



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - Amended

CERTIFICATE NUMBER: 2016-066

DATE: February 14, 2017

ADDRESS OF PROPERTY: 1922 Lennox Avenue

TAX PARCEL NUMBER: 12108608

HISTORIC DISTRICT: Dilworth

OWNER(S): Cameron Herrera

DETAILS OF APPROVED PROJECT: The project is a second floor addition and a detached accessory building. The proposed height is approximately 5'-4" taller than existing. Windows and doors on the rear and side elevations will be replaced. The addition includes new front and rear dormers and a new cross gable addition. New materials, roof details and trim will match existing. The one story accessory building retains architectural details of the house.

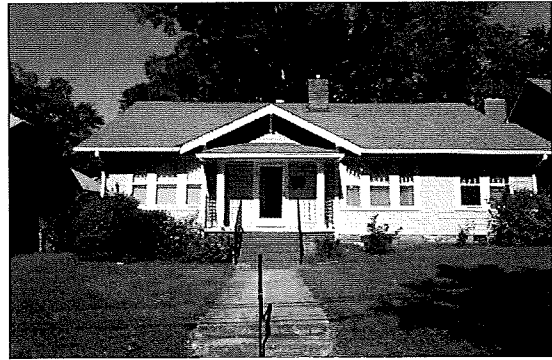
The project was approved by the HDC May 11, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

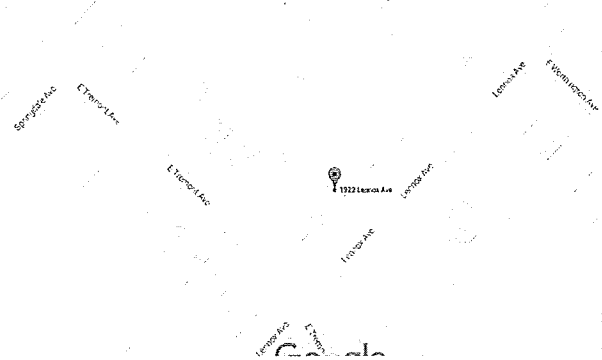
This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff



EXISTING HOUSE



VICINITY MAP



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2016-066

NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

INDEX OF DRAWINGS

- A-0 Cover Sheet
- A-1 Site Plan
- A-2 Street Height Survey
- A-3 Streetscape Images
- A-4 Subject House Images
- A-5 Existing Foundation Plan
- A-6 Existing First Floor Plan
- A-7 Existing Roof Plan
- A-8 Existing Elevations
- A-9 Existing Elevations
- A-10 Proposed Foundation Plan
- A-11 Proposed First Floor Plan
- A-12 Proposed Second Floor Plan
- A-13 Proposed Roof Plan
- A-14 Proposed Elevations
- A-15 Proposed Elevations
- A-16 Comparison of Elevations
- A-17 Sections and Details
- A-18 Proposed Accessory Structure Plans
- A-19 Proposed Accessory Structure Elevations

