



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - Amended

CERTIFICATE NUMBER: 2015-145

DATE: November 1, 2016

ADDRESS OF PROPERTY: 1708 Thomas Avenue

TAX PARCEL NUMBER: 08118613

HISTORIC DISTRICT: Plaza Midwood

OWNER(S): Tori Jahn and Nichole Gordon

DETAILS OF APPROVED PROJECT: The project is a second story addition within a front and rear dormer on the principal structure. The right and left side gables will be raised to accommodate the additions. The existing roof will be raised to approximately 25' measured from grade. The existing front shed dormer will be replaced with a taller shed dormer with similar details. New siding will be wood lap, new windows will be wood with trim to match existing. The rear addition has been redesigned to include a full second story with balcony. The addition does not change the height or width of the house.

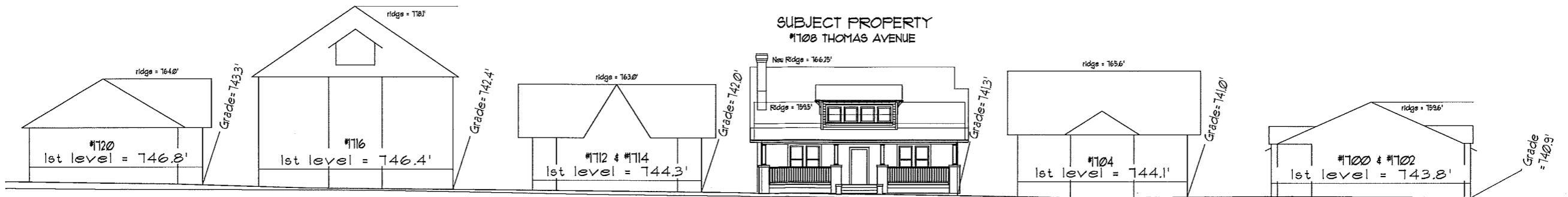
The project was approved by the HDC October 14, 2015.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

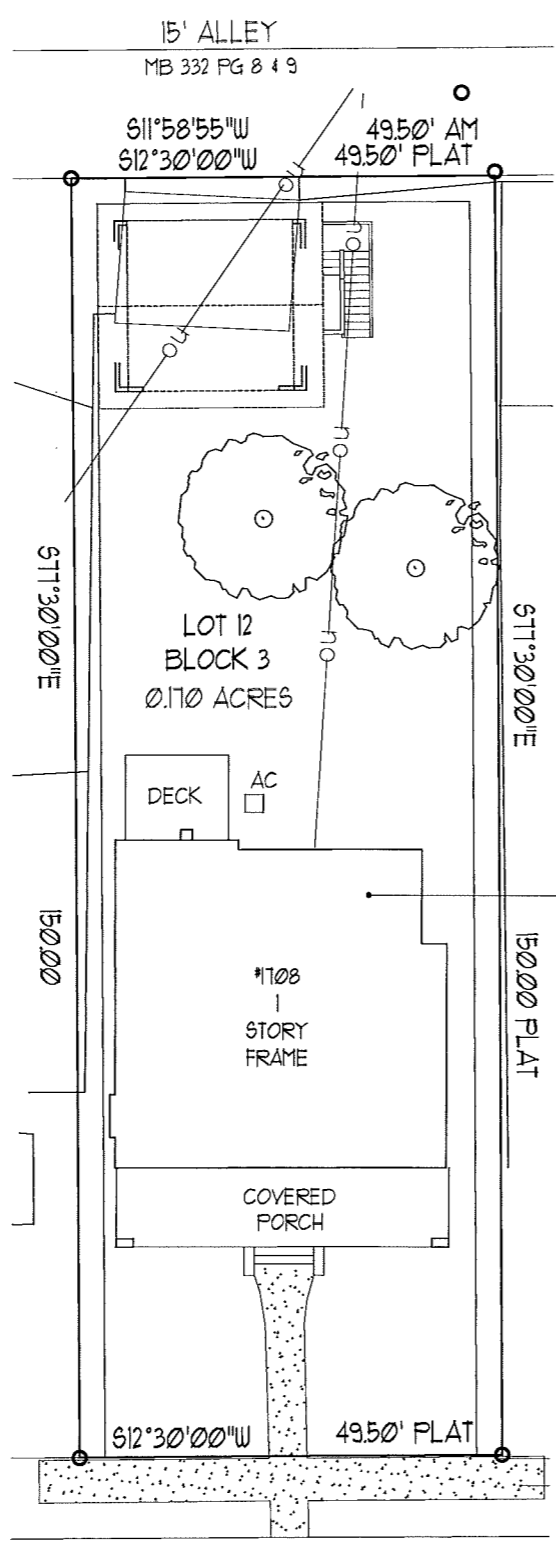
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Jim Haden, Chairman

