



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

CERTIFICATE NUMBER: 2016-086

DATE: May 25, 2016

ADDRESS OF PROPERTY: 604 S. Summit Avenue

TAX PARCEL NUMBER: 07102333

HISTORIC DISTRICT: Wesley Heights

OWNER(S): Jason and Emily Clark

DETAILS OF APPROVED PROJECT: The project is a rear addition that is not visible from public right of way. The project requires the removal a small storage area and porch on the rear. Siding and trim details will match the existing house in material and size. New windows will be wood simulated true divided light (STD), casement and double hung. Two mature trees will be removed to accommodate the addition.

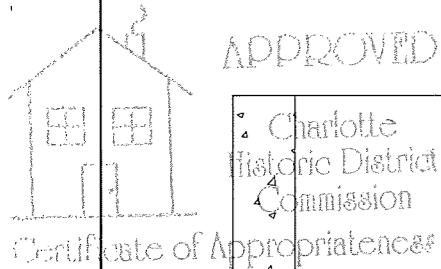
The project was approved by the HDC May 11, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

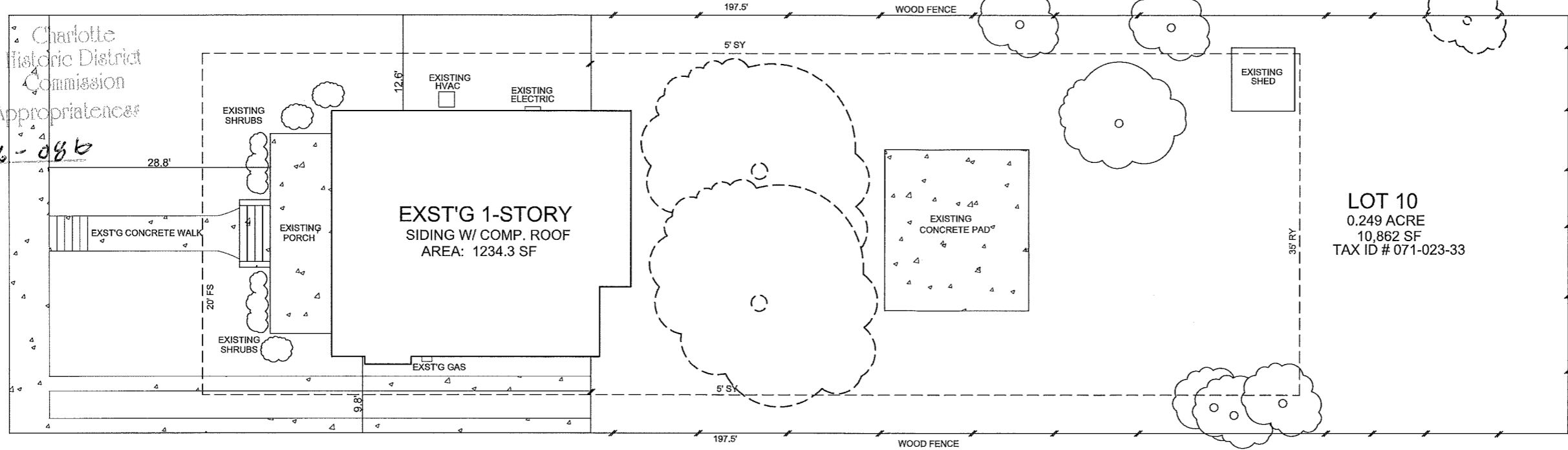