SQUARE FOOTAGE CALCULATIONS

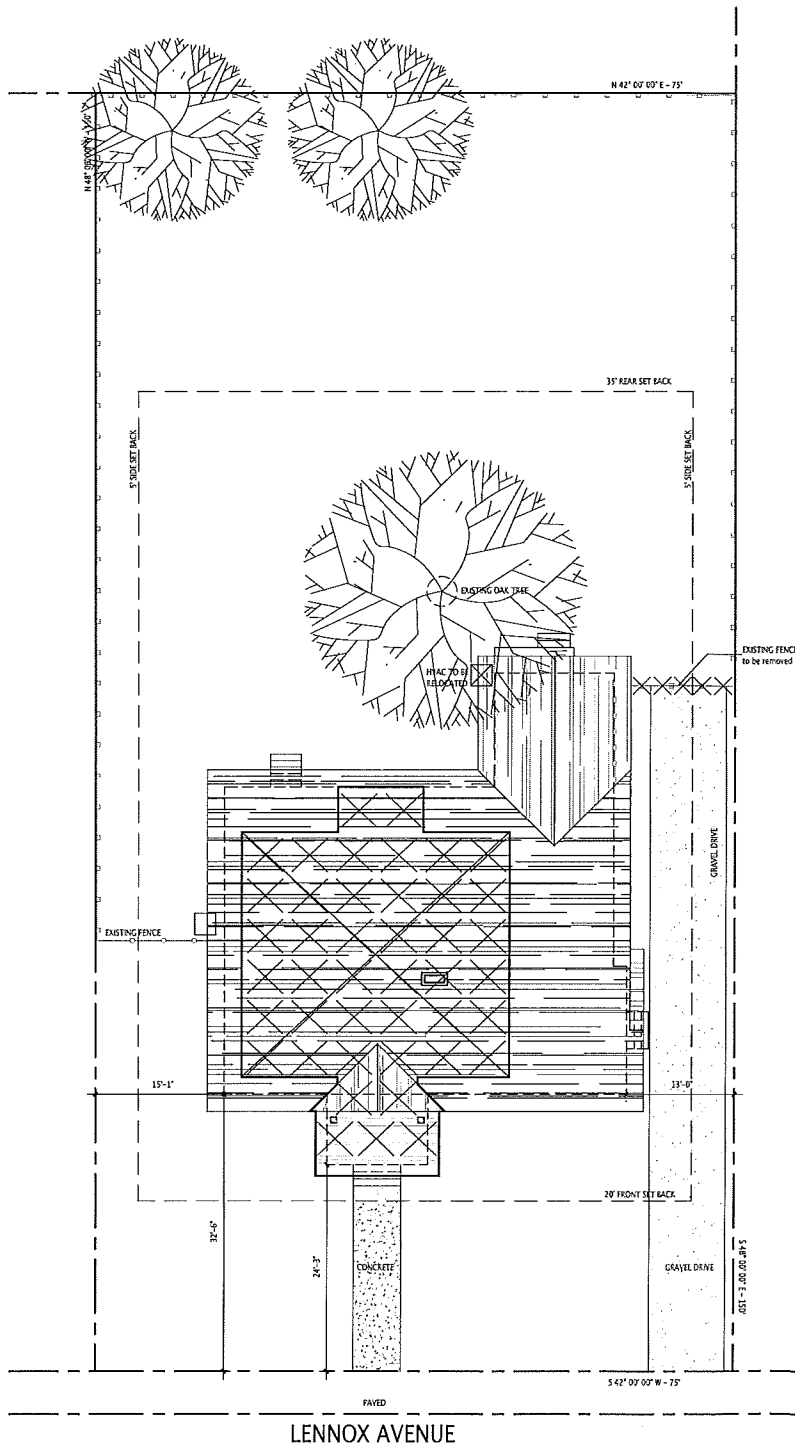
	Heated	Unheated
Existing First Floor:	1,854 S.F.	
	+	+
Proposed First Floor:	37 S.F.	538 S.F.
Proposed Second Floor:	1145 S.F.	0 S.F.
Total:	3,036 S.F.	538 S.F.
Total Under Roof:	3,574 S.F.	
	+	+
Accessory Structure:	616 S.F.	28 S.F.
Accessory Structure: (Loft)	290 S.F.	
Total Under Roof:	4,508 S.F.	

ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595
E-mail:
brooks.alb@icloud.com
lauerarch@aol.com

