



CHARLOTTE HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-165

DATE: 20 July 2016

ADDRESS OF PROPERTY: 1610 Thomas Avenue

HISTORIC DISTRICT: Plaza Midwood

TAX PARCEL NUMBER: 08118713

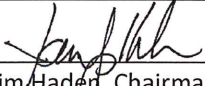
OWNER(S): Jill Johnson

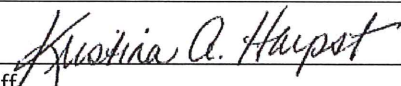
DETAILS OF APPROVED PROJECT: Rear Addition. The project is changing an existing screened porch to an enclosed sunroom. The left wall of the existing screened porch is brick and will remain brick. The right and rear elevations will be enclosed with new wood siding, wood corner boards, wood window and door trim to match existing. The new casement windows and the new entry door will be aluminum clad. The project also includes the installation of a pergola on the left side of an existing accessory building. All elements of the pergola will be wood and the three 8x8 support posts will be trimmed out at the top and bottom. The pergola will measure 8'5" in height and will either be painted or stained. See attached plans.

1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 23: Landscape & Site Features and Work in Rear Yards.
2. This application is in compliance with the Policy & Design Guidelines for Additions, page 39: Additions to the rear of existing structures that are neither taller nor wider than the original structure may be eligible for administrative approval.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

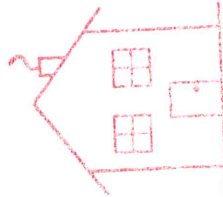
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


Jim Haden, Chairman


Staff

GENERAL NOTES

1. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
 - a. BUILDING CODES
 - b. STRUCTURAL STEELWORK
 - c. ROOFING MATERIALS
 - d. ALL OTHERS
2. EXISTING CONDITIONS SHALL BE MAINTAINED AND NOTED ON THE DRAWINGS. ANY CHANGES TO THE EXISTING CONDITIONS SHALL BE NOTED ON THE DRAWINGS.
3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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9. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

#2016-165

1610 THOMAS AVE

8 TWENTY ONE
HOME DESIGN

WASHAW, NC 28173

704.401.6159

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SOLE PROPERTY OF 8 TWENTY ONE
HOME DESIGN AND MAY NOT BE
USED OR REPRODUCED WITHOUT A
WRITTEN CONSENT OF
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MEMBER

A I B D
AMERICAN INSTITUTE of
BUILDING DESIGN

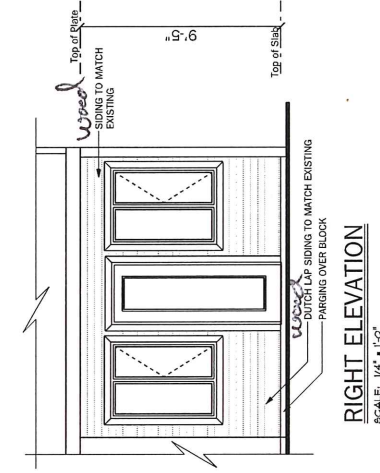
ELEVATIONS



PAGE:

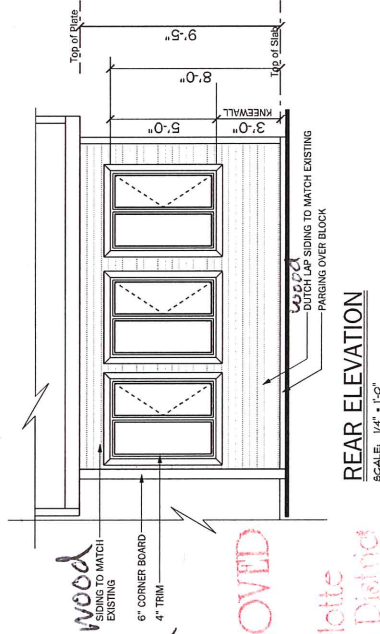
PAGE SIZE 18"X24"

SCALE: 1/4" = 1'-0"
DATE: 7/18/2016



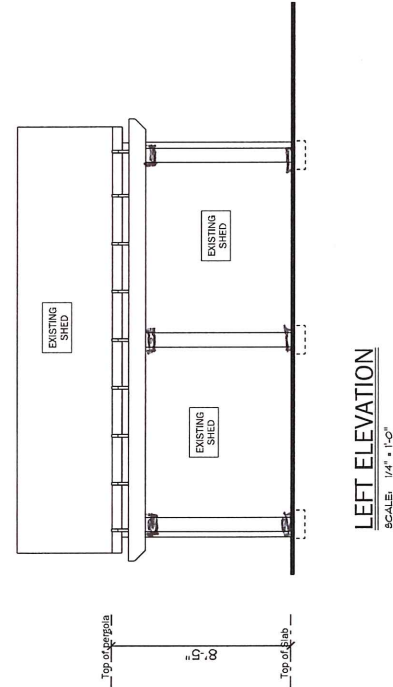
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



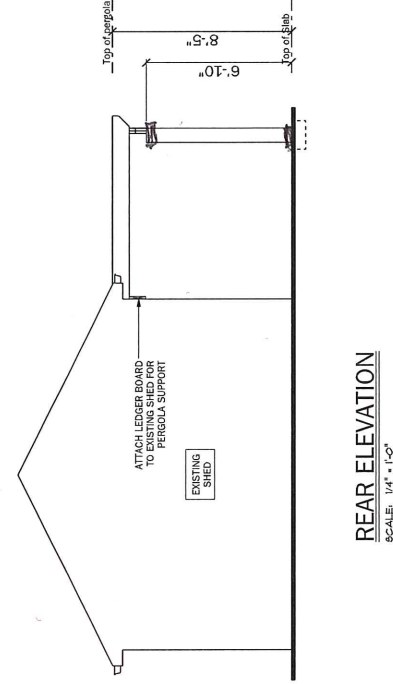
REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

