



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - Amended

CERTIFICATE NUMBER: 2016-147

DATE: August 18, 2016

ADDRESS OF PROPERTY: 2200 Park Road

TAX PARCEL NUMBER: 12110101

HISTORIC DISTRICT: Dilworth

APPLICANT/OWNER(S): Tom Lockhart/Lance Blundell

DETAILS OF APPROVED PROJECT: The project is a rear addition that will cover a portion of an existing deck. Features of the addition include a hard-coat stucco façade, aluminum frame windows and doors and foundation landscaping on the left, rear and right side of the addition as shown on the site plan and elevations including a new tree on the left side. The revised plan adds a required wheelchair ramp on the left side which reduces the square footage by approximately 144 square feet and replaces the window with a door on the left (south) elevation.

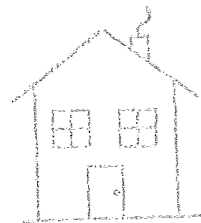
The project was approved by the HDC July 13, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

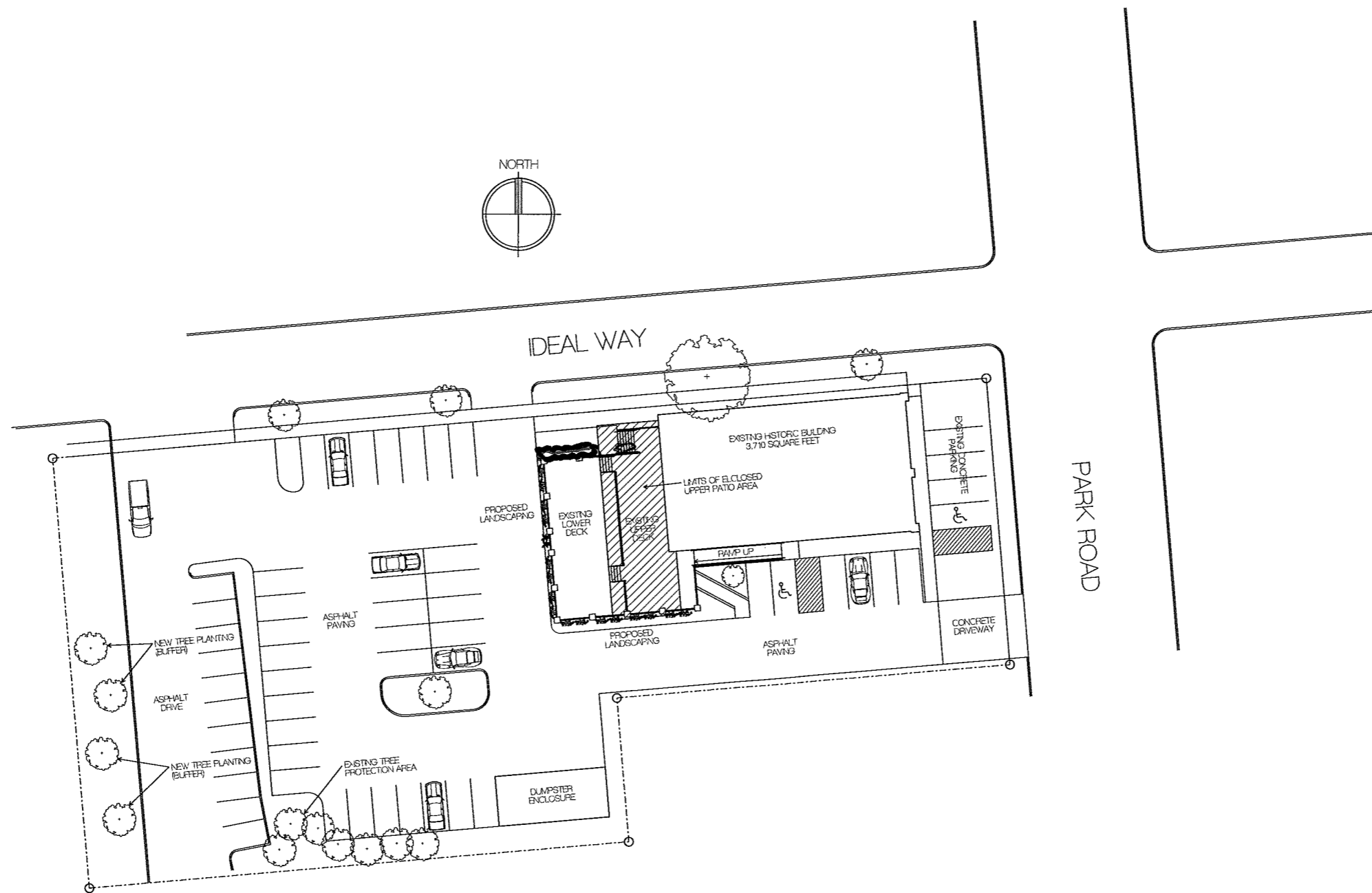
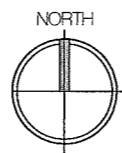


APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2016-147 AMEN-75



01 SITE PLAN

BGA

Brian Gaddis Architects PLLC
1900 Abbott Street / Suite 103
Charlotte, North Carolina 28203
704-335-1292
www.begarchitect.com

EXTERIOR DECK ROOF



2200 PARK ROAD
CHARLOTTE, NORTH CAROLINA

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Date: 07/01/16 BGA Project: 16102

Issue Dates:
No. Date: Description:

SITE PLAN

C100



EXTERIOR DECK ENCLOSURE



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Date: 08/05/16 EGO Project: 16102

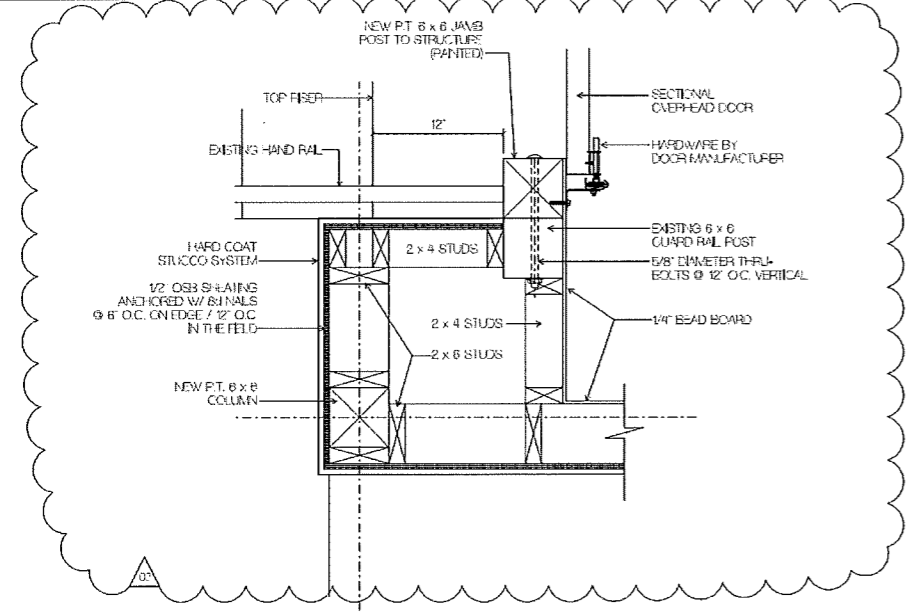
Issue Dates:	No.	Date	Description
	01	08/07/16	Permit Review Comments
	02	08/15/16	Permit Review Comments