Staff

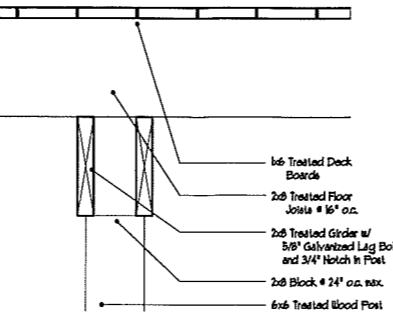
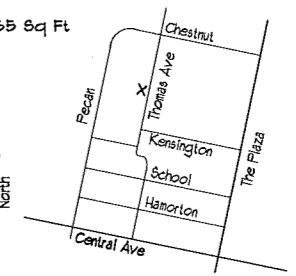


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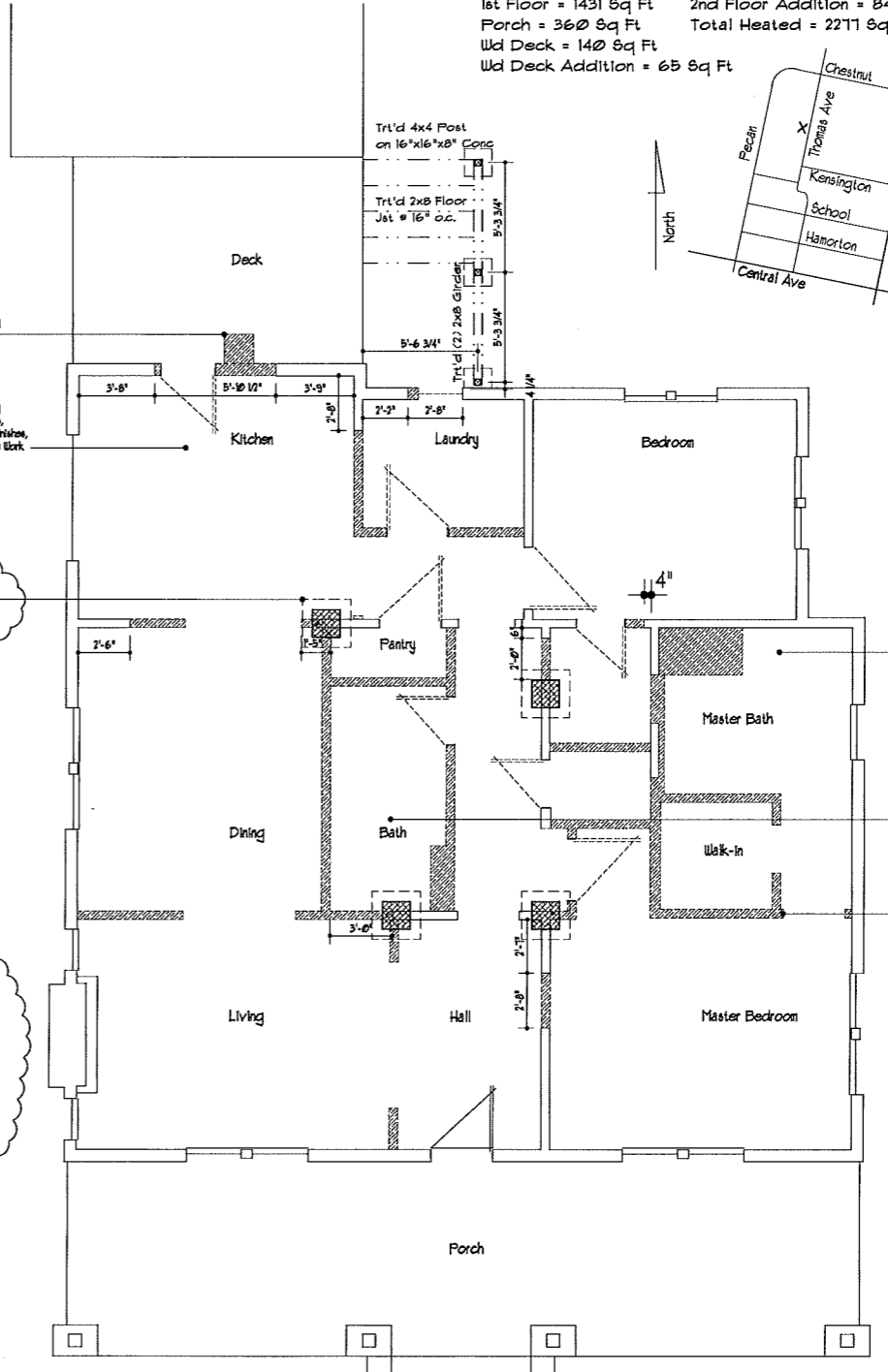


3 Street View
1 / 8" = 1' - 0"

1708 Thomas Avenue
Square Footage Summary
1st Floor = 1431 Sq Ft
Porch = 360 Sq Ft
Wd Deck = 140 Sq Ft
2nd Floor Addition = 846 Sq Ft
Total Heated = 2271 Sq Ft
Wd Deck Addition = 65 Sq Ft



4 Deck Detail
1 / 2" = 1' - 0"



Note:
All New 2nd Floor Loads Align with
Existing Bearing Walls Below to Girders
& Piers That are Deemed Acceptable for
All NC Residential Building Code
Requirements - Field Inspector to Verify