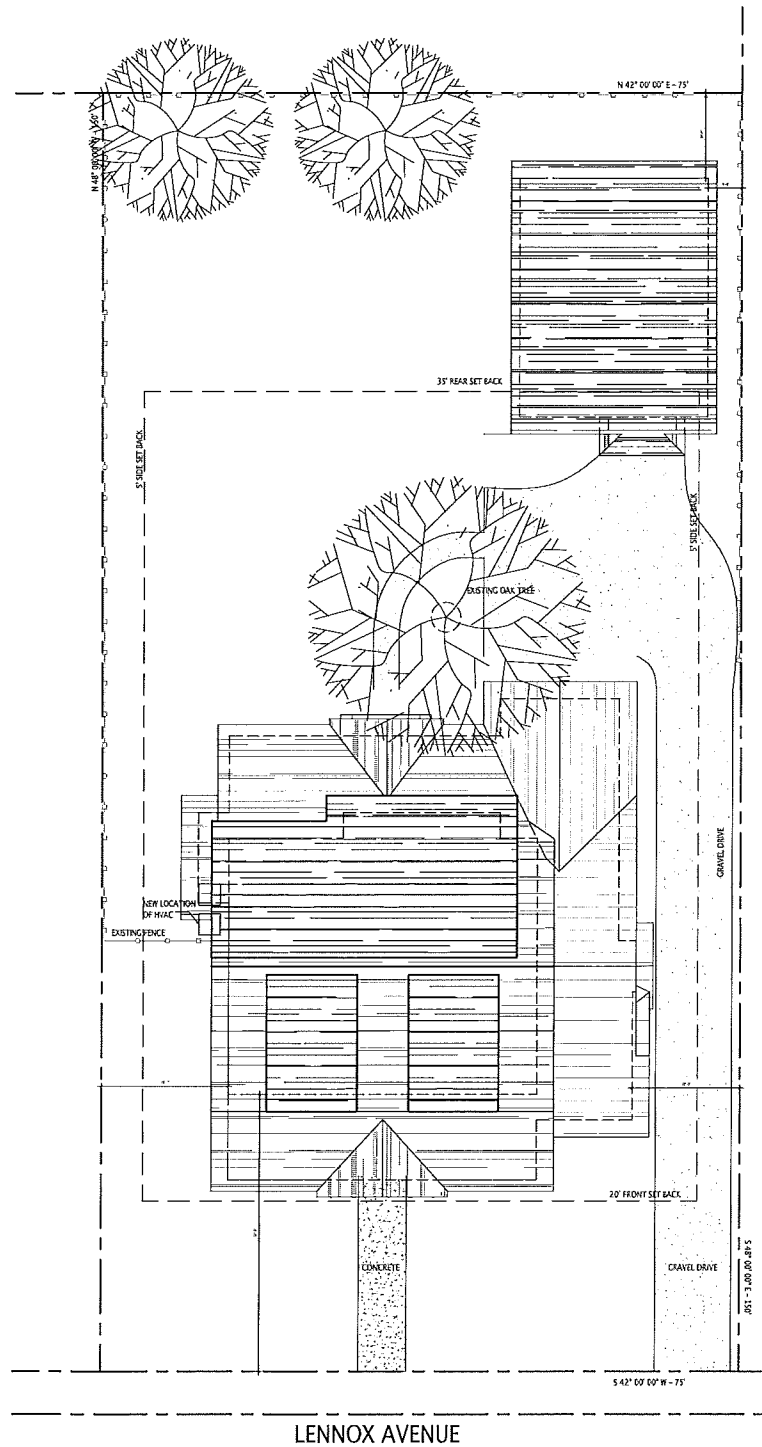
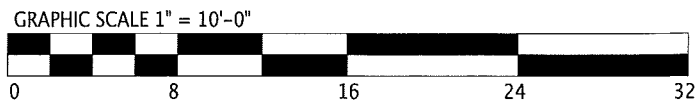
This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

Designed Exclusively for the:
HERRERA RESIDENCE
1922 Lennox, Charlotte - NC , 28203

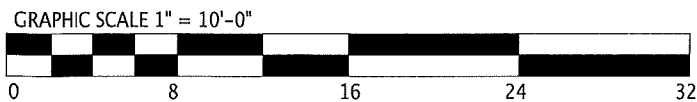
RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA	37
TOTAL PROPOSED HEATED AREA OF ACCESSORY STRUCTURE	616
PROPOSED UNHEATED	
DECK	538
UNHEATED GARAGE	0
POOL	0
PATIO	0
SHOP	0
TOTAL	538
REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	5,103
CONCRETE DRIVE	638
ACCESSORY FOOTPRINT	616
IMPERVIOUS AREA AT REAR YARD	
TOTAL AREA	1,254
TOTAL PERMEABLE AREA	75%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE	11,250
FOOTPRINT OF HOUSE	
FOOTPRINT OF ACCESSORY STRUCTURE	616
TOTAL AREA	616
PERCENTAGE OF OPEN SPACE	95%



② EXISTING SITE PLAN
1" = 10'-0"

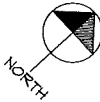


① PROPOSED SITE PLAN
1" = 10'-0"



NOTE:

1. FINISH GRADE TO BE CO - ORDINATED BY THE SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY THE SURVEYOR.
3. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
5. PROPOSED FACE OF STUD TO ALIGN WITH THAT OF THE EXISTING STUD
6. PROPOSED FACE OF BRICK VENEER TO ALIGN WITH THAT OF THE EXISTING BRICK VENEER
7. ALL EAVES OVERHANG TO BE 2'-0" U.N.O
8. ALL CASED OPENINGS TO ALIGN WITH DOORS U.N.O.
9. ALL PORCH CEILINGS TO BE FINISHED WITH 'V' GROOVE BEAD BOARD.