FLOOR PLAN AND DETAILS

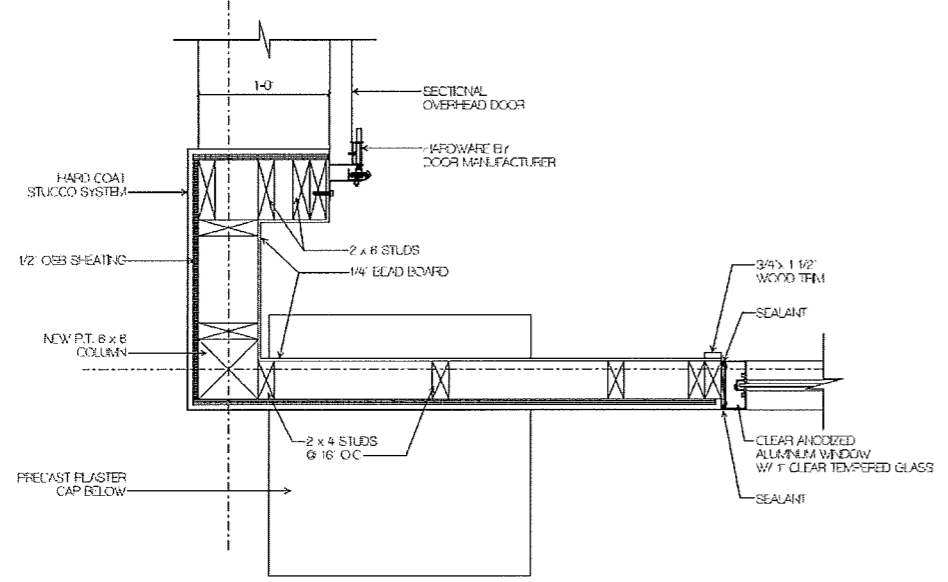
A100

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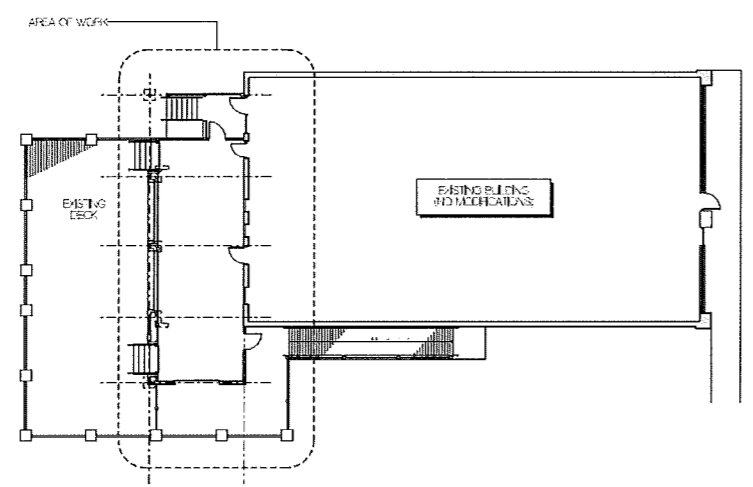
#2016-177 AMENDOR



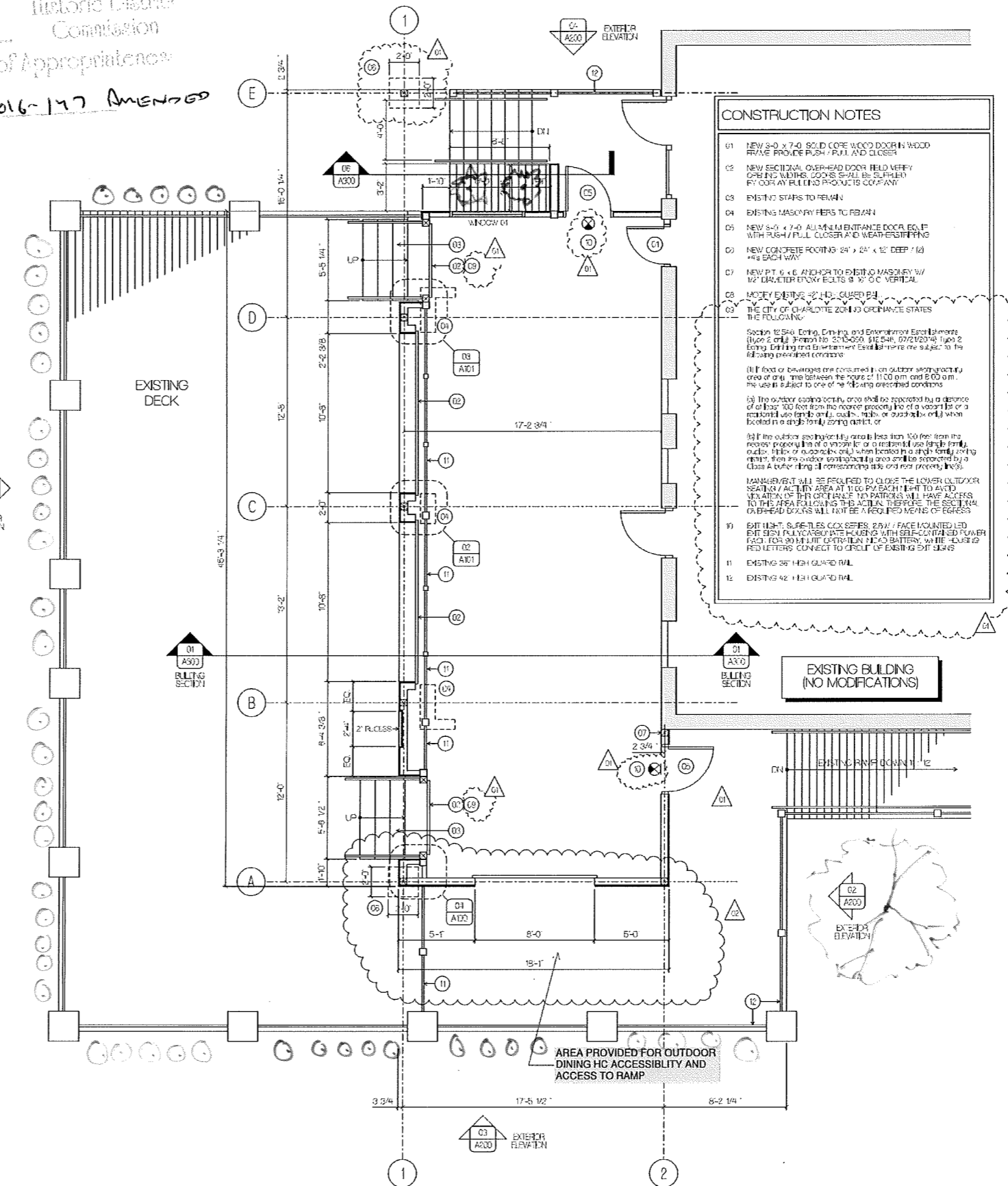
04 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



