



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - AMENDED

CERTIFICATE NUMBER: 2016-094

DATE: June 17, 2016

February 22, 2017 - AMENDED

ADDRESS OF PROPERTY: 816 Mt. Vernon Avenue **TAX PARCEL NUMBER:** 12309316

HISTORIC DISTRICT: Dilworth

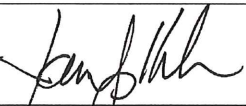
OWNER(S): Phyllis and Peter Fulton

DETAILS OF APPROVED PROJECT: The proposal is the enclosure of a side porch, the removal of a side chimney, new windows and doors on the rear and right side, and a trellis on the detached garage. New double hung windows will match existing design. The porch will have a gabled roof to match the house and windows to replace the screens. The new chimney will be engaged with the house. Materials will be wood and brick. See attached plans.

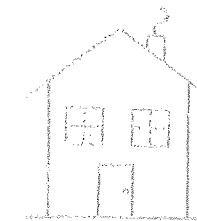
The project was approved by the HDC June 8, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.


James Haden, Chairman


Staff



APPROVED

Charlotte
Historic District
Commission

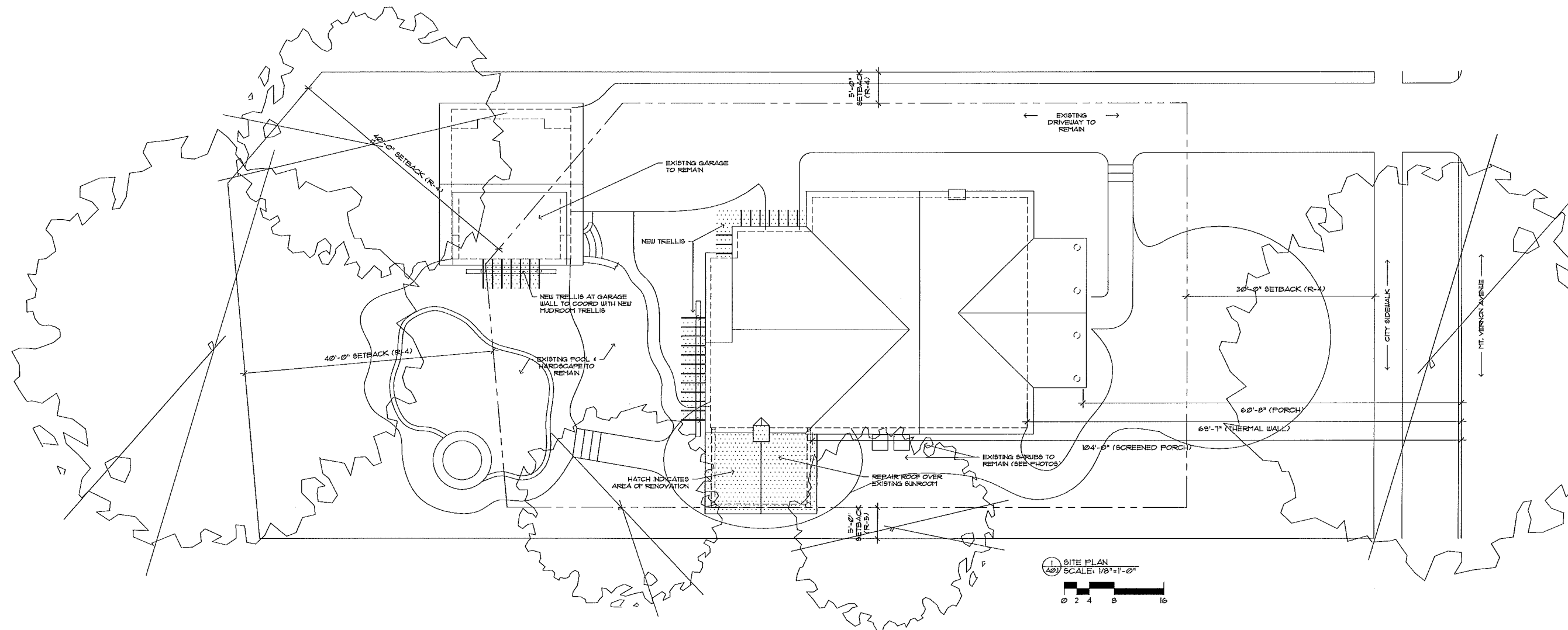
Certificate of Appropriateness

2016-094

FULTON
ADDITION /
RENOVATION
816 Mt. Vernon Avenue
Charlotte, NC 28203

DATES:

Existing
11 March 2015
Schematics
8 June 2015
Preliminary Pricing
NOT FOR CONSTRUCTION
29 January 2016
21 March 2016
HDC Application
20 April 2016
26 May 2016
30 May 2016
Progress Drawings
Final Pricing
Revisions



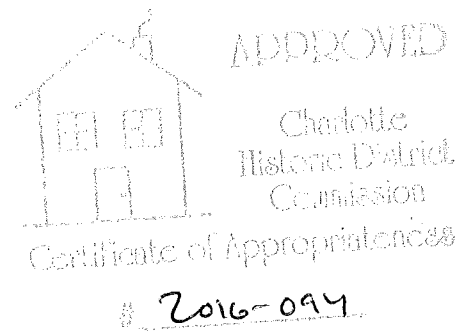
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SITE PLAN

A0.1



FULTON
ADDITION /
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ELEVATIONS

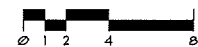
A2.0



1 FRONT (NORTH) ELEVATION - MT. VERNON AVENUE
SCALE: 1/4"=1'-0"



2 EXISTING FRONT (NORTH)
ELEVATION - MT. VERNON AVENUE
SCALE: 1/4"=1'-0"



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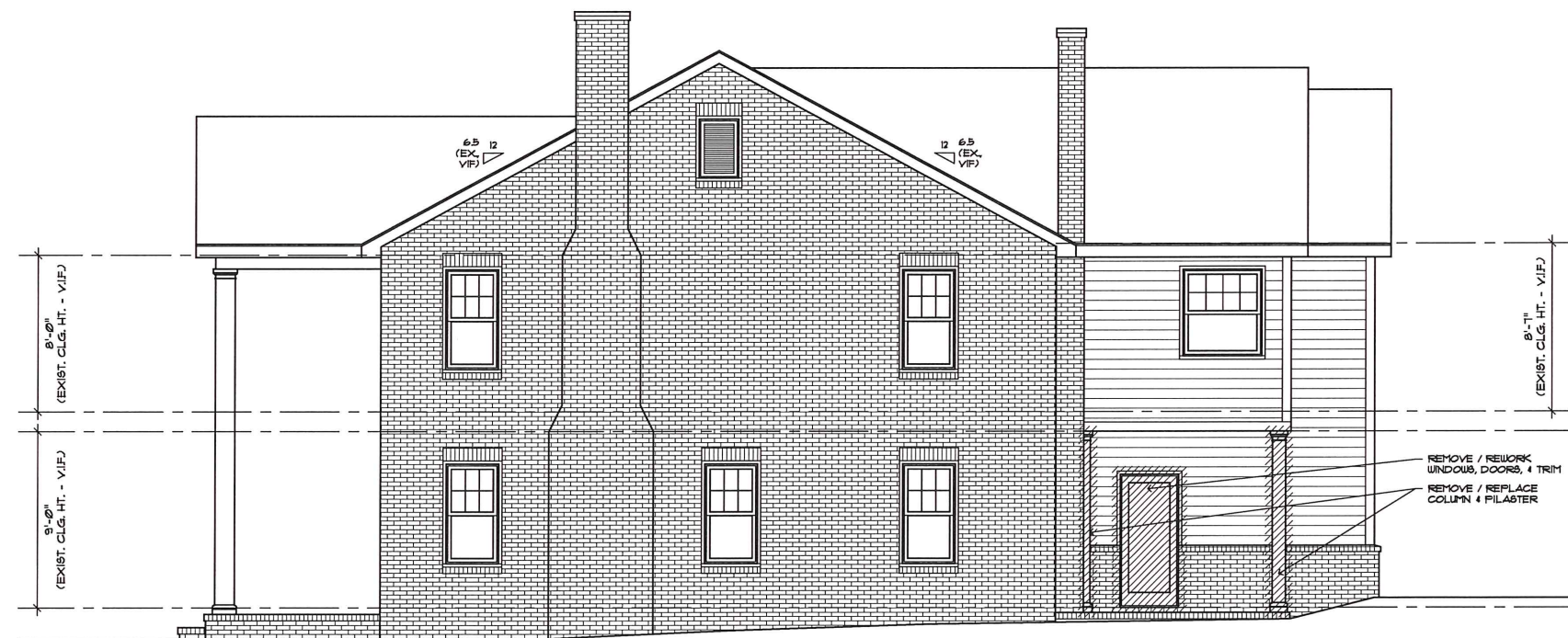
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ELEVATIONS