Jahn/ Gordon
Renovation/
Addition

1708
Thomas
Avenue

Charlotte
NC

May 20, 2015
June 21, 2015
July 23, 2015
August 28, 2015
October 5, 2015
October 21, 2015
December 5, 2015
December 8, 2015
March 1, 2016
April 11, 2016

1 Site Plan
50' PUBLIC RAW
1 / 4" = 1' - 0"

2 1st Floor Demolition
1 / 4" = 1' - 0"

L 3 1/2" x 3 1/2" x 1/4"	Not More Than 3'-6"	4" Bearing
L 5" x 3 1/2" x 5/16" LLV	3'-1" to 8'-0"	6" Bearing
L 6" x 3 1/2" x 5/16" LLV	8'-1" to 10'-0"	8" Bearing

Steel Beams require 5- 2x4 Studs Under Each End Support UNO.
LVL Beams require 3- 2x4 Studs Under Each End Support UNO.
Headers Under 6'-0" require 1 King 1 Jack Stud Under Each End Support UNO.
Headers over 6'-0" require 2- 2x4 Studs Under Each End Support UNO.

In Lieu of Wall Bracing Requirements of Section R602.10, All Stories Shall Be Sheathed With Wood Structural Sheathing Panels. Panels Shall Be Fastened at 6" o.c. Along The Edges and 12" o.c. at Intermediate Framing, Unless Noted Otherwise on the Drawings, No Blocking, Straps, or Special Holdowns Are Required If Sheathed As Described Above. Garage Door Portals/ Lugs Shall Be Anchored w/ a Min. of (2) Anchor Bolts Per Lug For The Foundation Anchorage Requirements. If Required by Engineering Evaluation, Additional Portal Framing Requirements Will Be Shown on The Drawings.

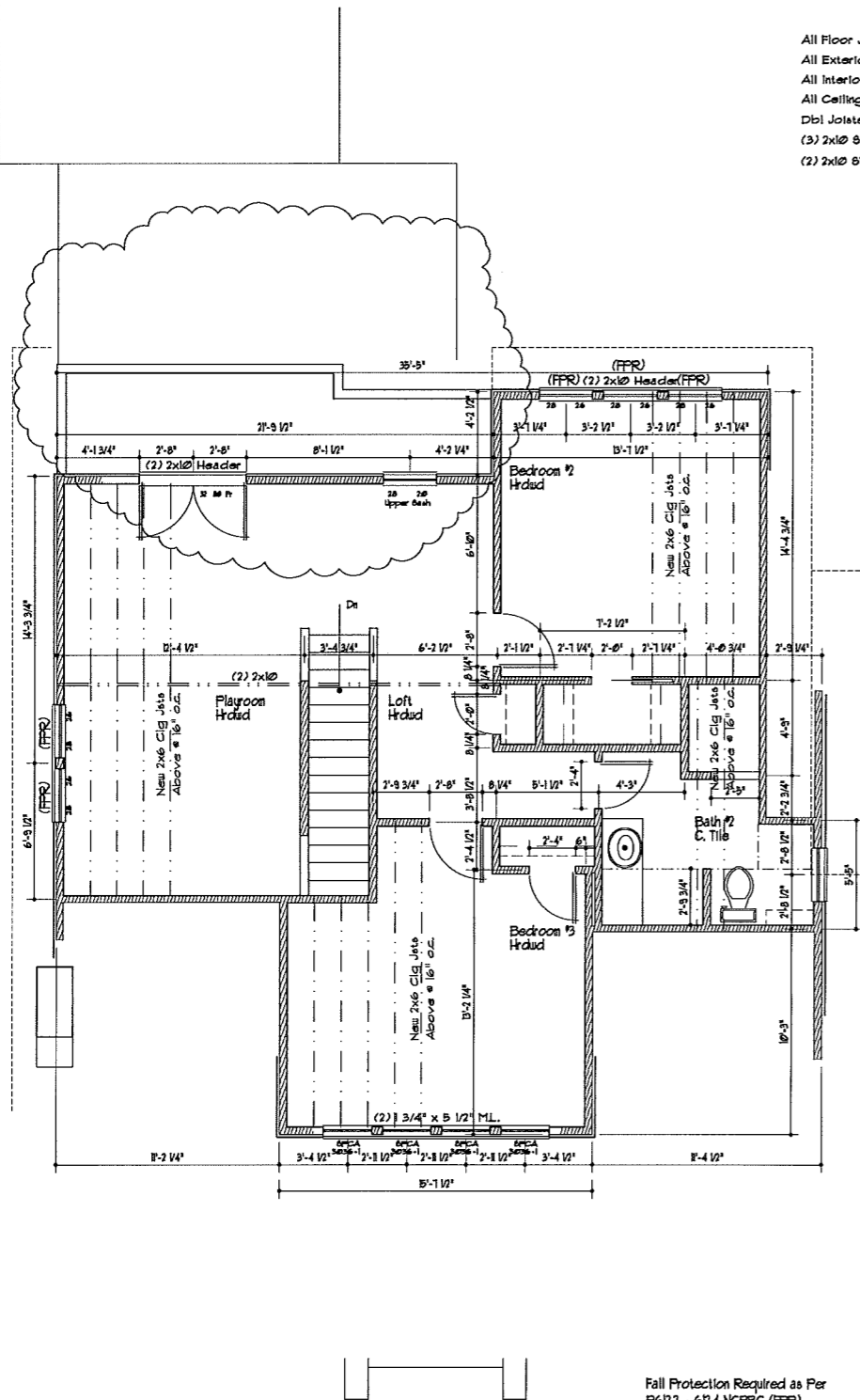
Factory Built Gas Fireplace as per Chapter 10
Section R-1004, R-1005 & R-1006
NC State Residential Building Code