XXXXX AREAS TO BE REMOVED



A.B. Architecture, P.A.
 ALE Architecture
 1200 E. Morehead St.
 Suite 240
 Charlotte, NC 28204
 Phone: 704.503.9595
 E-mail:
 brooks.alb@icloud.com
 lauerarch@aol.com

ALLEN L. BROOKS
 PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 5683
 04 MAY 2016

A.B. Architecture, P.A.
 Registered Professional Architect
 License No. 51533
 North Carolina
 04 MAY 2016

This drawing and the design shown is the property of A.B. Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

Designed Exclusively for the:
HERRERA RESIDENCE
 1922 Lennox, Charlotte - NC, 28203

PROJ. NO. - 15064

ISSUED - 04 MAY 2016

REVISIONS -

EXISTING & PROPOSED SITE PLANS

A-1

OF: TWENTY

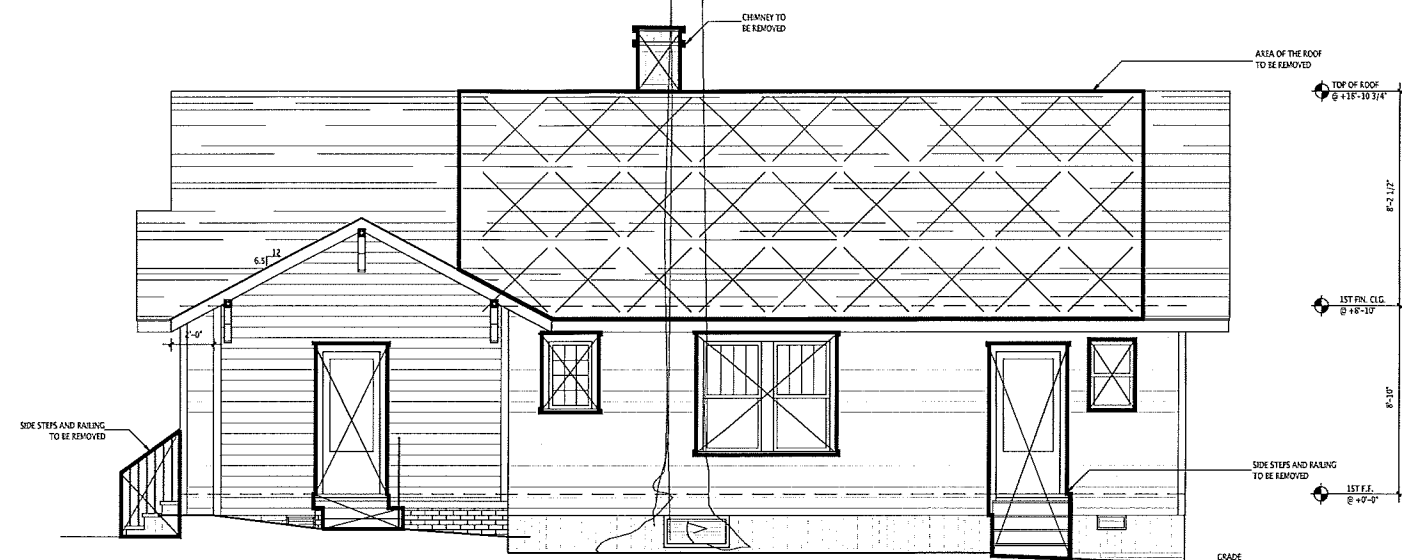


APPROVED

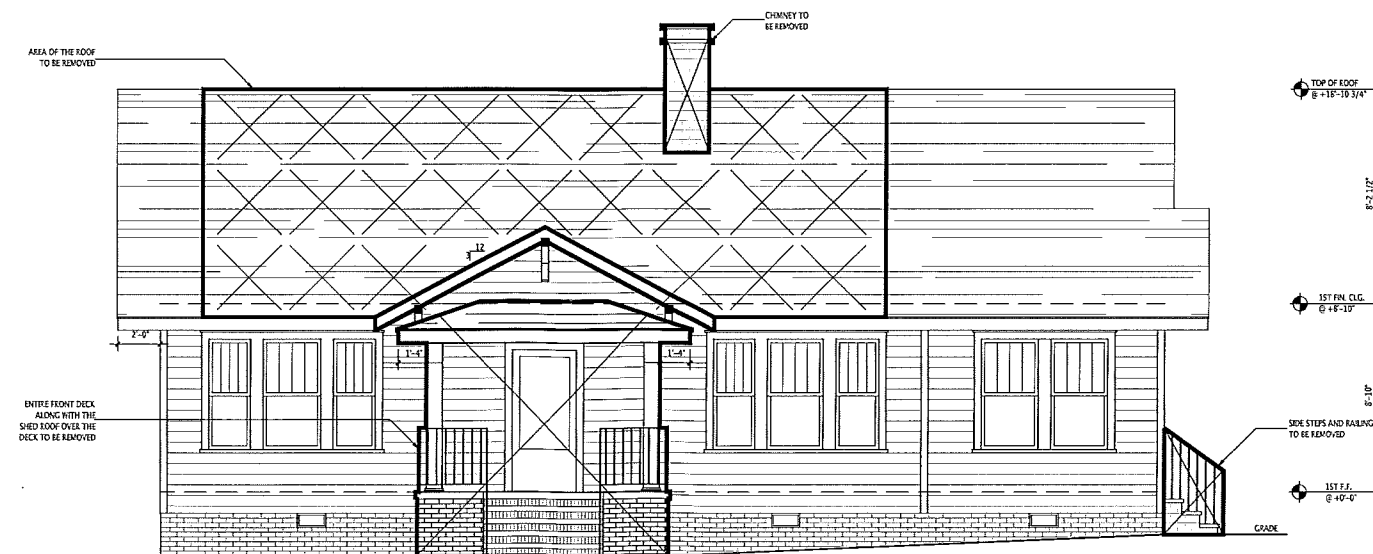
Charlotte
Historic District
Commission

Certificate of Appropriateness

2016-066



② EXISTING REAR ELEVATION
1/4" = 1'-0"



① EXISTING FRONT ELEVATION
1/4" = 1'-0"