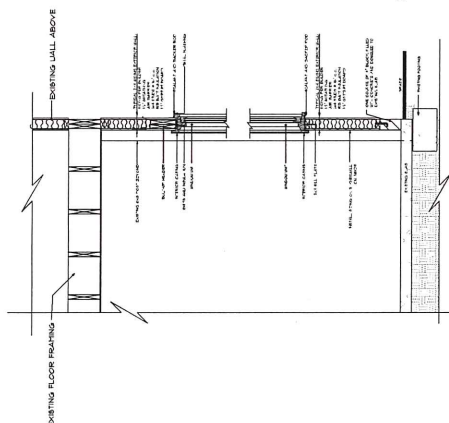
GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL MAINTAIN RESPONSIBILITY FOR ERRORS THAT ARE NOT DISCOVERED PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER ASSUMED.
4. ALL WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR ENGINEER PRIOR TO PROCEEDING TO THE NEXT PHASE OF WORK.
5. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR ENGINEER PRIOR TO INSTALLATION.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
8. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
12. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE PUBLIC.
14. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES AND BARRIERS AT ALL TIMES.
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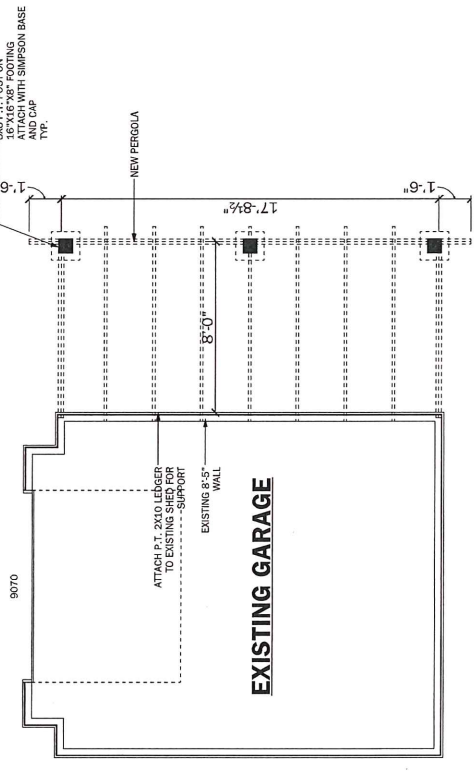
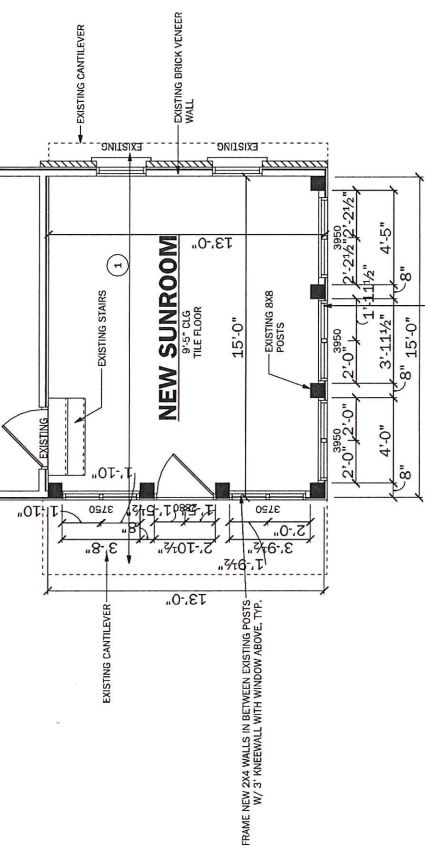
1610 THOMAS AVE

TYP. WALL SECTION

SCALE: 3/8" = 1'-0"



EXISTING HOUSE



FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL STUD REQUIREMENTS

EXT. WALL HT. (ft.)	STUD SIZE AND SPACING
h < 10'-0"	2x4 @ 16" O.C.
h < 10'-0" (11'-0")	2x4 @ 16" O.C.
h < 10'-0" (12'-0")	2x6 @ 16" O.C.
h > 10'-0"	2x6 @ 16" O.C.

NOTES:

1. WINDOWS TO BE WOOD CASEMENTS
2. HVAC TO BE A MINI SPLIT SYSTEM

TYPICAL HANGERS

MEMBER	HANGER
2x8	LUS28
2x10	LUS210
2x12	LUS212
2x14	LUS214
2x16	LUS216
2x18	LUS218
2x20	LUS220
2x22	LUS222
2x24	LUS224
2x26	LUS226
2x28	LUS228
2x30	LUS230
2x32	LUS232
2x34	LUS234
2x36	LUS236
2x38	LUS238
2x40	LUS240
2x42	LUS242
2x44	LUS244
2x46	LUS246
2x48	LUS248
2x50	LUS250
2x52	LUS252
2x54	LUS254
2x56	LUS256
2x58	LUS258
2x60	LUS260

NOTES:

1. EXISTING JOISTS BY OTHERS

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704.401.0359
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