Member Size	Simpson Hanger
(2) 2x8	HUS 2B-2
(2) 2x10	HUS 210-2 (max.)
(2) 2x12	HUS 212-2 (max.)
(2) 1 3/4 x 9 1/4 LVL	HJ 410 (max.)
(2) 1 3/4 x 11 7/8 LVL	HJ 412 (max.)
(2) 1 3/4 x 14 LVL	HJ 416 (max.)
(2) 1 3/4 x 16 LVL	HH8U 410
All Triple LVL's	HH5U 550/10



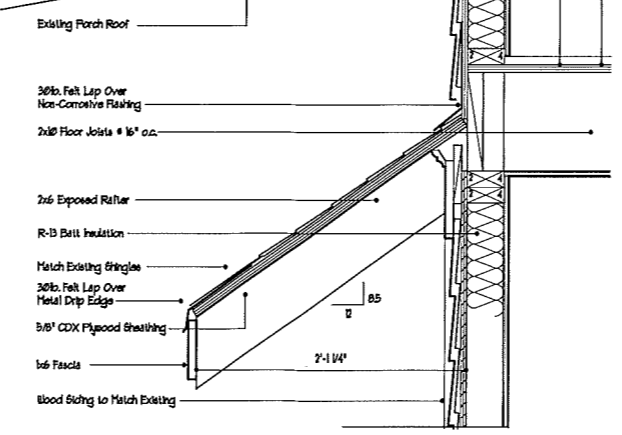
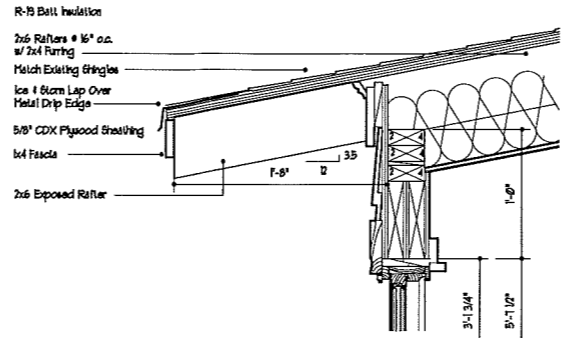
Framing Notes

- All Floor Joists are 2x10 @ 16" o.c. SFF # UNO.
- All Exterior Headers are 2-2x8 SFF # UNO.
- All Interior Headers are 2-2x8 SFF # UNO.
- All Ceiling Joists are 2x6 @ 16" o.c. SFF # UNO.
- Dbl Joists Under All Parallel Walls
- (3) 2x10 SYP # Flush Girder UNO.
- (2) 2x10 SYP # Band Girder UNO.



