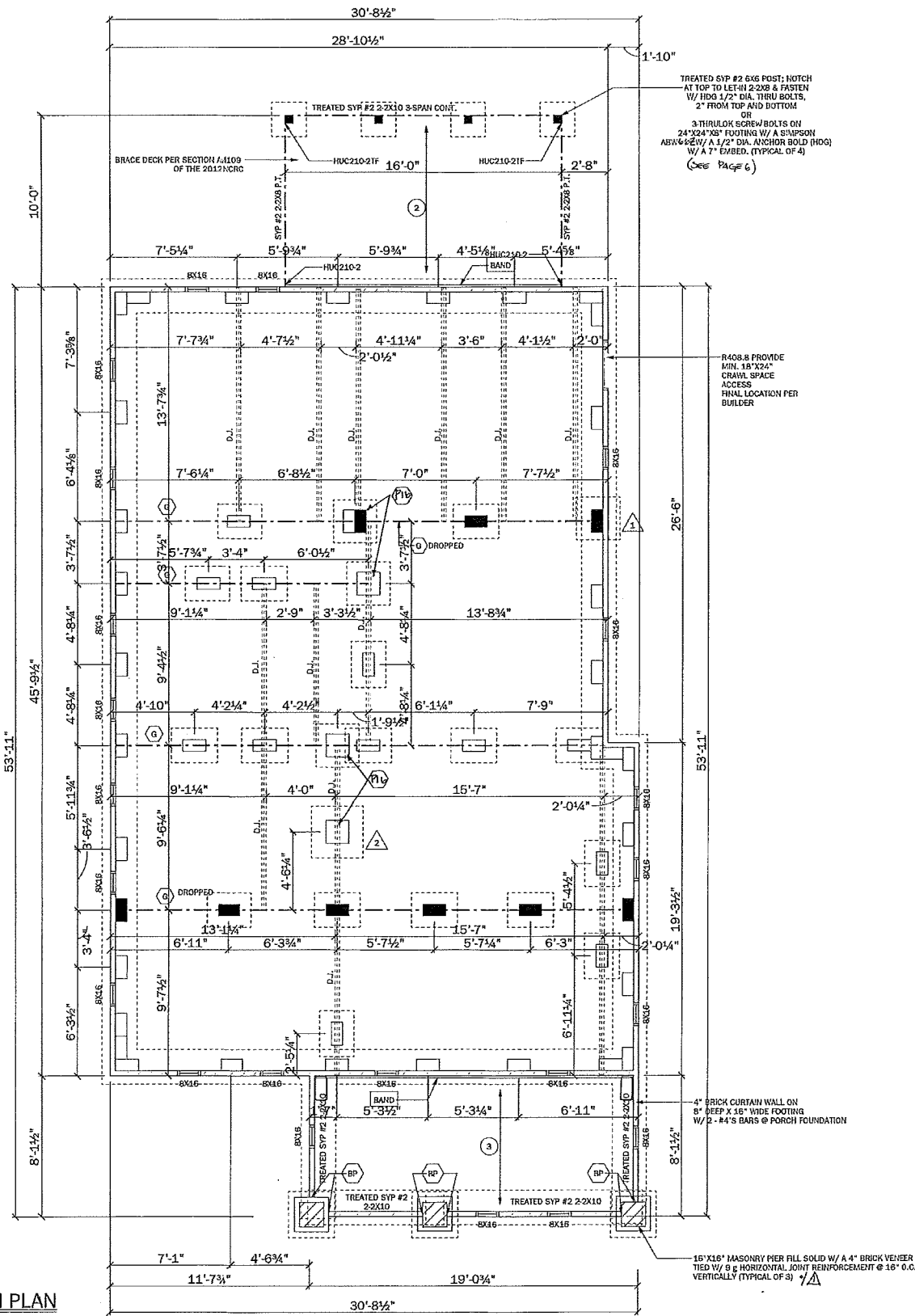
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TYPICAL FOUNDATION DETAIL  
SCALE: 1"=1'-0"