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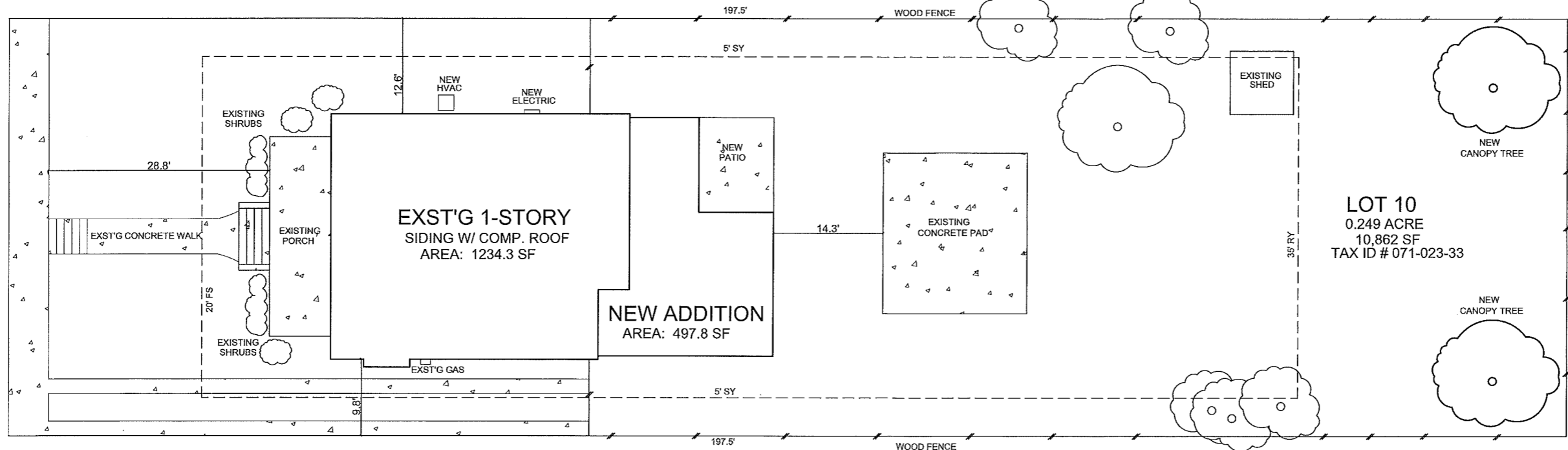
Certificate of Appropriateness



--- REMOVAL

SITE PLAN, EXST'G

NTS



SITE PLAN, NEW

NTS

M. Pete, Inc.

Suite D, 1200 The Plaza
Charlotte, NC 28205
P: 704-614-8017

JASON CLARK RESIDENCE

ADDITION & RENOVATION

CHARLOTTE, NC

SITE PLAN, NEW & EXISTING

project number
• 186
date
• 4/11/16

scale
• NTS
drawn by
• Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:
THESE DESIGN PLANS ARE NOT PROVIDED FOR ARCHITECTURAL OR ENGINEERING USE. IT IS THE RESPONSIBILITY OF THE RESPECTIVE TRADES TO VERIFY THAT ALL INFORMATION LISTED IS IN ACCORDANCE WITH EQUIPMENT USE, APPLICABLE CODES AND ACTUAL JOBSITE DIMENSIONS.

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FOR CONSTRUCTION

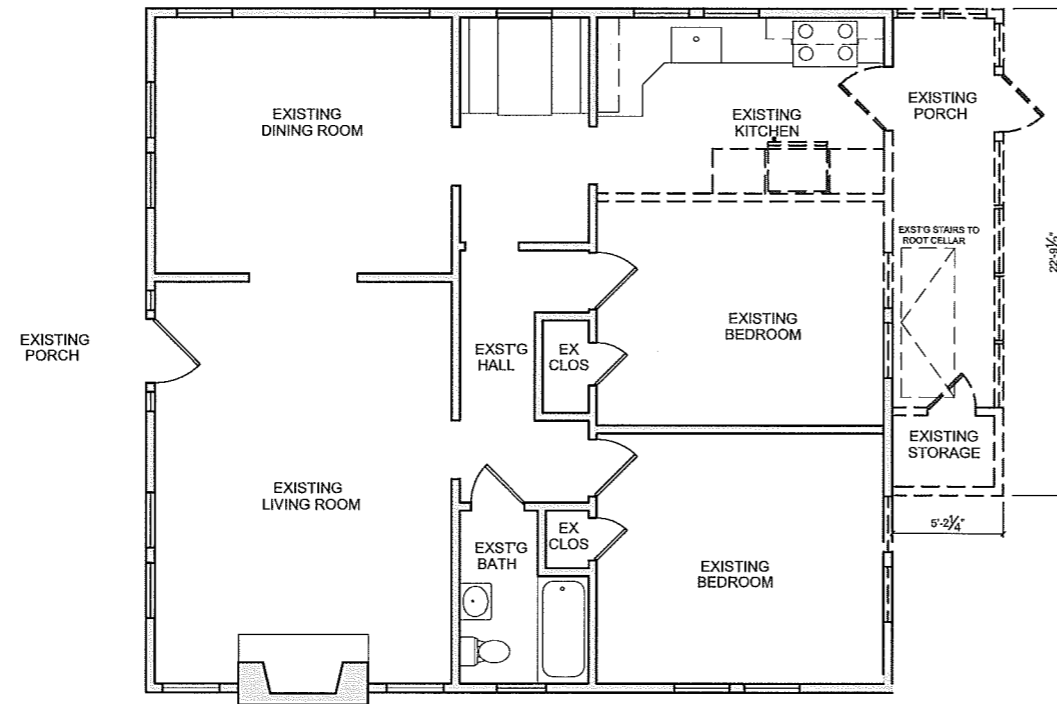
FINAL PLAN ACCEPTED BY:
DATE:

sheet number

IN1.0
1 of 7



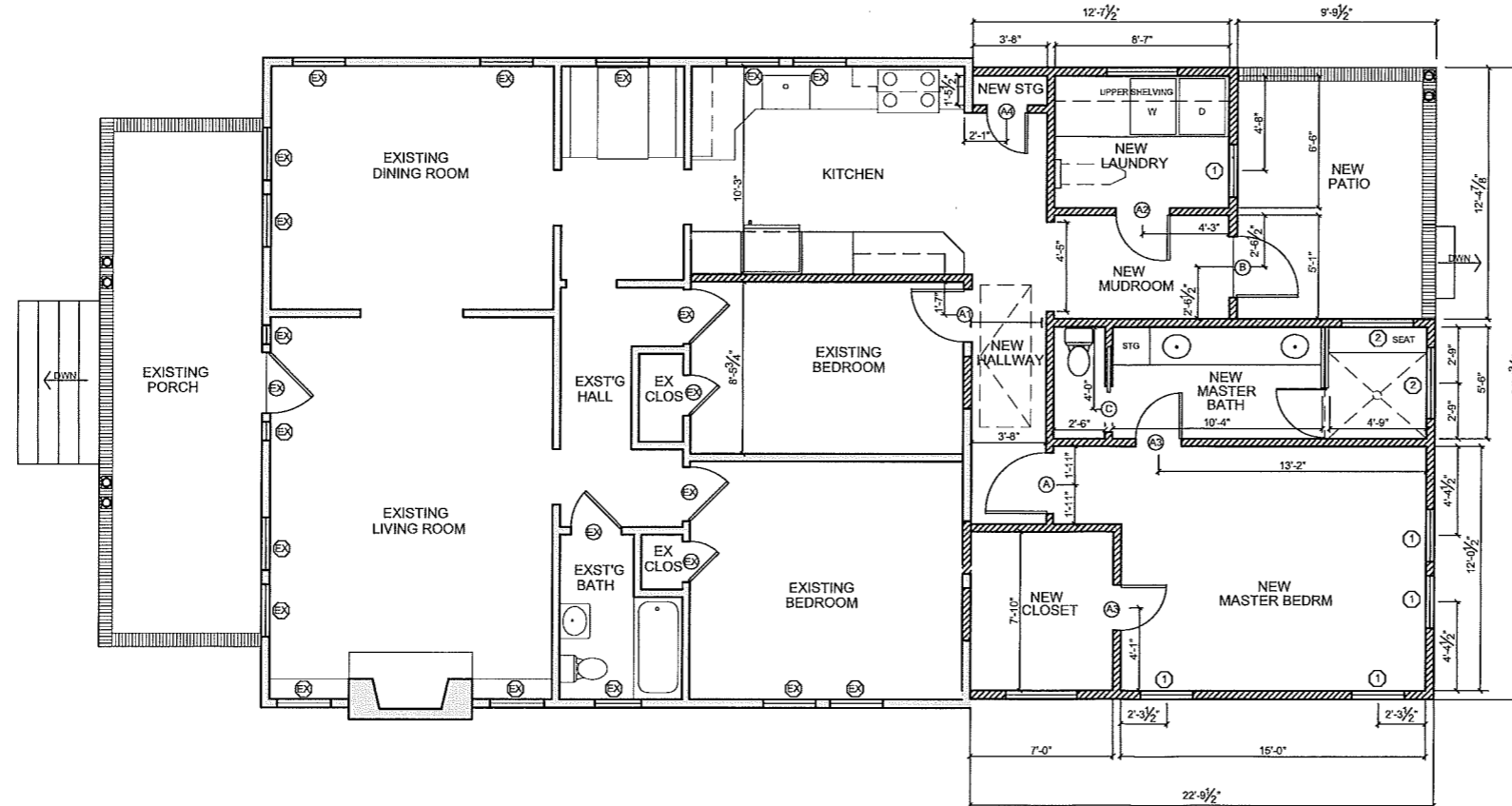
2016-086



- DEMOLITION
- EXISTING WALLS
- NEW CONSTRUCTION

DEMOLITION PLAN

SCALE: 1/4"=1'-0"