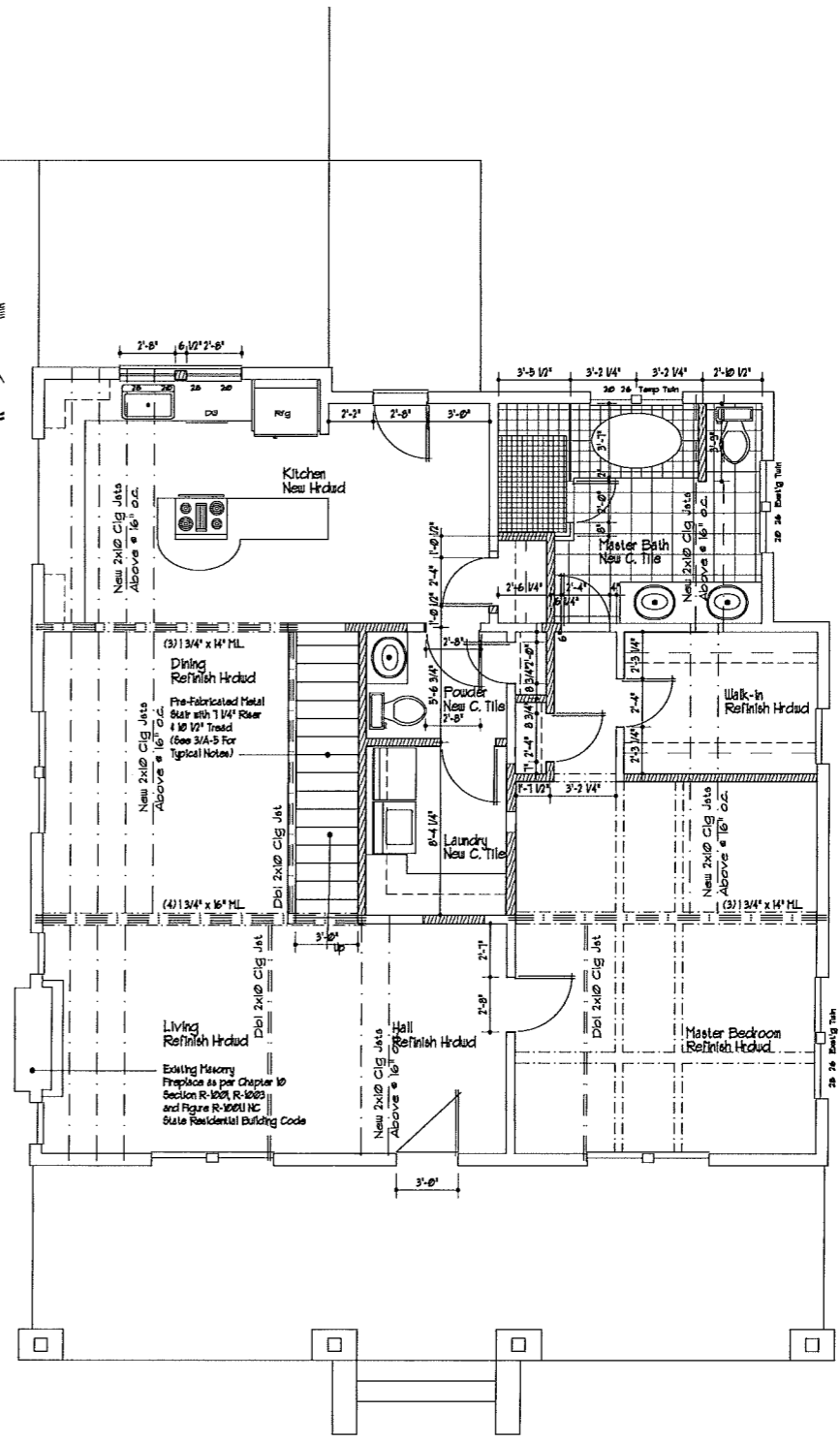
Fall Protection Required as Per
R612.2 - 610.4 NCRCB (FFR)

2 2nd Floor Addition
1/4" = 1' - 0"



3 Porch/ Bdrm #1 Detail
1/2" = 1' - 0"

Note:
All New 2nd Floor Loads Align with Existing Bearing Walls Below to Girders & Piers That are Deemed Acceptable for All NC Residential Building Code Requirements - Field Inspector to Verify



1 1st Floor Plan
1/4" = 1' - 0"

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Roof Notes

Rafters Shall be 2x6 @ 16" o.c., SFF #2 Except as Noted
 Collar Ties shall be 2x6 @ 48" o.c. Located Nominally 3' below all Ridges
 Minimum 3 Collar Ties at All Ridges Even if 2 Must be Located on One Rafter
 All Hips, Valleys and Ridges are 2x10 SFF #2, Except as Noted
 All "Hogs" shall be 2- 2x6's or 2- 2x8's as Indicated on Plans
 The Boards shall be Fastened Together at Their Ends w/ 16d Nails @ 4" o.c.
 To Form an "L" Shape. All Hogs are 12' Long 2x6's Except as Noted
 BB = Beam Below
 All Braces are (2) 2x4 Stud "T's" up to 10'
 Braces over 10' are (2) 2x6 Stud "T's" up to 10' Except as Noted
 Roof Designed For Asphalt Shingles