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



NOTES:

1. SPF #2 2X10 @ 16" O.C.
2. SYP #2 2X8 @ 16" O.C. TREATED
3. SYP #2 2X8 @ 24" O.C. TREATED
- G. SYP #2 3-2X10 FLUSH GIRDER U.N.O.
- BAND TREATED SYP #2 2X8 BAND; FASTEN TO 2-2X10 EXT. BAND W/ 5/8" DIA. HDG THRU BOLTS @ 16" O.C. STAGGER 2-1/2" FROM TOP AND BOTTOM OF 2X8 BAND

SEPARATE PIERS FROM FRAMING W/ A TREATED SYP #2 2X6 SILL OR NON-CORROSIVE FLASHING U.N.O.

P16 16"x16" MASONRY PIER, FILL SOLD W/ 2000 PSI GROUT OR TYPE M OR S MORTAR ON 30"x30"x10" FOOTING W/ 3-#4 BARS EACH WAY

BP 4" LONG X 4" WIDE X +/- 10" DEEP BEAM POCKET, LEVEL W/ STEEL SHIMS

FOOTING SCHEDULE		
A	30X30X10	W/ 3-#4'S E.W.
B	30X38X10	W/ 4-#4'S E.W.

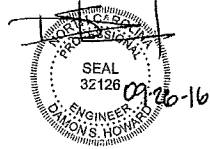
DROPPED PIER

FLUSH PIER

CRAWL VENTILATION CALCULATIONS

CRAWL SPACE AREA = 1367  
REQ'D # OF VENTS = 1367  
150 SQ. FT. (0.5 SQ. FT./VENT) = (18 VENTS)

HOWARD Verna Engineering, PC  
120 W. Bland Street  
Charlotte, NC 28203  
704-331-9219  
NC License #C-3528 SC License #4185



HOWARD Verna ENGINEERING'S STANDARD NOTES ARE TO BE USED WITH THESE PLANS. THE ENGINEER OF RECORD DOES NOT ACCEPT RESPONSIBILITY FOR ANY PART OF THE PLAN NOT RELEVANT TO THE STRUCTURAL INFORMATION.  
NOTE TO BUILDER &/OR TURNER SUPPLIER: DO NOT ALTER THE FRAMING PLANS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD. ANY CHANGES MADE WITHOUT REVIEW AND APPROVAL BY THE ENGINEER OF RECORD SHALL ABSOLVE HIM OF ALL RESPONSIBILITY FOR ALL ASPECTS OF THE ENGINEERED DESIGN.