A2.1



2 EXISTING SIDE (WEST) ELEVATION - DRIVEWAY
A2.1 SCALE: 1/4" = 1'-0"



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Revisions
-

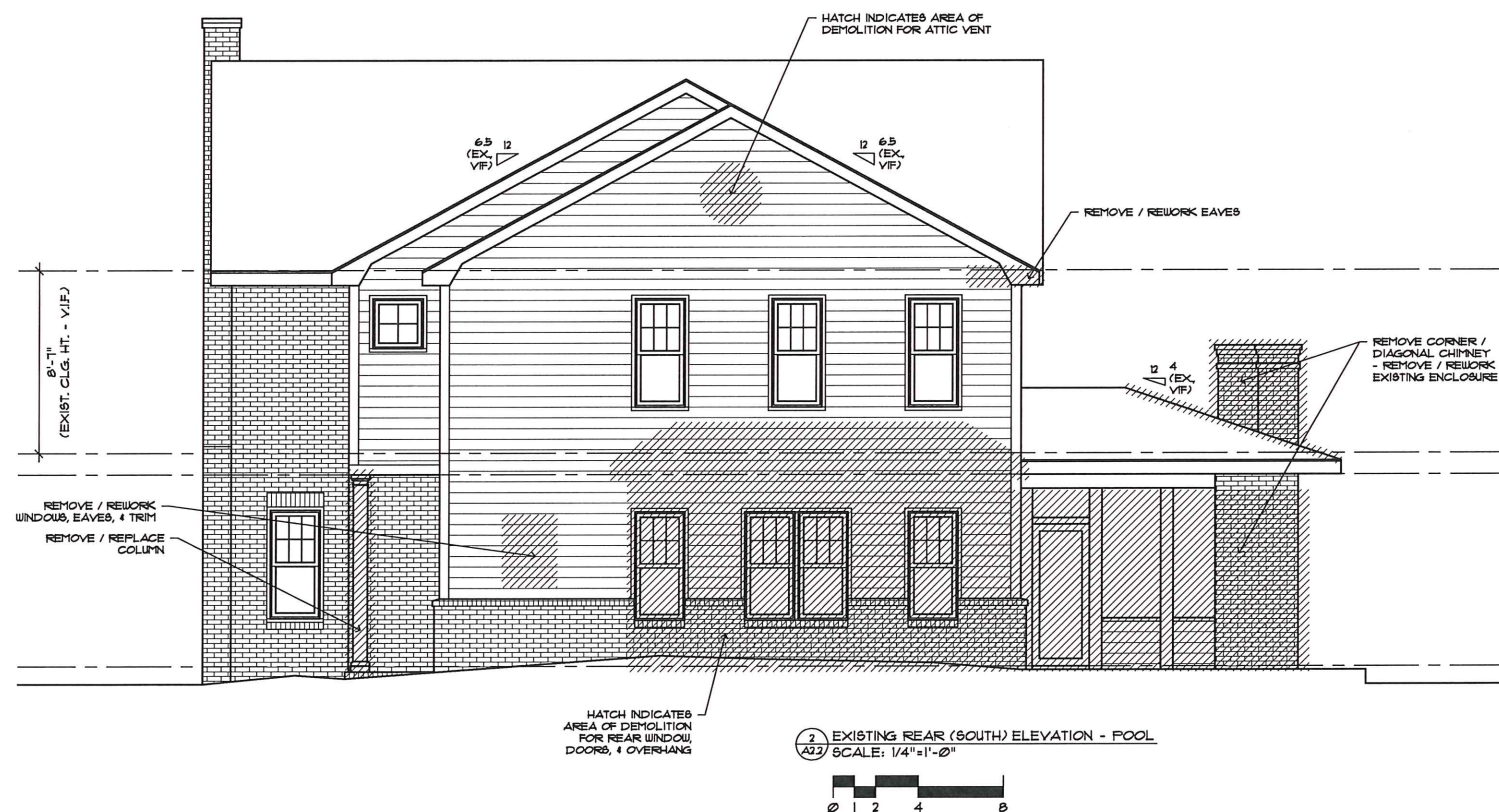
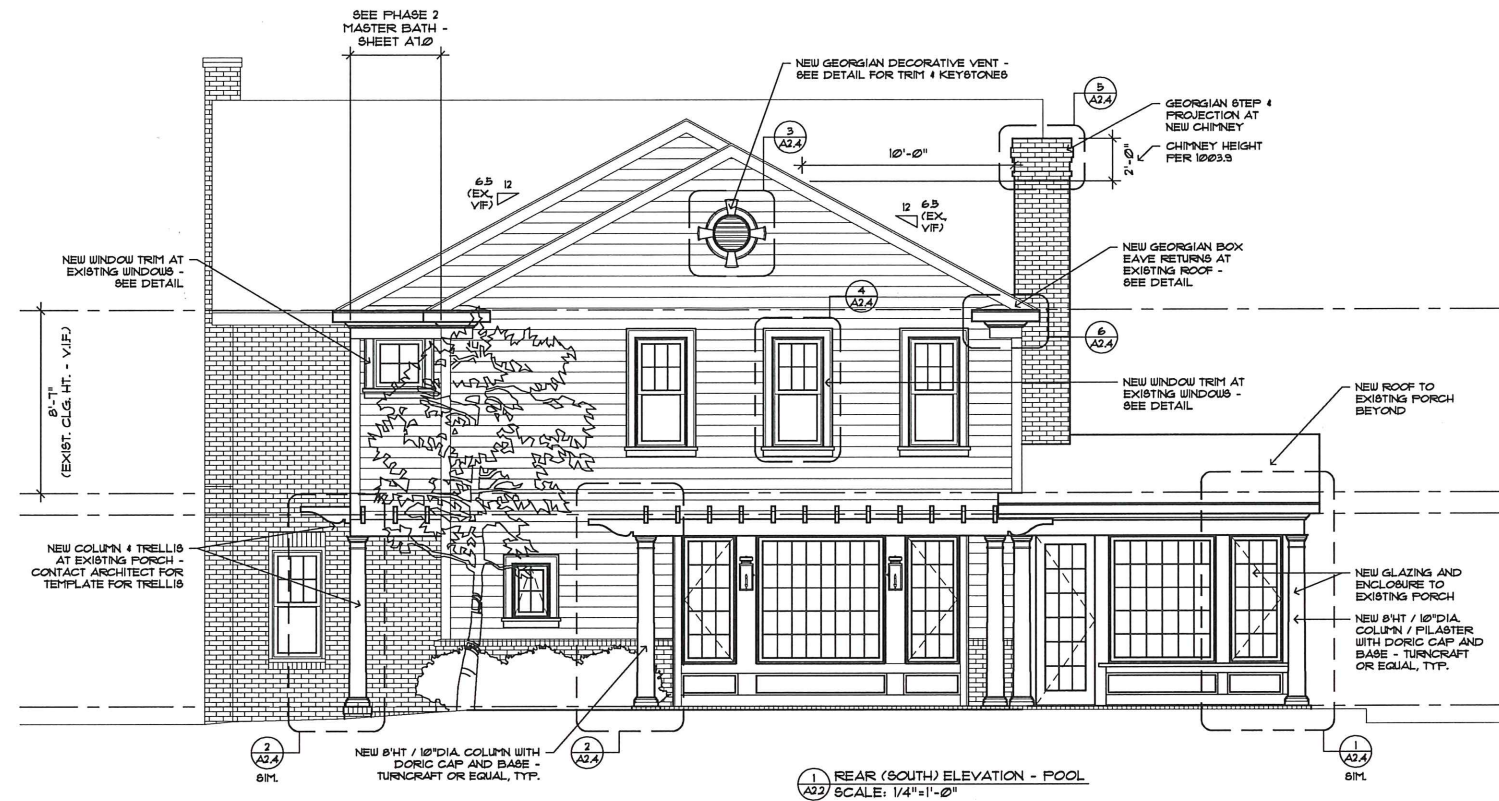
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ELEVATIONS