NOTE:

1. FINISH GRADE TO BE CO - ORDINATED BY THE SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY THE SURVEYOR.
3. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
5. PROPOSED FACE OF STUD TO ALIGN WITH THAT OF THE EXISTING STUD
6. PROPOSED FACE OF BRICK VENEER TO ALIGN WITH THAT OF THE EXISTING BRICK VENEER
7. ALL EAVES OVERHANG TO BE 2'-0" U.N.O.
8. ALL CASED OPENINGS TO ALIGN WITH DOORS U.N.O.
9. ALL PORCH CEILINGS TO BE FINISHED WITH 'V' GROOVE BEAD BOARD.



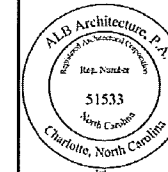
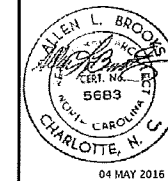
XXXXX TO BE REMOVED



ALB Architecture, PA

ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@icloud.com
lauerarch@aol.com



This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

04 MAY 2016

Designed Exclusively for the:

HERRERA RESIDENCE

1922 Lennox, Charlotte - NC, 28203

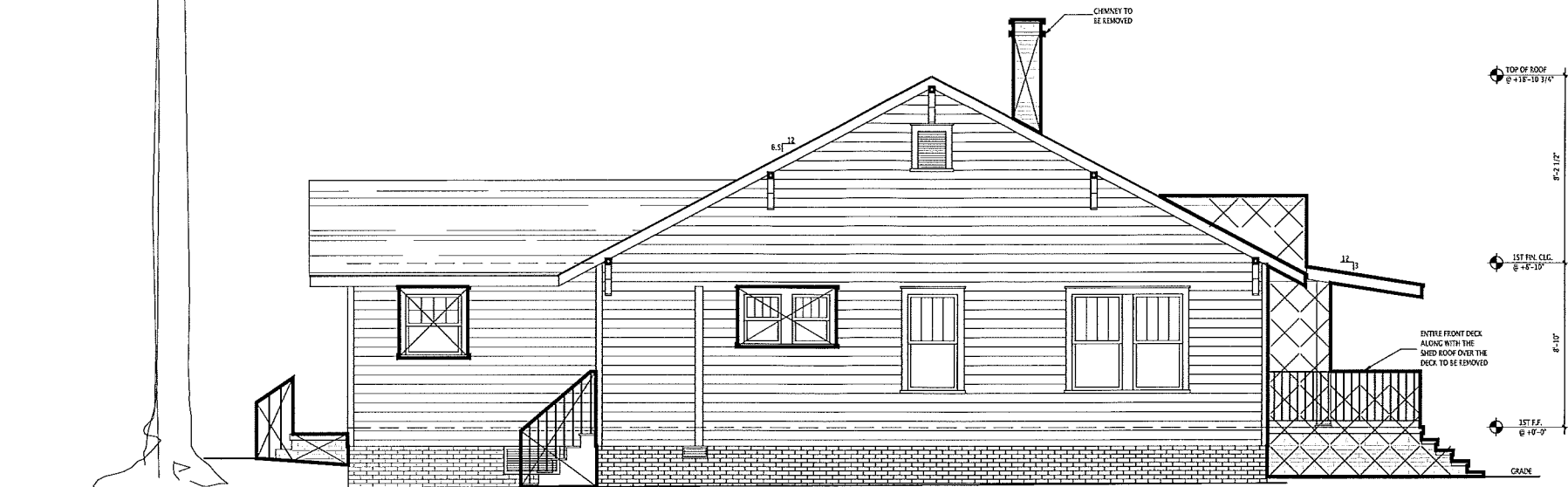
PROJ. NO. - 15064
ISSUED - 04 MAY 2016
REVISIONS -