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PAGE: 4  
FOUNDATION

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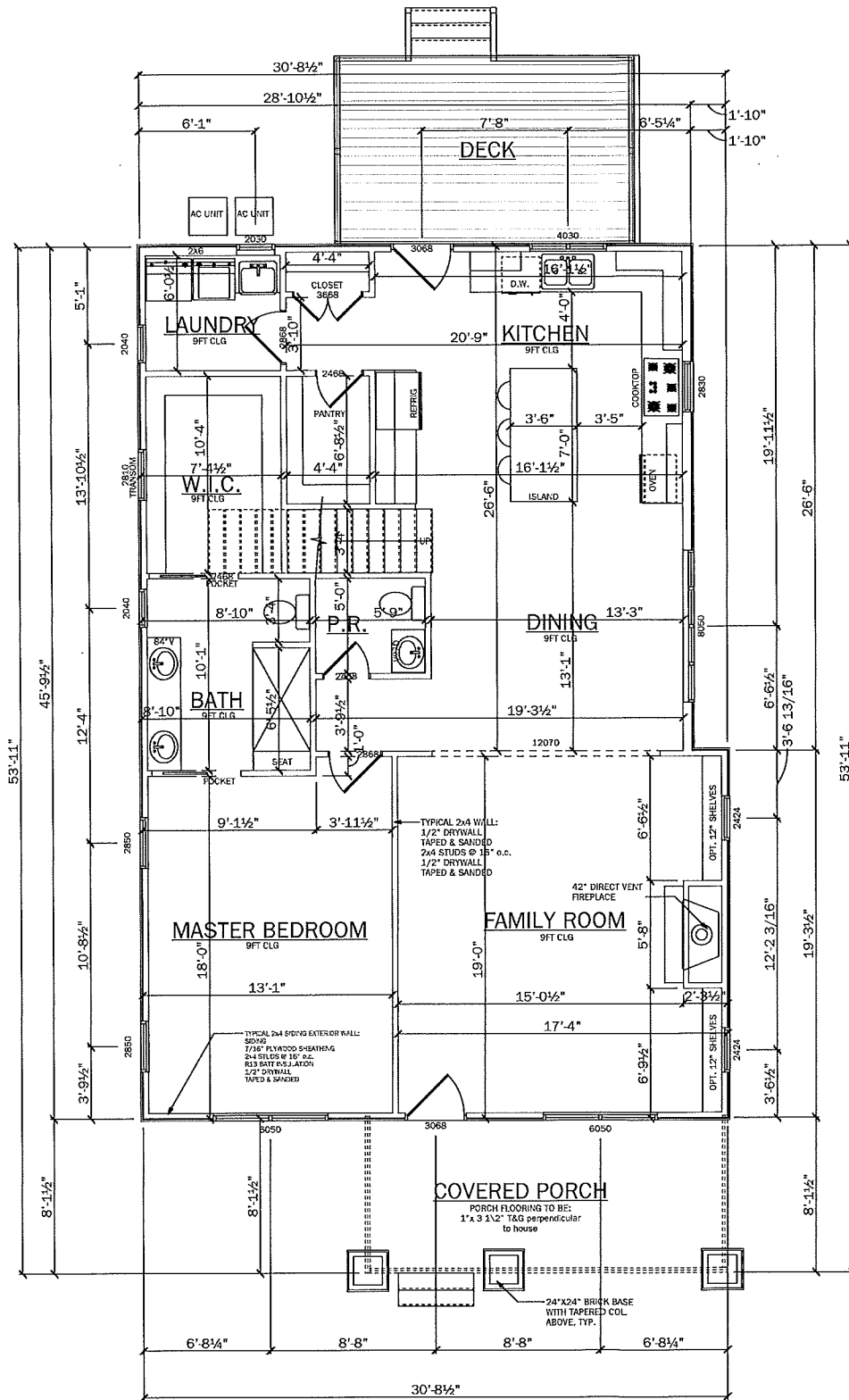


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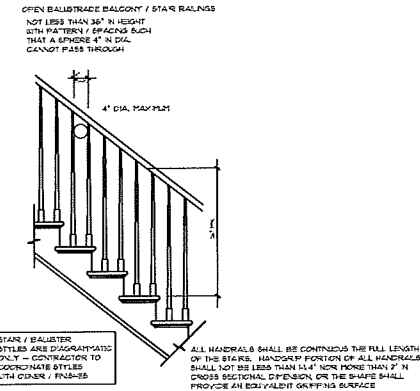
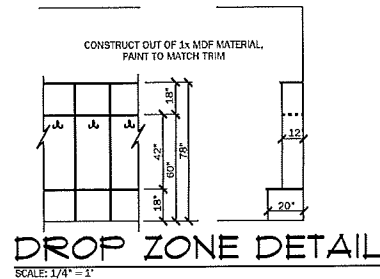
Certificate of Appropriateness

# 2016-166



FIRST FLOOR WALLS

SCALE: 1/4" = 1'-0"



STAIR RAILING DETAIL/NOTES

Sq Footage	
FIRST FLOOR	1357
SECOND FLOOR	952
TOTAL HEATED	2309
FRONT PORCH	155
TOTAL UNDER ROOF	2464
DECK	160

ALL WINDOWS TO BE:  
MW pro series 200 wood Windows

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MINT ST 1912

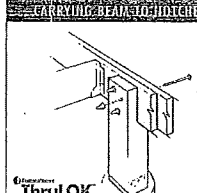
1912 MINT. ST.  
Charlotte  
North Carolina