03 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



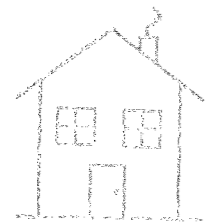
02 MASTER FLOOR PLAN
SCALE: 1/16" = 1'-0"



01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES

- NEW 2-0 x 7-0 SOLID CORE WOOD DOOR IN WOOD FRAME PROVIDE PUSH/PULL AND CLOSER
- NEW SECTIONAL OVER-HEAD DOOR HELD OPEN BY SPRING WEIGHTS. SPRINGS SHALL BE SUPPLIED BY COYAY BUILDING PRODUCTS COMPANY
- EXISTING STAIRS TO REMAIN
- EXISTING MASONRY PERS TO REMAIN
- NEW 2-0 x 7-0 ALUMINUM ENTRANCE DOOR EQUIP WITH PUSH/PULL CLOSER AND WEATHERSTRIPPING
- NEW CONCRETE FOOTING: 24" x 24" x 12" DEEP / 12" #4 EACH WAY
- NEW P.T. 6 x 6 ANCHOR TO EXISTING MASONRY W/ 1/2" DIAMETER EPOXY BOLTS @ 12" O.C. VERTICAL
- MODIFY EXISTING 42" HIGH GUARD RAIL
- THE CITY OF CHARLOTTE ZONING ORDINANCE STATES THE FOLLOWING:
Section 12.540. Eating, Drinking, and Entertainment Establishments (Use Group 1) from No. 2012-550, 012-540, 012/1207-41 Item 2 Eating, Drinking and Entertainment Establishments are subject to the following preconditions:
(i) If food or beverages are consumed in an outdoor seating area or area of use, this between the hours of 11:00 am and 8:00 pm, the use is subject to one of the following prescribed conditions:
(a) The outdoor seating area shall be separated by a distance of at least 100 feet from the nearest property line of a vacant lot or a residential use (single-family, multi-family, or courtyard) which is located in a single-family zoning district; or
(b) If the outdoor seating area is less than 100 feet from the nearest property line of a vacant lot or a residential use (single-family, multi-family, or courtyard) which is located in a single-family zoning district, then the outdoor seating area shall be separated by a Class A outdoor dining or recreation site and not property lines.
MANAGEMENT WILL BE REQUIRED TO CLOSE THE LOWER OUTDOOR SEATING / ACTIVITY AREA AT 11:00 PM EACH NIGHT TO AVOID VIOLATION OF THE CRUISELINE PATROLS. ALL PATROLS WILL HAVE ACCESS TO THE AREA FOLLOWING THIS ACTION. THEREFORE, THE SECTIONAL OVER-HEAD DOORS WILL NOT BE A REQUIRED MEANS OF EGRESS
- EXIT LIGHT, SUBSTITUTES COX SERIES 220V / FACE MOUNTED LED EXIT SIGN (ALL EXISTING EXITS) WITH SELF-CONTAINED TOWER BATTERIES FOR THE EXTERIOR DECK BATTERY, WHILE EXISTING RED LETTERS CONNECT TO CIRCUIT OF EXISTING EXIT SIGNS
- EXISTING 26" HIGH GUARD RAIL
- EXISTING 42" HIGH GUARD RAIL