EXISTING FRONT AND REAR
ELEVATIONS

A- 8

OF: TWENTY

APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2016-066



② EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



① EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"

NOTE:

1. FINISH GRADE TO BE CO - ORDINATED BY THE SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY THE SURVEYOR.
3. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
5. PROPOSED FACE OF STUD TO ALIGN WITH THAT OF THE EXISTING STUD
6. PROPOSED FACE OF BRICK VENEER TO ALIGN WITH THAT OF THE EXISTING BRICK VENEER
7. ALL EAVES OVERHANG TO BE 2'-0" U.N.O
8. ALL CASED OPENINGS TO ALIGN WITH DOORS U.N.O.
9. ALL PORCH CEILINGS TO BE FINISHED WITH 'V' GROOVE BEAD BOARD.

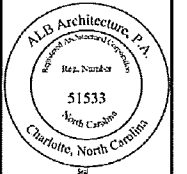
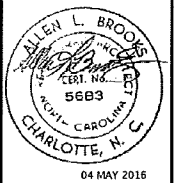


XXXX TO BE REMOVED



ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@cloud.com
lauerarch@aol.com



This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© ALB-2016

Designed Exclusively for the:

HERRERA RESIDENCE

1922 Lennox, Charlotte - NC , 28203

PROJ. NO. - 15064
ISSUED - 04 MAY 2016
REVISIONS -

EXISTING RIGHT AND LEFT
SIDE ELEVATIONS

A-9

OF: TWENTY



NOTE: MATCH TRIM DETAILS W/ WOOD Drip CAP (W/ FLASHING) & BACK BAND TRIM W/ HANDLES.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MUNTIN PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.