PAGE:

5

FIRST FLOOR

- 1 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND THAVIA MFS.
- 2 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- 3 ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
- 4 ALL FOOTINGS TO BE BELOW FLOOR LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL. CAPABLE OF HANDLING THE BUILDING, CONSTRUCTION LOADS FOR PROPER FLOORING AND ROOFING SYSTEMS.
- 5 CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS
- 6 ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED BY A LICENSED, LOCAL, STATE CERTIFIED STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE CONSTRUCTION
- 7 ALL EXTERIOR WALLS ARE TO BE CONCRETE
- 8 ALL OPENINGS ARE CENTERED IN WALL OR 4" FROM CORNER, U.N.O.
- 9 FRAME WALLS ARE DRAIN AT 3/4" DIA. U.N.O.



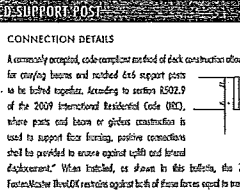
**THRULOK**  
Beam Tie Walling Systems

### CONNECTION DETAILS


A commonly accepted, code compliant method of deck construction allows for attaching beams and notched steel support joists to be bolted together, according to section R502.3 of the 2009 International Residential Code (IRC), where joists and girders are attached to support floor framing, positive connections shall be provided to ensure adequate shear and lateral displacement. When installed, as shown in this bulletin, the 7" FastMaster ThrulOK exterior joist bolt of frame forces can be easily bolted connections with a flush and exterior method of installation.

#### INSTALLATION INSTRUCTIONS

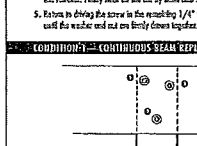
1. Once the spaced framing pattern has been cut of the three outermost joists in this bulletin.
2. Separate this 1/2" ThrulOK screw and washer from the nut.
3. Using a 1/2" drill bit on low speed/high torque setting, drill a hole through the wall and the visible face of the expansion steel tie screw by 1/4" to 1/8" inches below flush.
4. Insert the ThrulOK nut onto the exposed threaded end of the fastener. Flange fully on the nut by hand and snug.
5. Rotate in driving the screw in the remaining 1/4" to 1/8" until the washer and nut are firmly down together.




6. Make sure that the point of the ThrulOK fastener has passed the "30% DRIFT" criterion and that the 1/2" screw is in the remaining 1/4" to 1/8" and the washer and nut are firmly down together.
7. Repeat until all of the fasteners are installed exactly according to the specifications outlined in this bulletin.