NEW CONSTRUCTION

SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

1. Interior design shall match the design original to the home. This includes door and window trim, crown and base molding, flooring and hardware.

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ADDITION &
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CHARLOTTE, NC

DEMOLITION PLAN &
NEW CONSTRUCTION

project number
• 186
• date
4/11/16

scale
• 1/4"=1'-0"
drawn by
• Carolyn Cook

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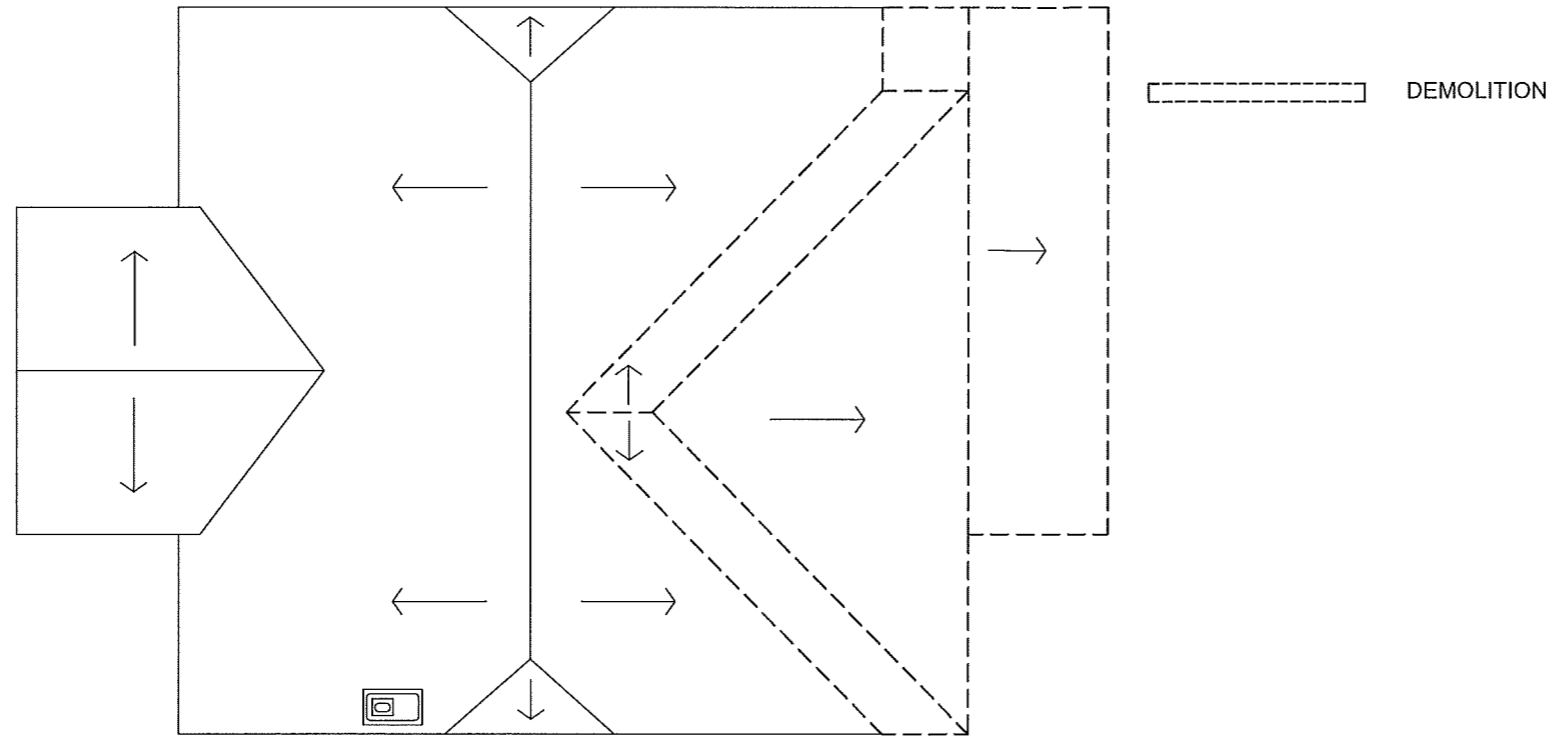
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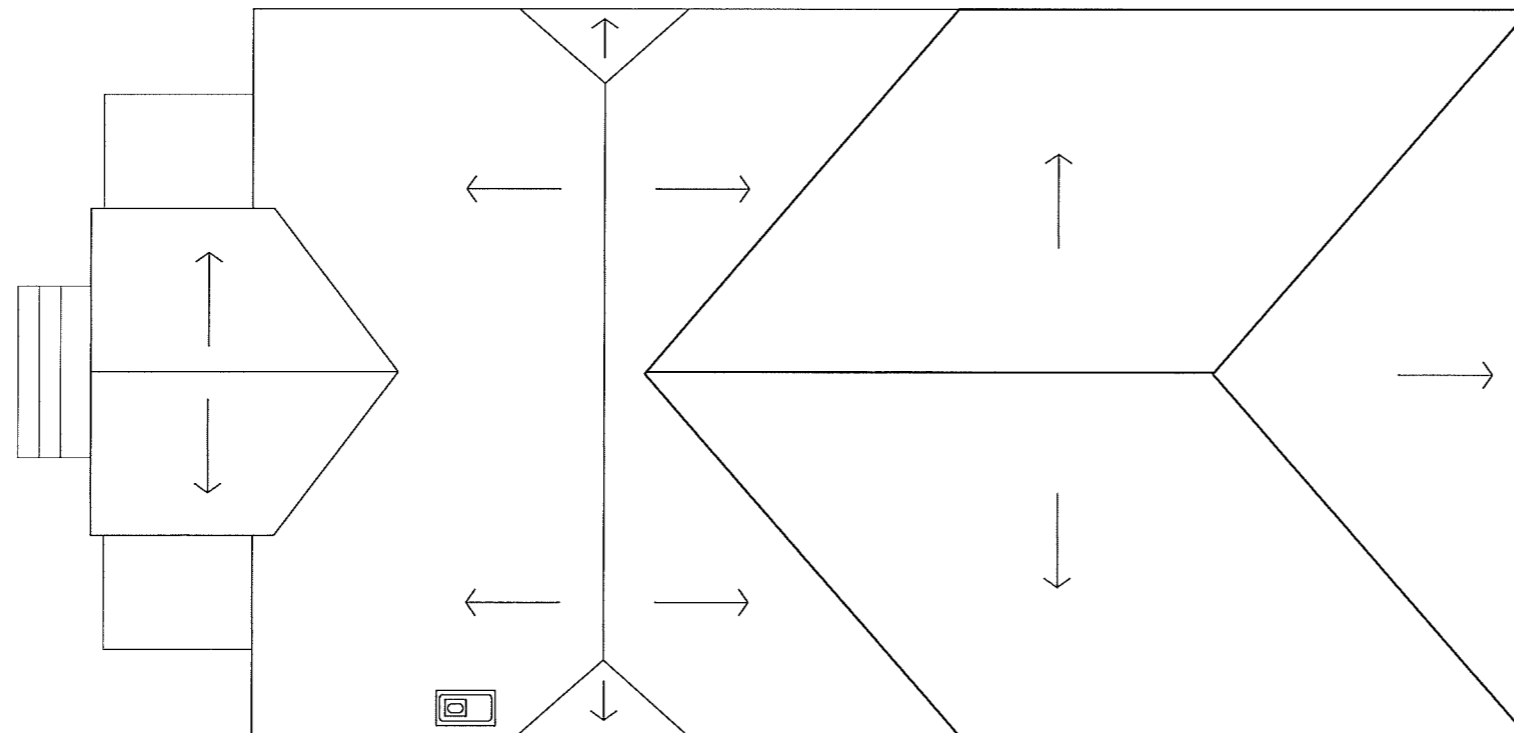
2 of 7


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 Certificate of Appropriateness
 # 2016-086