A2.2



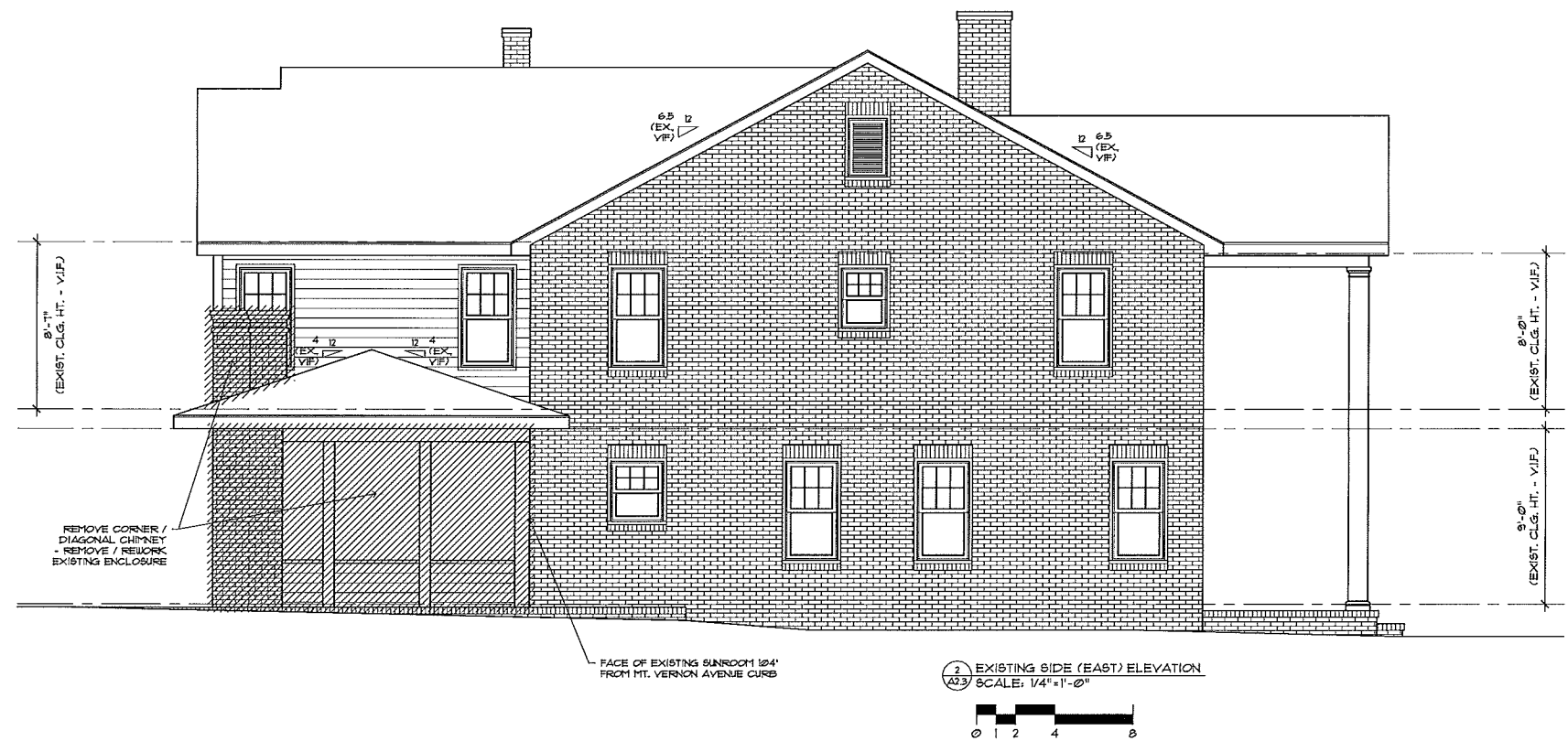
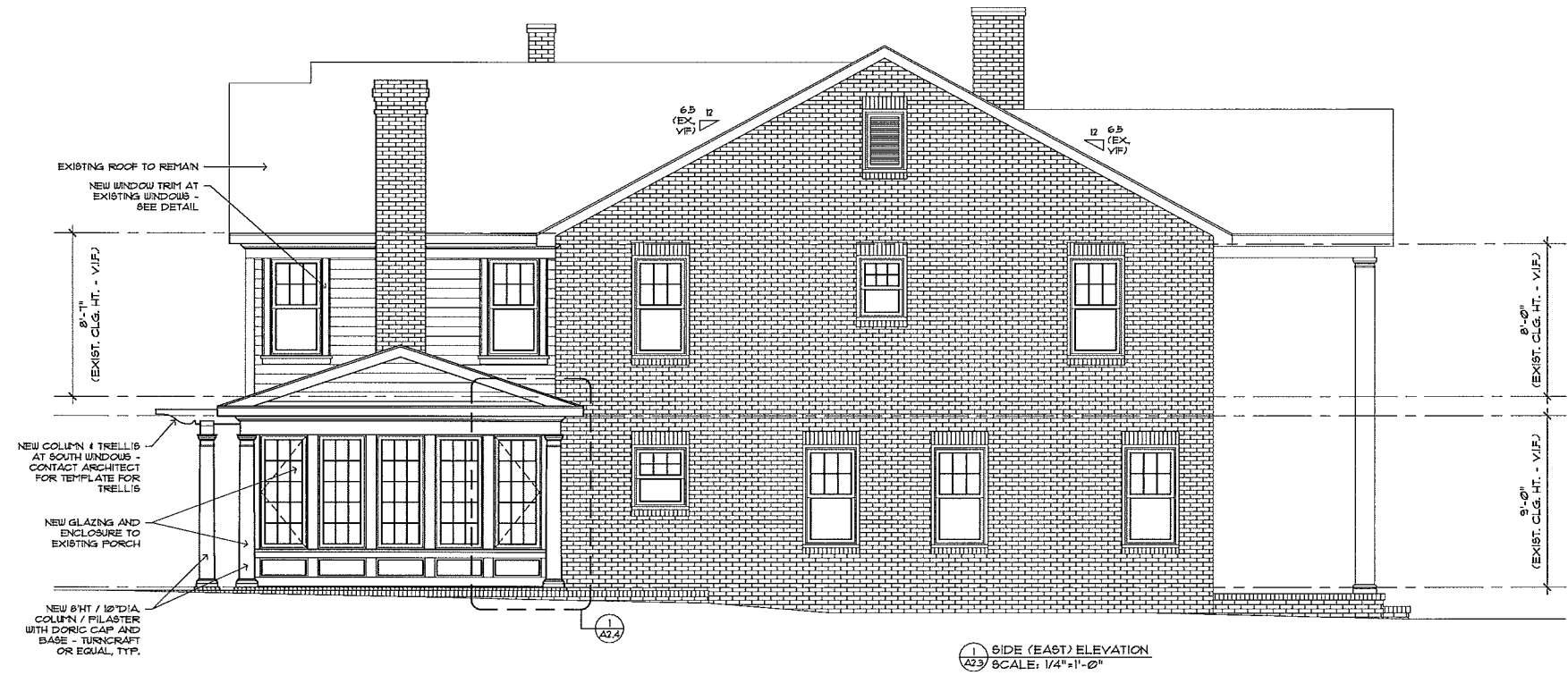
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ELEVATIONS