#### CONTINUOUS BEAM REPLACING 2 BOLTS OF 1/2" DIAMETER



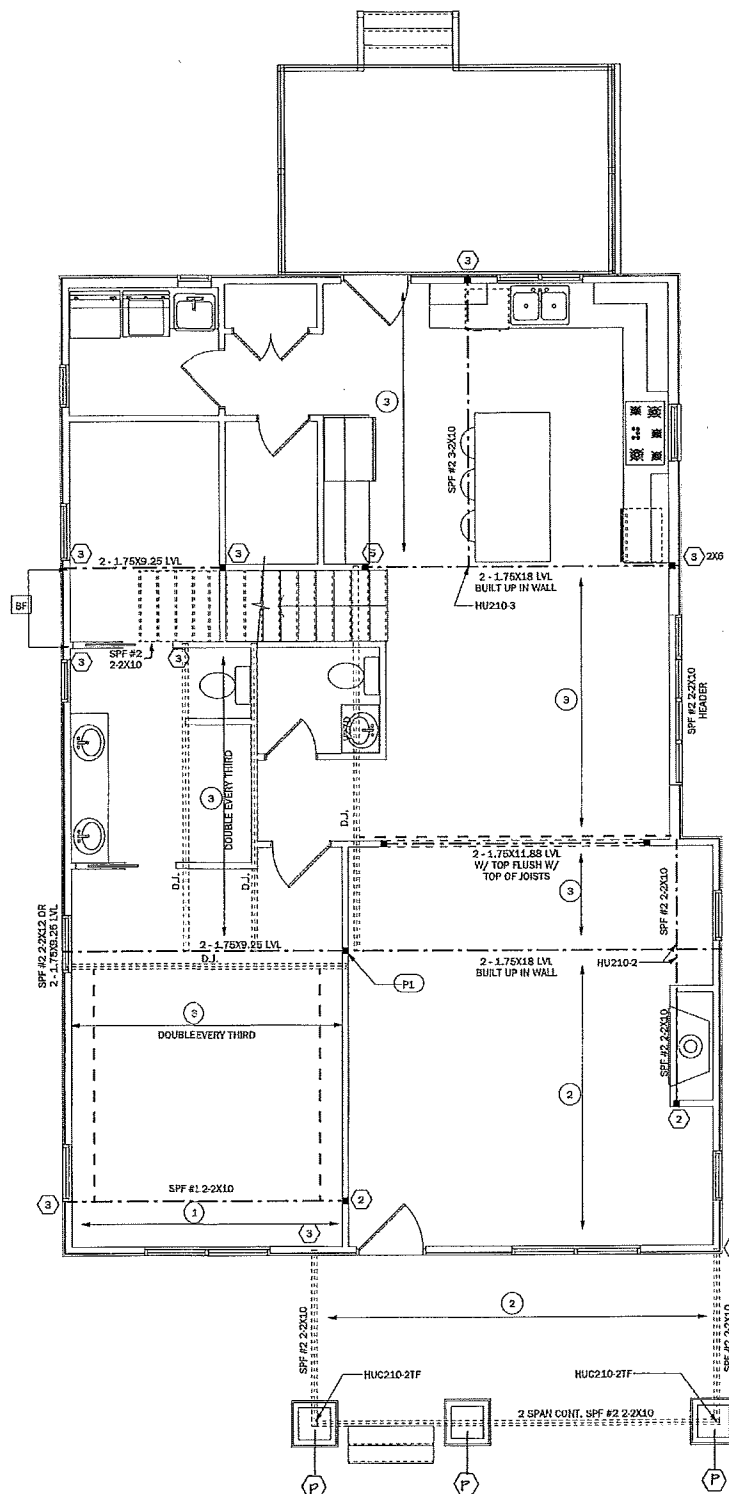
1. Install first screw 1/4" to 1/8" from the edge of the post and 2" to 4" 1/4" from the top of the beam
2. Install second screw 1/4" to 1/8" from the other edge of the post and 2" to 4" 1/4" from the top of the beam
3. Install third screw in the center of the post and 2" to 4" 1/4" from the bottom of the beam



**FastenerMaster**  
EXTERIOR FASTENING SYSTEMS

Effective July 1, 2014, these references are updated to reflect that you are using the most up to date methods.

315 BROADWAY, AUSTIN, TEXAS 78701    817-778-2752    800-518-2530    [WWW.FASTERMASTER.COM](http://WWW.FASTERMASTER.COM)

[illegible]

## SCALE: 1/4" = 1'-0"

TREATED  
 ⇒ 5" x 2" x 6" POST;  
 TIE TO FRONT 2" x 10" C  
 PP w/ A SIMPSON BC46;  
 TIE TO TOP OF PIER  
 BELOW w/ A SIMPSON AFW60Z  
 w/ A 1/2" x 6" ANGLE IRON POST w/  
 A 7" EMBEDMENT

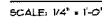
**NOTE TO BUILDER &/OR  
LUMBER SUPPLIER**  
DO NOT ALTER THE FRAMING  
PLANS WITHOUT THE APPROVAL  
OF THE ENGINEER OF RECORD.  
ANY CHANGES MADE WITHOUT  
REVIEW AND APPROVAL BY THE  
ENGINEER OF RECORD SHALL  
ABSOLVE HIM OF ALL  
RESPONSIBILITY FOR ALL ASPECTS  
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MAXIM, INC.