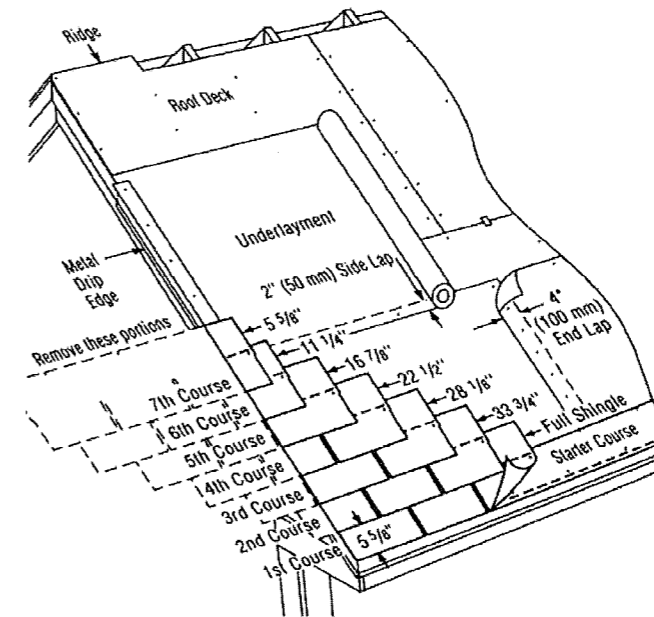
EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"



NEW ROOF PLAN

SCALE: 1/4"=1'-0"



ASPHALT ROOF DETAIL

NTS

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**JASON CLARK
RESIDENCE**

**ADDITION &
RENOVATION**

CHARLOTTE, NC

ROOF PLAN, DEMO
& NEW

project number
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• date
4/11/16

scale
• AS NOTED
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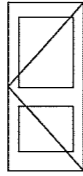
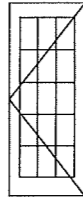
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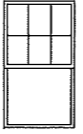
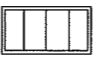
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3 of 7



2016-086

DOOR LEGEND			
Door	Room	Qty	Description
	(A) New Master Bedroom	1	Hinged, 2-Panel Wood Interior Door 36"W
	(A1) New Office	1	Hinged, 2-Panel Wood Interior Door 30"W
	(A2) New Laundry	1	Hinged, 2-Panel Wood Interior Door 32"W
	(A3) New Master Closet New Master Bathroom	1 2	Hinged, 2-Panel Wood Interior Door 27"W
	(B) New Mudroom	1	Hinged 36" x 84" Primed Wood Exterior, Painted, Tempered Glass, exposed exterior grid
	(C) New Master Bathroom	1	Pocket Door, 2-Panel Wood Interior Door 24"W
NOTE: New doors to match existing. Confirm existing door heights. Door hardware to match existing hardware original to home. Existing doors to remain, are indicated as (ex)			

WINDOW LEGEND			
Window	Room	Qty	Description
	(1) New Laundry	1	Double-Hung, 6 over 1 pre-primed wood w/ exposed exterior grid to match original home construction. Window hardware will match exst'g. 2'-7" x 5'-0"
	(1) New Master Bedroom	4	
	(2) New Master Bathroom	4	Transom Window, 4 lites, fixed, w/ exposed exterior grid to match original home construction, window hardware will match exst'g, frosted privacy glass, 3'-6"w X 1'-9"h
NOTE: Double-hung windows to match existing. Existing windows to remain, are indicated as (ex)			

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ADDITION &
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CHARLOTTE, NC