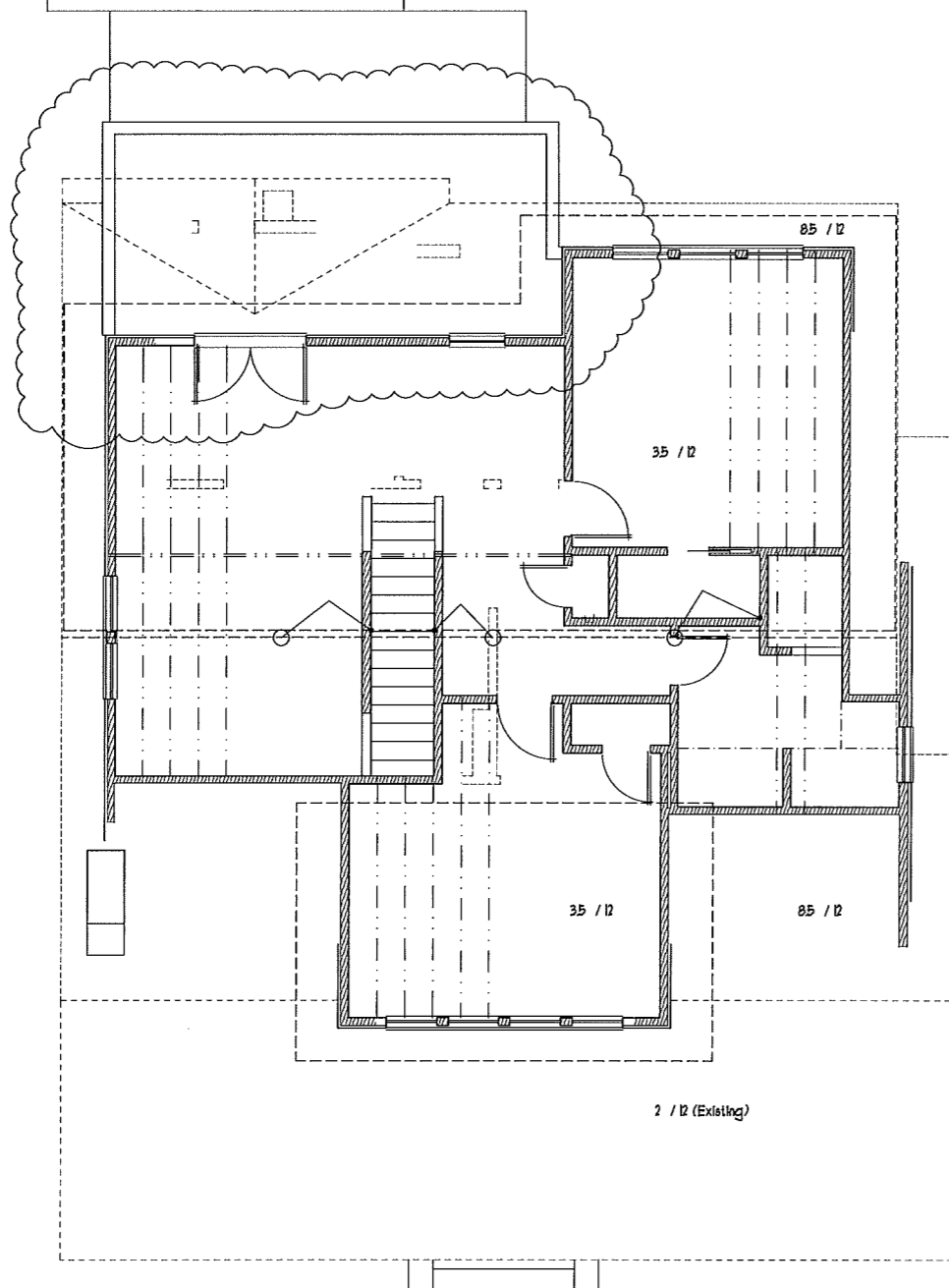
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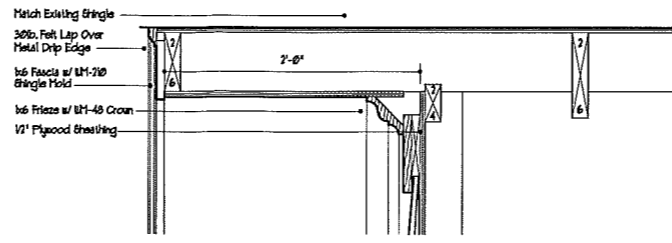
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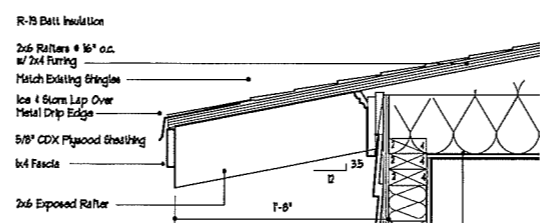
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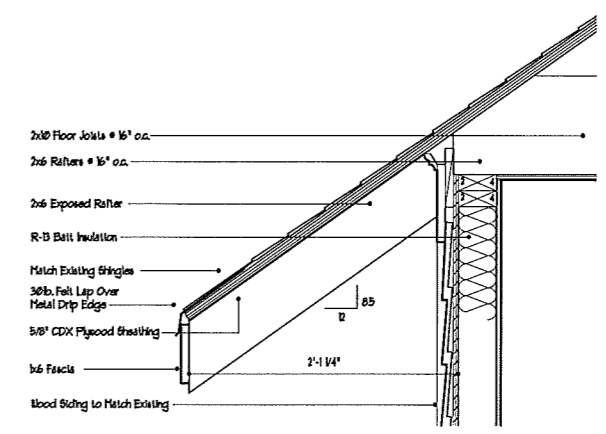
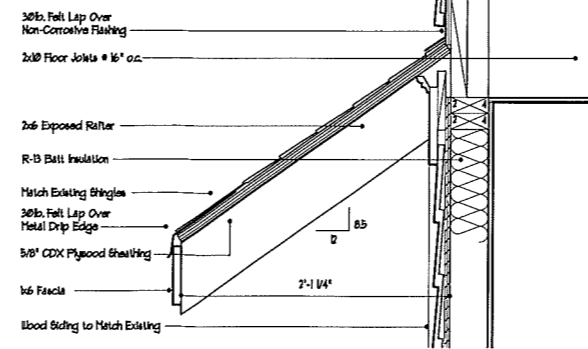
1 Roof Plan
 A-3 1 / 4" = 1' - 0"