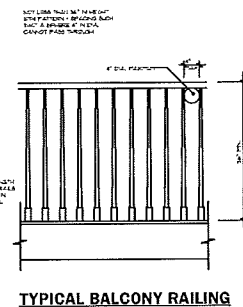
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2ND FLR SYS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION AND DISCREPANCIES SHALL BE REPORTED FOR ADJUSTMENT AND/OR CORRECTION BEFORE PROCEEDS WITH CONSTRUCTION. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSION SHOULD BE READ OR CALCULATED AND NEVER GUESSED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING LOADS. LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL EXISTING UTILITIES.
6. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY LOCAL STATE CERTIFIED STRUCTURAL ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DIMENSIONS TO MEET ALL APPLICABLE NATIONAL CODES AND TO INSURE A QUALITY AND SAFE CONSTRUCTION.
8. ALL EXTERIOR WALLS ARE 48" DEEP, UNO.
9. ALL OPENINGS ARE 48" DEEP, UNO.
10. TRAYS ARE 24" DEEP AT 3/4" WIDE, UNO.



ALL WINDOWS TO BE:  
MW pro series 200 wood Windows



APPROVED

Charlotte  
Historic District  
Commission

Certificate of Appropriateness

# 2014-166

**MEMBER**  
**A | I**  
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**AMERICAN INSTITUTE  
BUILDING DESIGN**

8 TWENTY ONE HOME DESIGN

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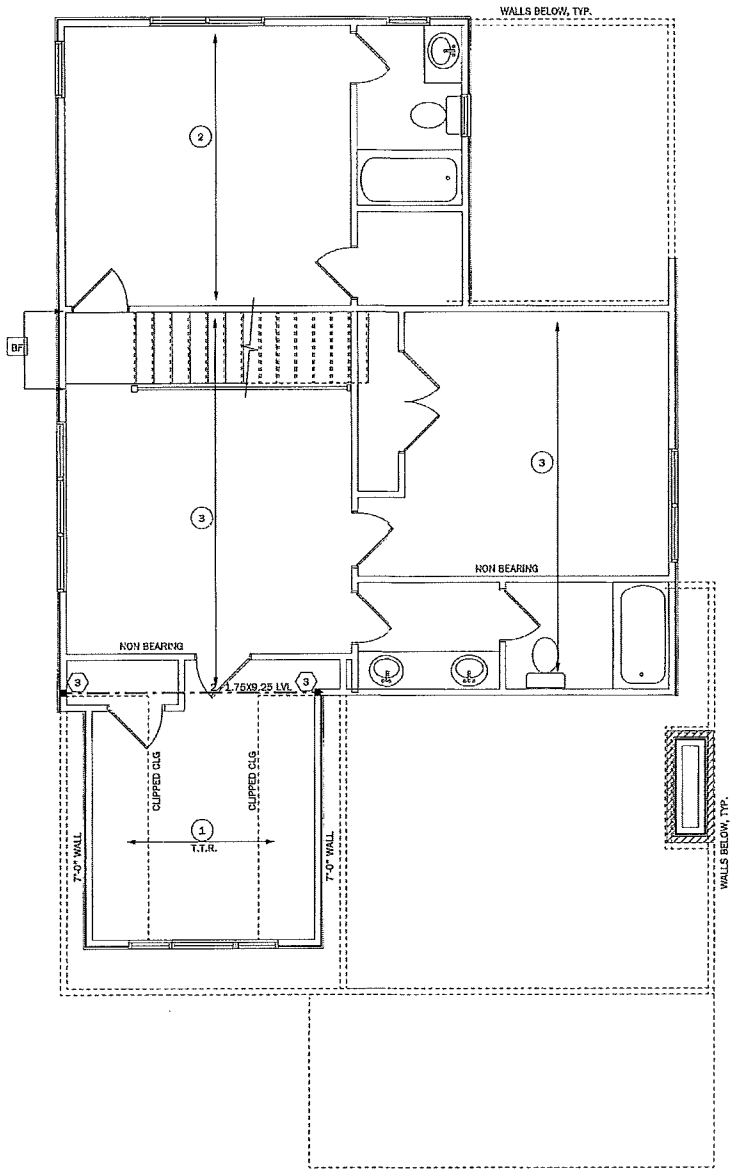
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## SECOND FLOOR