DOOR & WINDOW
SCHEDULES

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• date
4/11/16

scale
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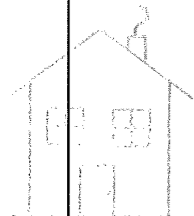
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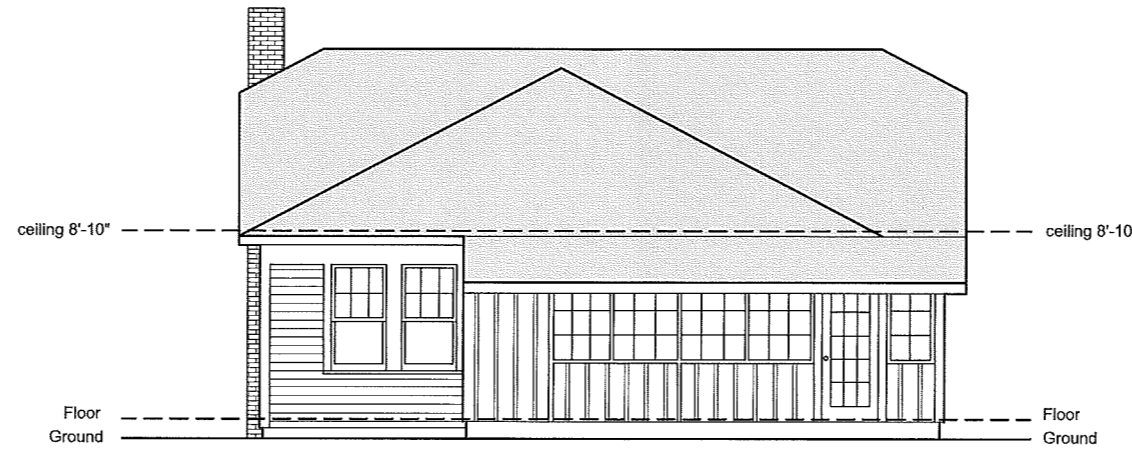
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4 of 7


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DRIVEWAY SIDE ELEVATION, EXST'G

SCALE: 1/4"=1'-0"



REAR ELEVATION, EXST'G

SCALE: 1/4"=1'-0"



SIDE ELEVATION, EXST'G

SCALE: 1/4"=1'-0"

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**JASON CLARK
 RESIDENCE**

**ADDITION &
 RENOVATION**

CHARLOTTE, NC

EXTERIOR ELEVATIONS
 EXISTING

project number
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 • date
 4/11/16

scale
 • 1/4"=1'-0"
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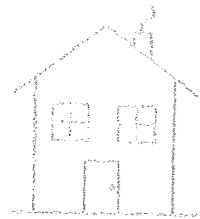
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5 of 7

