



**CHARLOTTE HISTORIC DISTRICT COMMISSION  
CERTIFICATE OF APPROPRIATENESS**

**CERTIFICATE NUMBER:** 2016-081

**DATE:** 21 April 2016

**ADDRESS OF PROPERTY:** 2421 Charlotte Drive

**HISTORIC DISTRICT:** Fourth Ward

**TAX PARCEL NUMBER:** 12112602

**OWNER(S):** William W. and Kathryn D. Kohler

**DETAILS OF APPROVED PROJECT:** The project is a replacement deck in the rear of the property attached to the principal dwelling. The new deck will be 10' x 14' and will match the existing deck in size, location, and materials. The primary material will be treated wood, including the stick-built square lattice underpinning. The metal handrail will be comprised 1 x 1 pickets that die into a horizontal rail at the top and bottom, see attached exhibit labeled 'Rail Design – April 2016'. The deck will be covered with a shed roof, supported by four 8x8 square columns trimmed out on the top and bottom. The porch ceiling will be 1x6 tongue and groove beadboard. Roof shingles to match existing on house. On the left elevation, the deck will be enclosed with vertical boards and topped by two-feet of stick-built lattice, trimmed out on all sides. The porch columns, roof, trim and privacy wall will either be painted or stained. See attached exhibits labeled, "Rear and Left Elevations – April 2016," and 'Deck Floorplan – April 2016.'

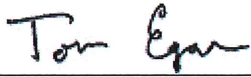
1. Applicable Policy & Design Guidelines and Approval Authority – Projects Eligible for Administrative Approval, page 23: Work in rear yards.
2. The applicable Policy & Design Guidelines for additions have been met.

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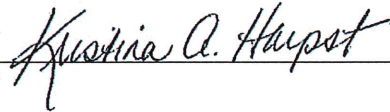
21 April 2016

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance .



Chairman



Staff



APPROVAL

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Commission

Certificate of Appropriateness

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\* FRONT ELEVATION

\* SIDE ELEVATION

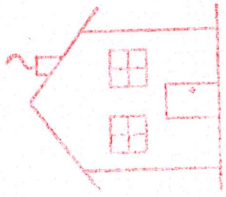
- 8' FT TALL PRIVACY WALL WITH DECK BOARDS RUN VERTICALLY ON LOWER LOFT AND SOUNE HOLE PRIVACY LATTICE ON UPPER 2FT SECTION

Rear + Left Elevations - April 2016



*Rail Design April 2016*





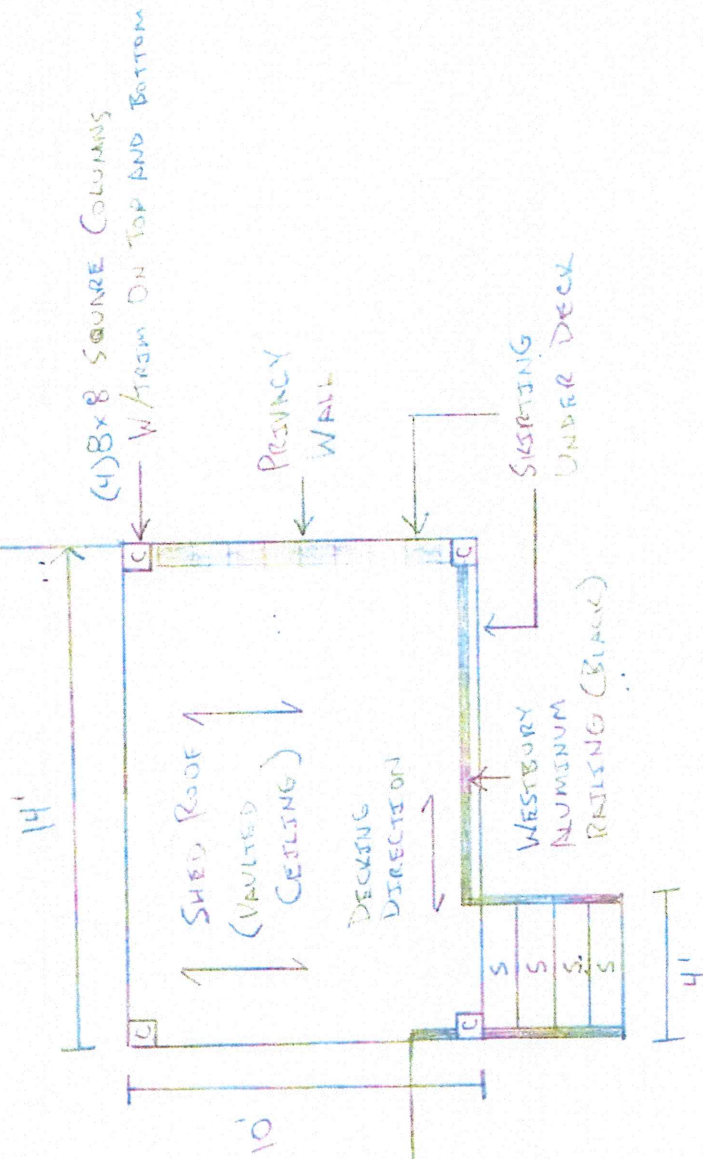
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Deck Floorplan - April 2016



#### NOTES:

- PREMIUM ADT PRESSURE TREATED PINE DECKING FOR FLOOR AND SKIRT
- CEILING TO BE 1x6 TONGUE AND GROOVE GRADED PINE
- SHINGLES TO MATCH HOUSE AS CLOSE AS POSSIBLE
- PAINT COLOR CONSISTENT WITH HOUSE