GENERAL NOTES  
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND RAYVA MFB.  
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.  
3. ALL DIMENSION SHOULD BE READ OR CALCULATED AND NEVER SCALED.  
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.  
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7. ALL ANGLED WALLS ARE 45 DEGREES, U.N.O.  
8. ALL OPENINGS ARE CENTERED IN WALL OR 4" FROM CORNER, U.N.O.  
9. FRAME WALLS ARE DRAIN AT 3/4" WIDE, U.N.O.



SECOND FLOOR CEILING  
SCALE: 1/4" = 1'-0"

NOTES:

- 1. SPF #2 2X6 @ 16" O.C.
- 2. SPF #2 2X8 @ 16" O.C.
- 3. SPF #2 2X10 @ 16" O.C.

T.T.R. = TIE TO RAFTERS W/ 3-10d NAILS

BWL BRACE ALL EXTERIOR WALLS PER ENGINEERED DESIGN (SECTION R602.10.4 OF THE 2012 NCRC W/ SEPTEMBER 2013 AMENDMENTS) AS FOLLOWS: COVER EXT. FACE OF WALL W/ 7/16" OSB, FASTEN W/ 8d (PENNY) NAILS @ 6" O.C. @ EDGES AND @ 12" O.C. @ INTERMEDIATE SUPPORTS; LAP ALL PLATES (FASTEN PER "EDGES" @ TOP, BOTTOM, AND SILL PLATES)

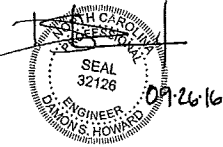
- 4. NUMBER OF 2X4 JACK STUDS
- 5. CENTER LINE OF BEAM
- 6. POINT LOAD

CHIMNEY CHASE FRAMING (TYPICAL):

- 2X4 @ 12" O.C. OR 2X6 @ 16" O.C. BALLOON FRAMED FROM ATTIC CEILING OR FLOOR
- FASTEN 7/16" OSB SHEATHING ON ALL SIDES W/ 8d NAILS AT 4" O.C. AROUND EDGES AND 12" O.C. IN FIELD.
- FASTEN ALL STUDS TO SUPPORT BEAM OR STUDS BELOW WITH SIMPSON LSTA24 STRAPS
- FASTEN BEARING ENDS OF BEAMS TO SUPPORT STUDS WITH SIMPSON MSTC28 STRAPS



Howard Verna Engineering, P.C.  
120 W. Bland Street  
Charlotte, NC 28203  
704-331-9219  
NC License #C-3528 SC License #4185



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NOTE TO BUILDER &/OR LUMBER SUPPLIER  
DO NOT ALTER THE FRAMING PLANS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD. ANY CHANGES MADE WITHOUT REVIEW AND APPROVAL BY THE ENGINEER OF RECORD SHALL ABSOLVE HIM OF ALL RESPONSIBILITY FOR ALL ASPECTS OF THE ENGINEERED DESIGN.