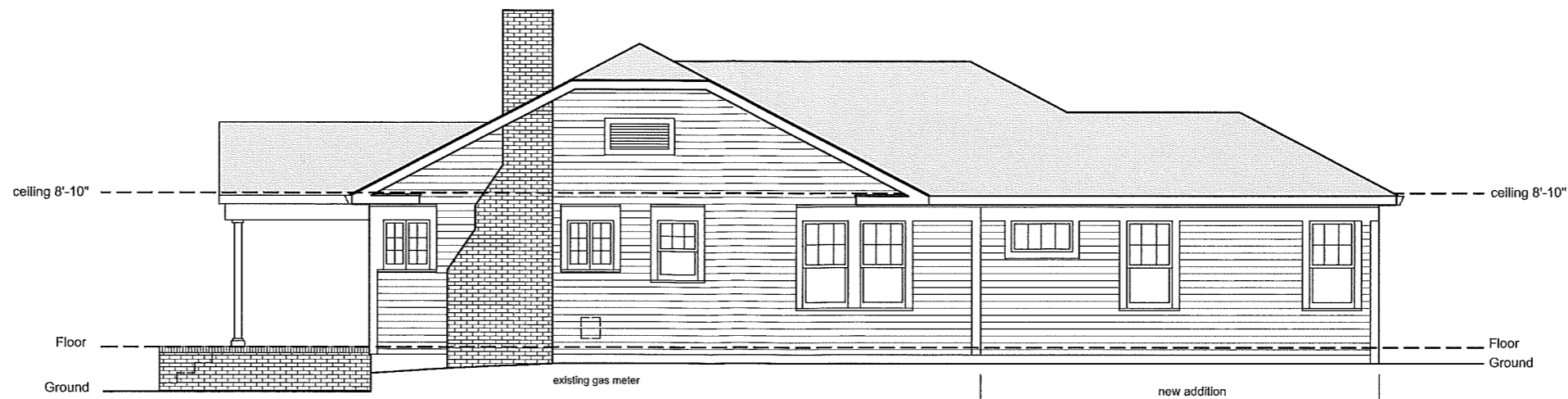


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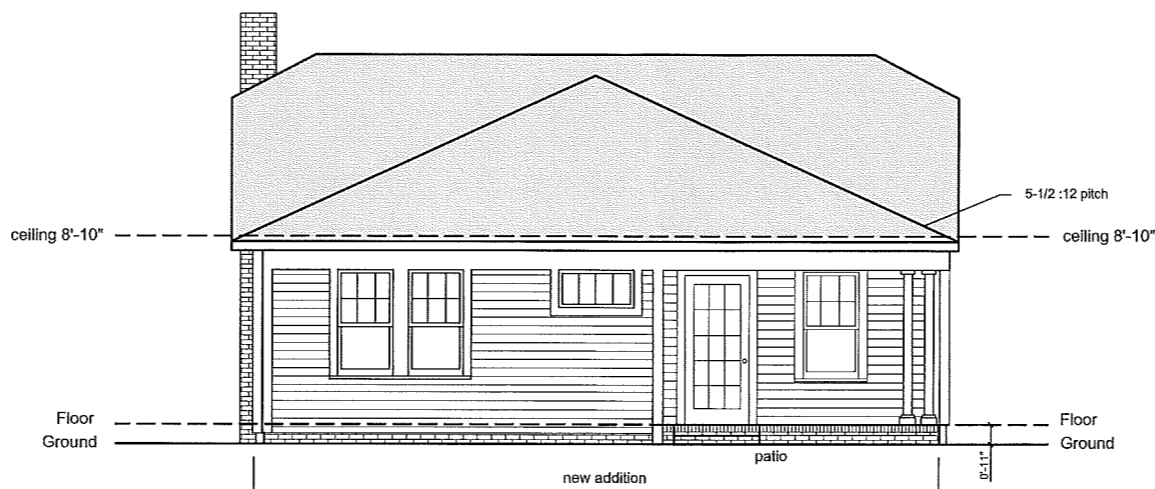
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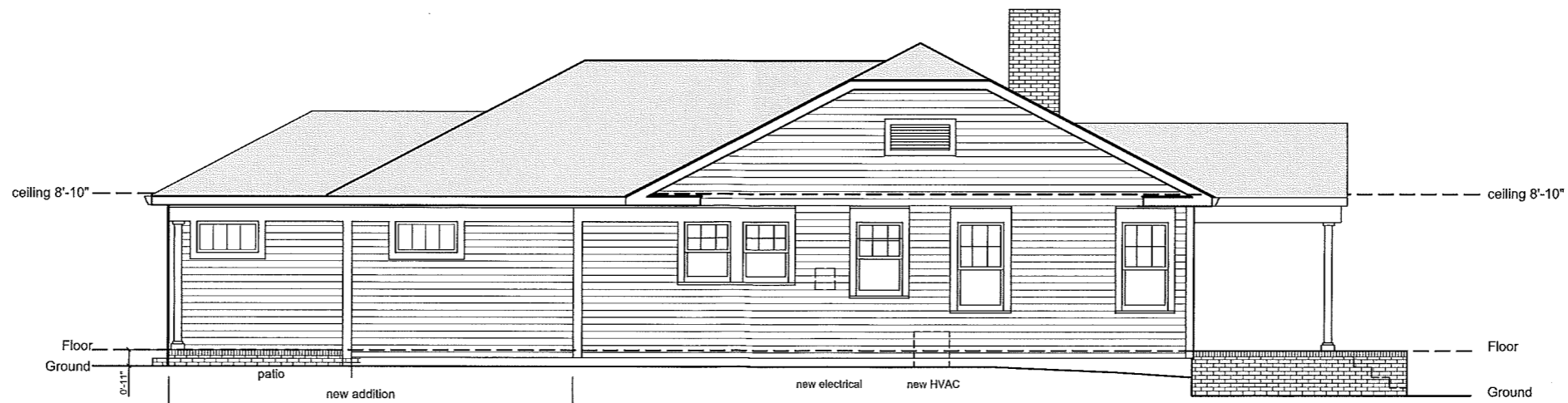
DRIVEWAY SIDE ELEVATION, NEW

SCALE: 1/4"=1'-0"



REAR ELEVATION, NEW

SCALE: 1/4"=1'-0"



SIDE ELEVATION, NEW

SCALE: 1/4"=1'-0"

NOTES

1. Windows and doors shall be trimmed to match original home.
2. Siding and cornerboard shall be matched to original home in style and dimension.
3. Soffit shall be open style.
4. Roof shall be matched to original home in style, material and color.
5. New electrical and new HVAC shall be located where existing is located utilizing natural shrub screening. New shrub screening shall be added if necessary to eliminate appliance visibility from the road.

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EXTERIOR ELEVATIONS
NEW

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sheet number

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6 of 7