A2.3



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Final Pricing
-
Revisions
-

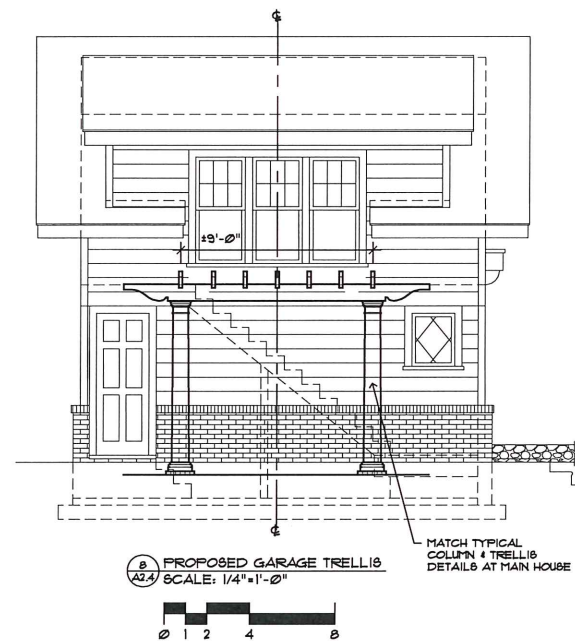
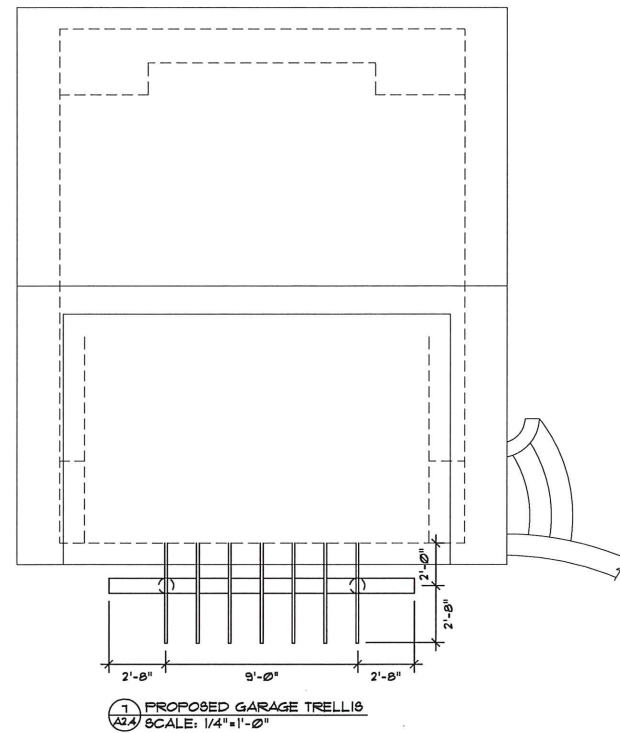
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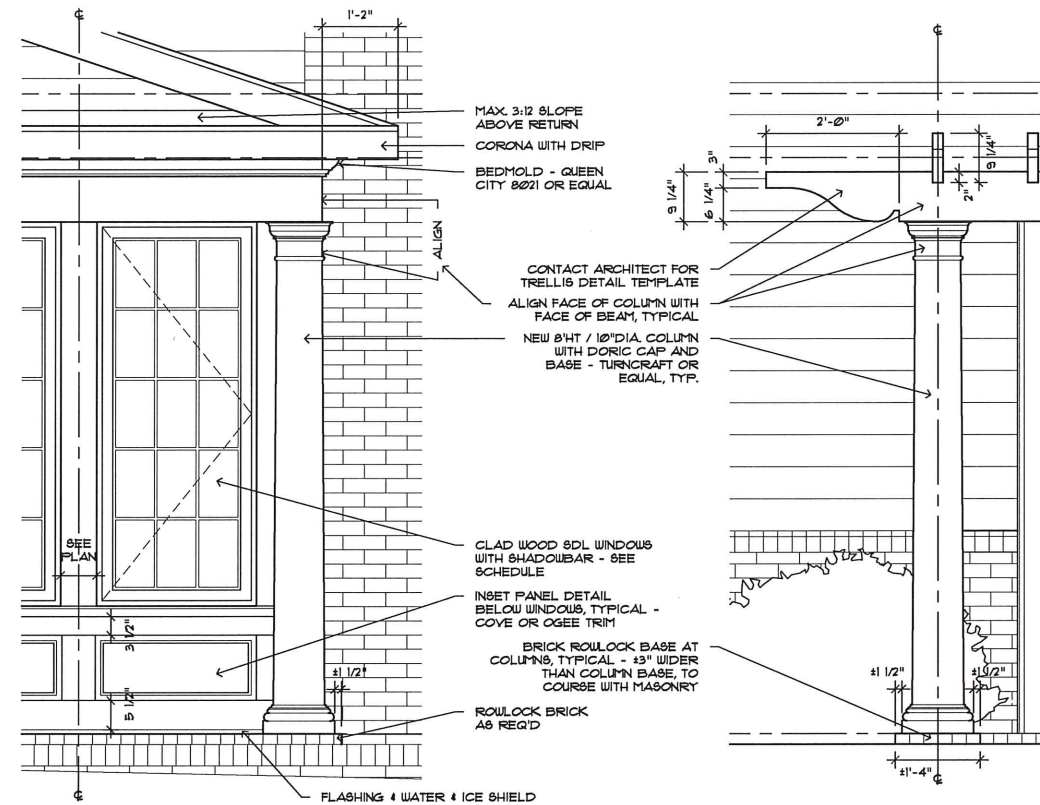
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EXTERIOR
DETAILS