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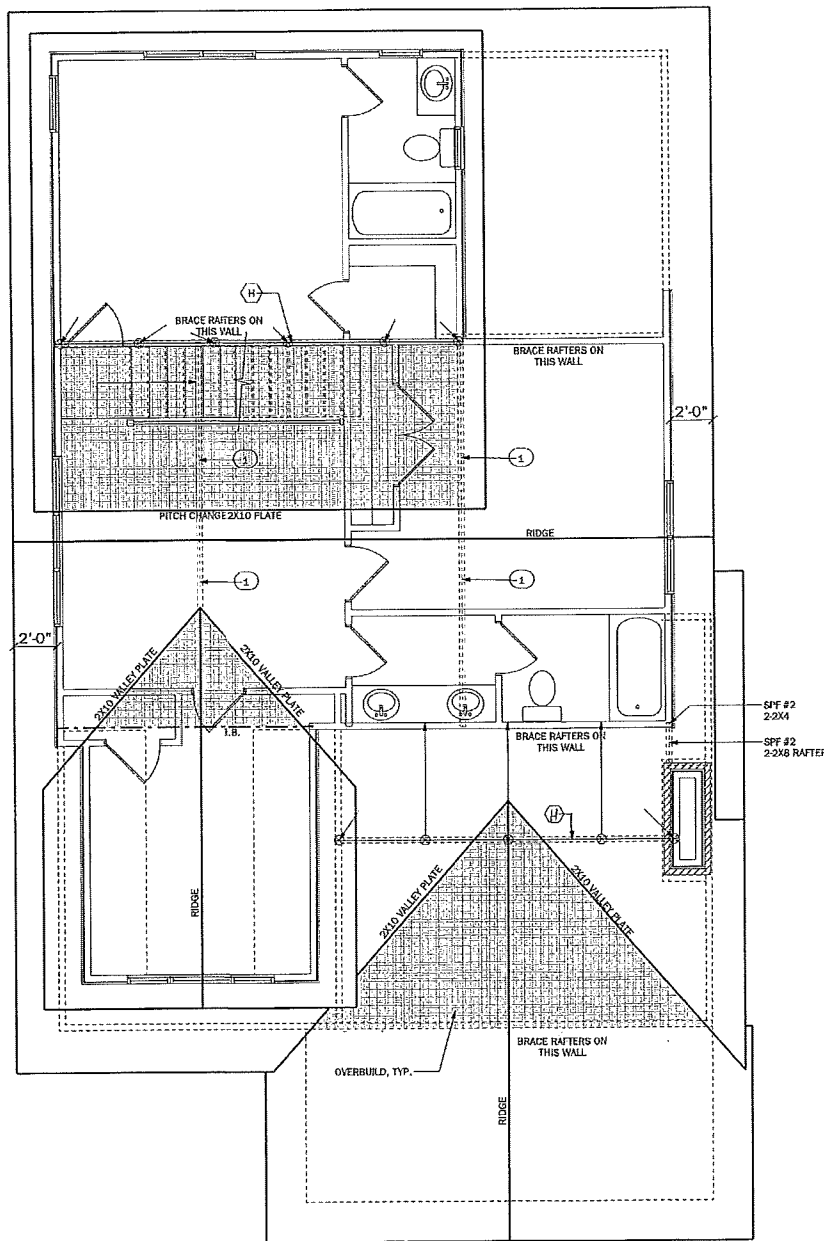
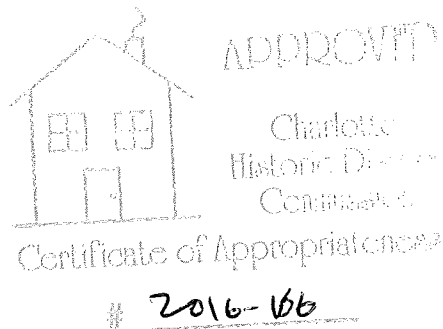
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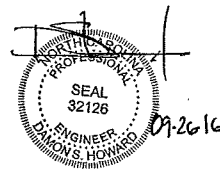
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9. FRAME WALLS ARE DRAIN AT 3/4" WIDE, U.N.O.



ROOF PLAN  
SCALE: 1/4" = 1'-0"

- ALL RAFTERS TO BE SPF #2 2X6 @ 16" O.C. U.N.O.
- ALL HIPS, RIDGES, AND VALLEYS TO BE SPF #2 2X10'S
- ① = SPF #2 2-2X6 RAFTER W/ A SPF #2 2X4 COLLAR AT EACH FACE FASTENED W/ 3-10d NAILS
- H = SPF #2 2-2X6 HOG @ RAFTERS

HE  
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Charlotte, NC 28203  
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ROOF PLAN