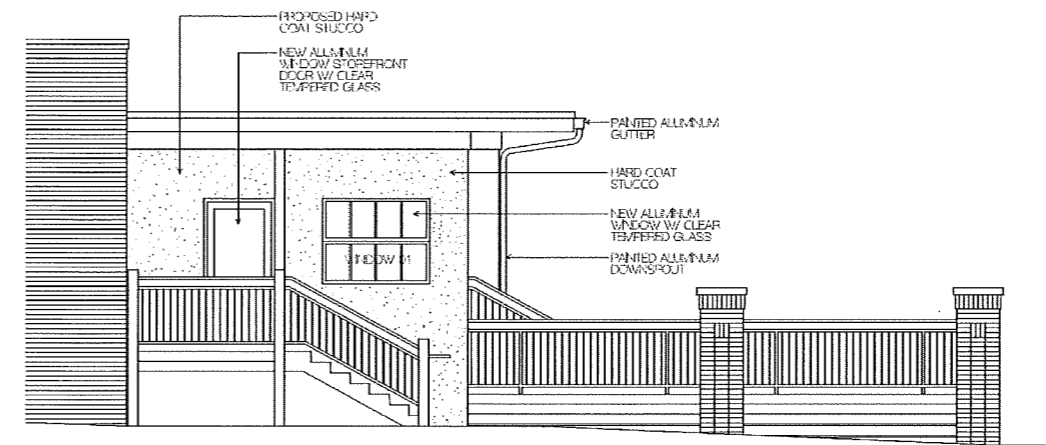


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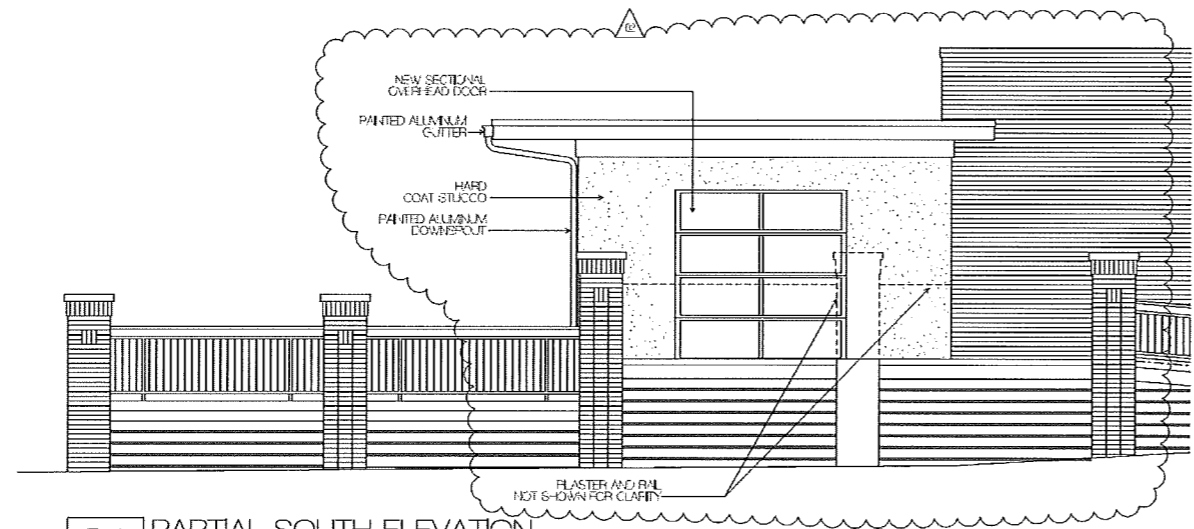
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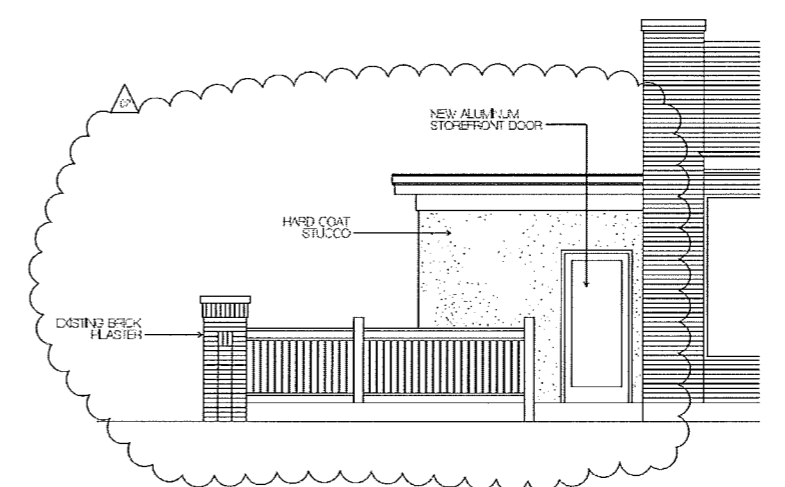
2016-147 AMENDED