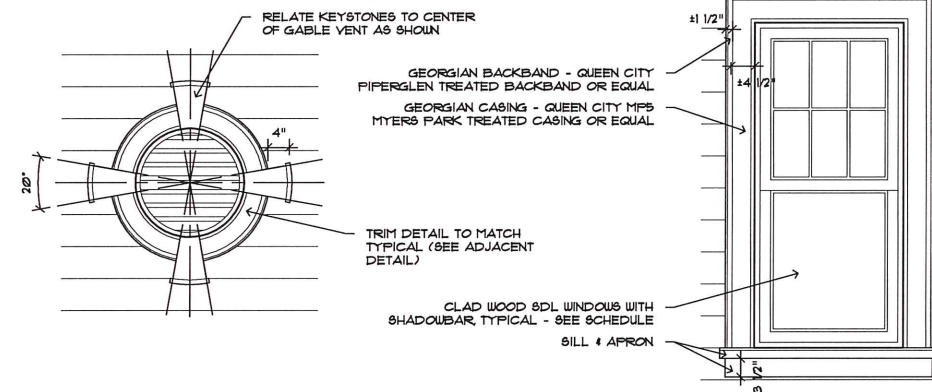
A2.4



APPROVED
Charlotte
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2 TRELLIS DETAIL
A2.4 SCALE: 3/4"=1'-0"



4 TRIM DETAIL
A2.4 SCALE: 3/4"=1'-0"