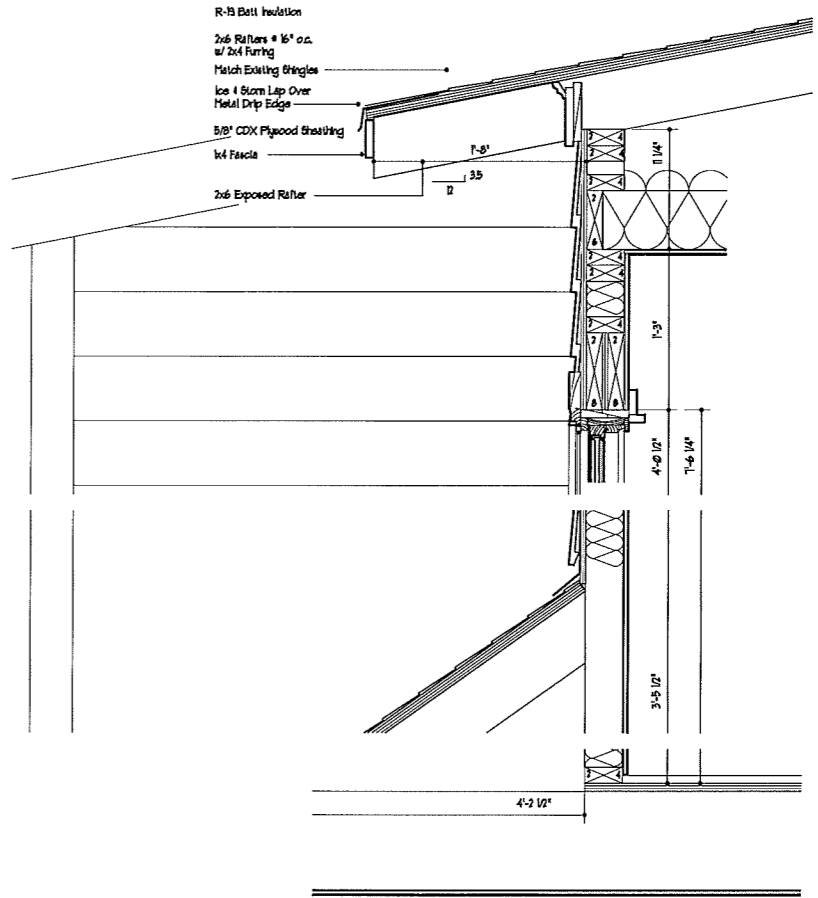
7 Typical Rake Detail
 A-3 1 / 2" = 1' - 0"



2 Shed Dormer Detail
 A-3 1 / 2" = 1' - 0"



5 1 Storey Roof Detail
 A-3 1 / 2" = 1' - 0"



3 Raised Shed Dormer Detail
 A-3 1 / 2" = 1' - 0"

CRAIG W ISAAC
 ARCHITECTURE
 Studio Lane
 900 Linda Lane
 Charlotte, NC 28211
 Architecture
 Interior Design
 Product Design
 704.358.1365



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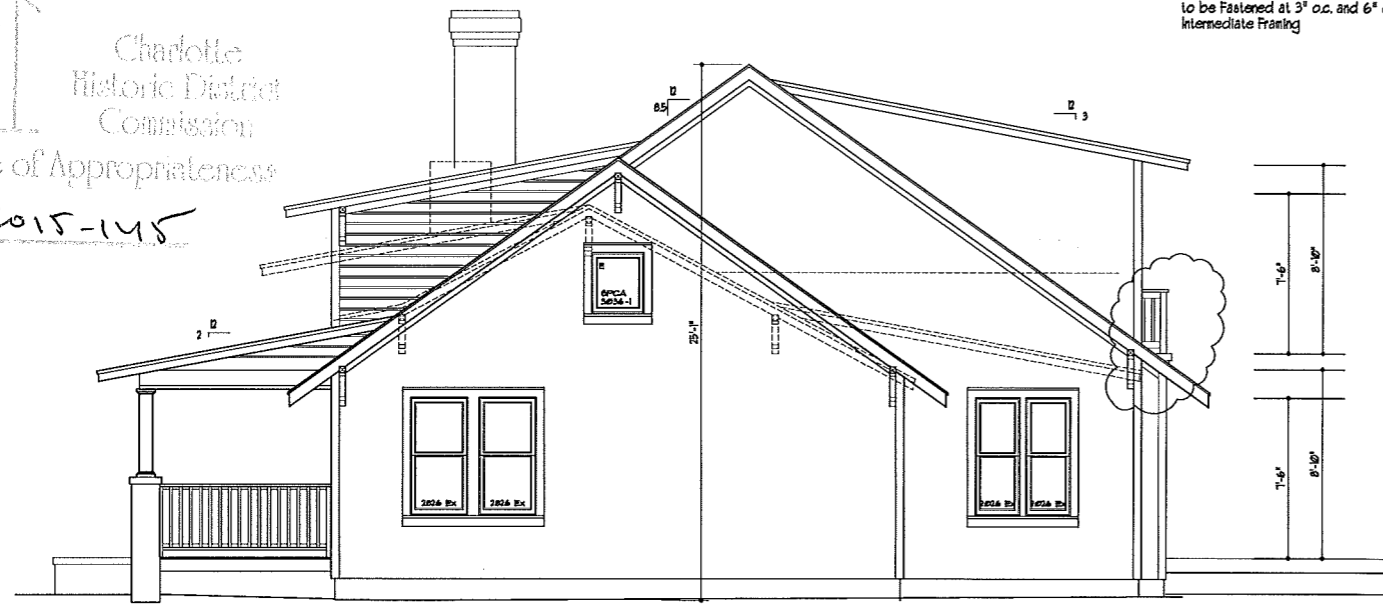
A-3