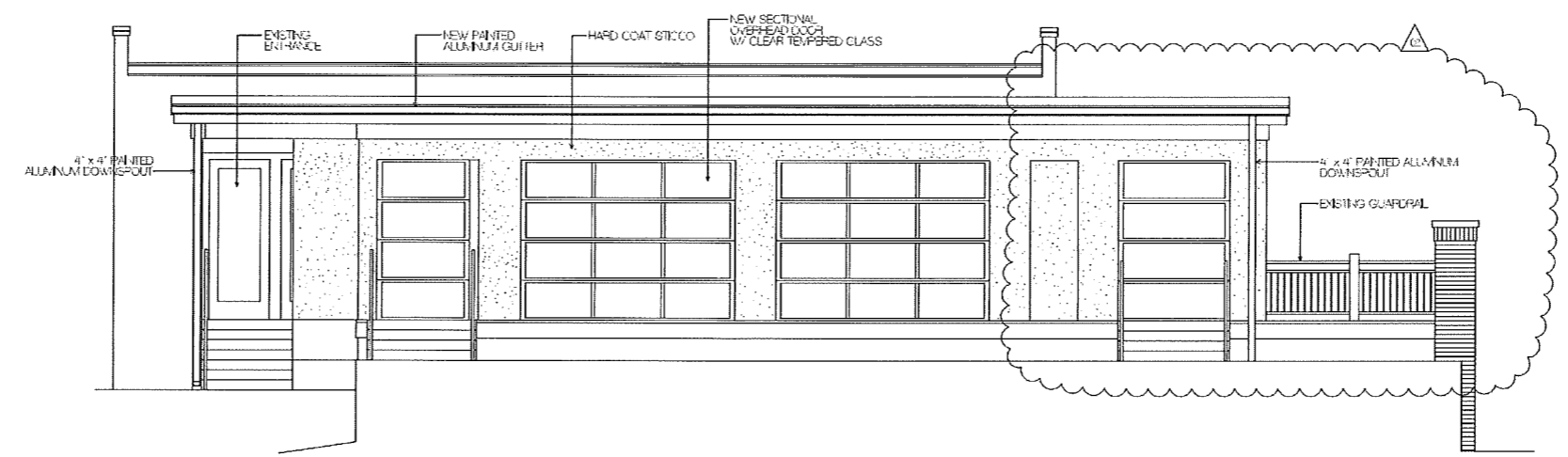
04 PARTIAL NORTH (IDEAL WAY) ELEVATION
SCALE: 1/4" = 1'-0"



03 PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



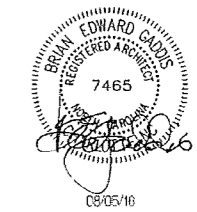
02 PARTIAL EAST (PARK ROAD) ELEVATION
SCALE: 1/4" = 1'-0"



01 WEST (PARKING LOT) ELEVATION
SCALE: 1/4" = 1'-0"

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Issue Dates:		No.:	
		Date:	
		Description:	
△	08/15/16	Panel Review Comments	

EXTERIOR ELEVATIONS

A200