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All Exterior Walls to be Fully Sheathed w/ 1/2" Plywood in Lieu of R6@210 Bracing Requirements w/ exception 2, Panel Edges to be Fastened at 3" o.c. and 6" o.c. at Intermediate Framing

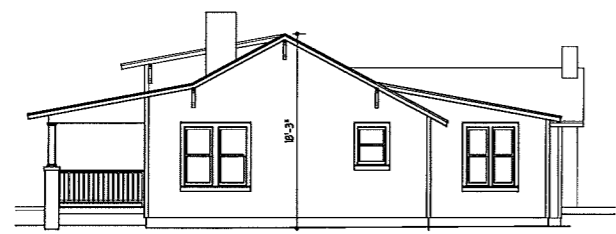
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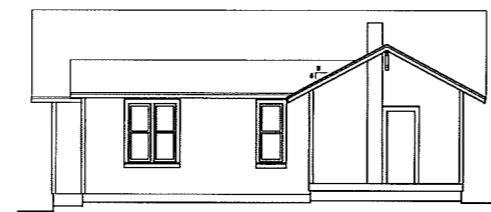
4 Ren Right Elevation
 1/4" = 1' - 0"



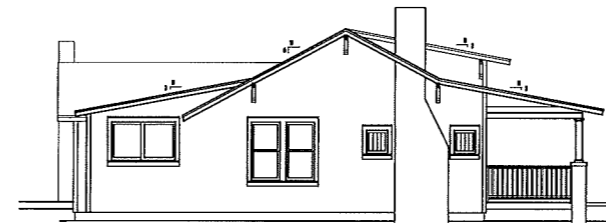
1 Ren Front Elevation
 1/4" = 1' - 0"



5 Existing Right Elev
 1/8" = 1' - 0"



5 Existing Rear Elev
 1/8" = 1' - 0"

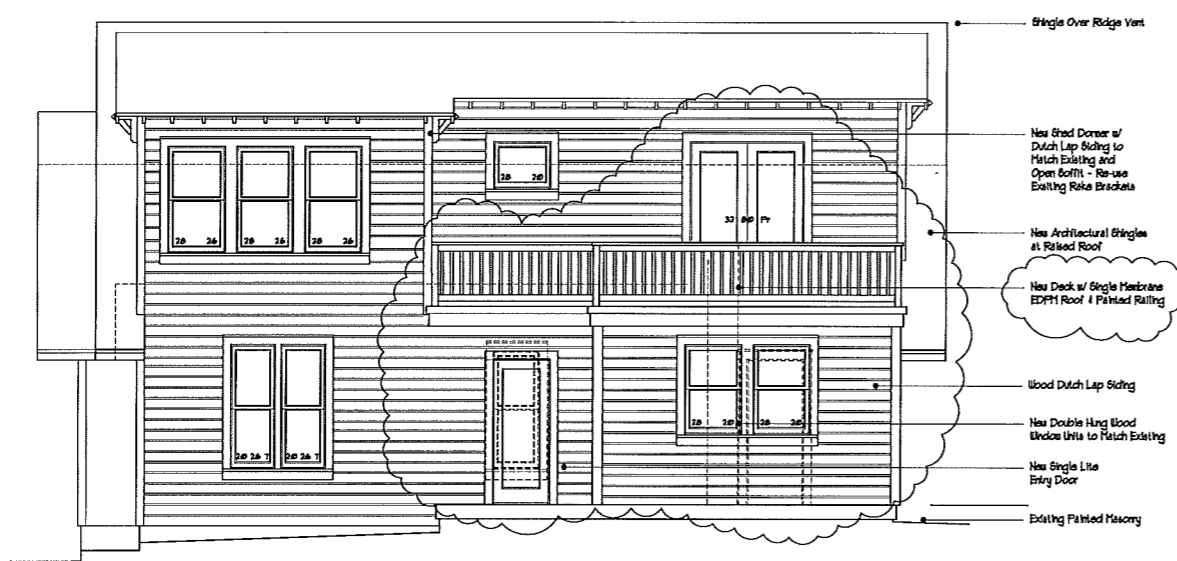


5 Existing Left Elev
 1/8" = 1' - 0"



5 Existing Front Elev
 1/8" = 1' - 0"

Note:
 Re-use as Much Existing
 Material as possible or
 Match Existing Profiles,
 Finishes and Dimensions.



3 Ren Rear Elevation
 1/4" = 1' - 0"



2 Ren Left Elevation
 1/4" = 1' - 0"

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