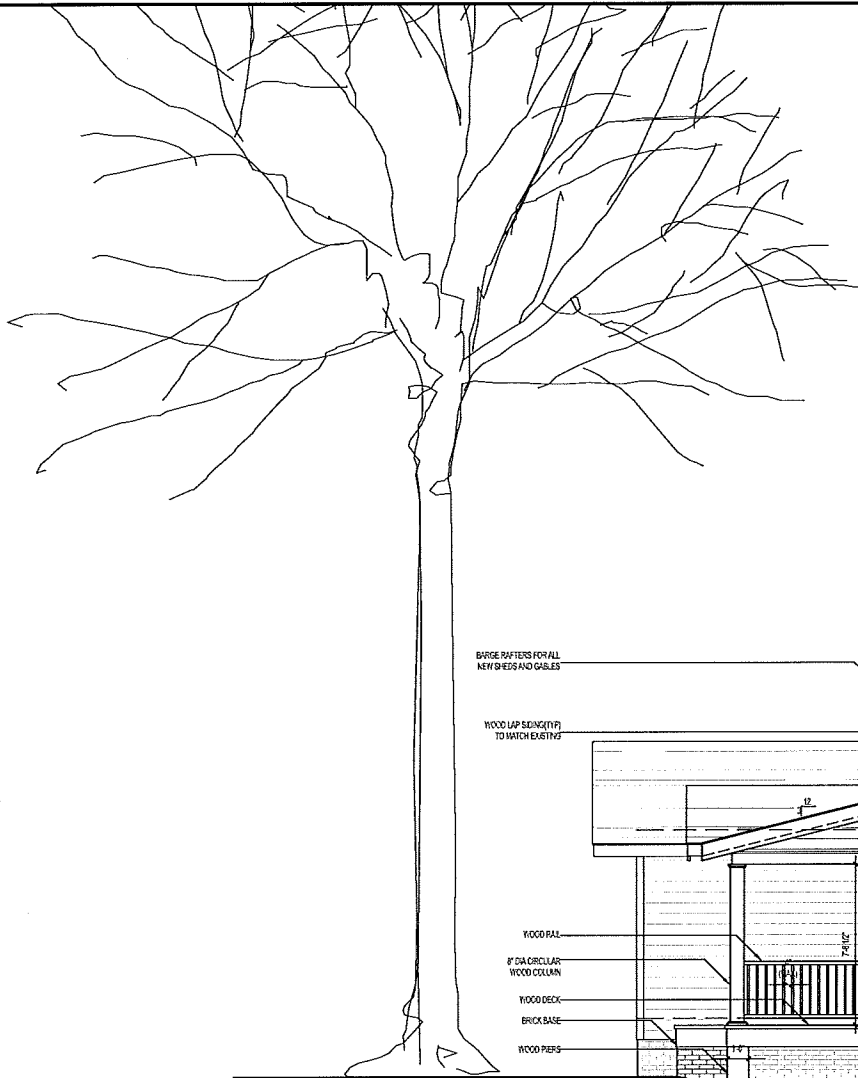
* N.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 15' A.F.F. MUST BE TEMPERED PER CODE (IMP.)

E-mail:
brooks.alb@icloud.com
lauerarch@aol.com

● **අනුමතය**

OF: TWENTY ONE



② PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



① PROPOSED REAR ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	3'-0" X 5'-2"	MATCH EX/STAG	DOUBLE HUNG
B	2'-0" X 3'-0"	7'-2" (1ST FLR) 6'-0" (2ND FLR)	DOUBLE HUNG
C	2'-0" X 3'-0"	BATHROOM 7'-0" (2ND FLR) 6'-0" (3RD FLR)	DOUBLE HUNG
D	2'-0" X 3'-0"	7'-0"	DOUBLE HUNG
E	2'-0" X 3'-0"	7'-0" (2ND FLR - BR - 1) 6'-0" (2ND FLR - BR - 3)	DOUBLE HUNG

NOTE: MATCH TRIM DETAILS W/ WOOD DR P CAP (W/ FLASHING) & BACK BAYD TRIM & WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

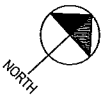
NOTE: MATCH EX/STAG WINDOW & DOOR PFG. - INSTALL WITH DR P CAP AND FLASHING - SEE ELEVATIONS FOR FINISH PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TYPED GLASS.

* N.E. = MATCH EX/STAG

NOTE: ALL WINDOWS WITH 8 S.P. OF GLASS OR MORE & LESS THAN 15' A.P.F. MUST BE TESTED PER CODE (TYP.)

NOTE:

1. FINISH GRADE TO BE CO - ORDINATED BY THE SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY THE SURVEYOR.
3. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
5. PROPOSED FACE OF STUD TO ALIGN WITH THAT OF THE EXISTING STUD
6. PROPOSED FACE OF BRICK VENEER TO ALIGN WITH THAT OF THE EXISTING BRICK VENEER
7. ALL EAVES OVERHANG TO BE 2'-0" U.N.O
8. ALL CASED OPENINGS TO ALIGN WITH DOORS U.N.O.
9. ALL PORCH CEILINGS TO BE FINISHED WITH "V" GROOVE BEAD BOARD.



ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.ab@cloud.com
lauerarch@aol.com

04 MAY 2016

Notes/Other Data Set

Set

This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. No use on any other project is prohibited. This drawing is to be returned upon request.

© License

Designed Exclusively for the:
HERRERA RESIDENCE
1922 Lennox, Charlotte - NC , 28203

PROJ. NO. - 15064
ISSUED - 04 MAR 2016
REVISIONS -

PROPOSED REAR AND
LEFT SIDE ELEVATIONS

A-15

OF: TWENTY ONE

APPROVED
Cody
Underwritten
Cody
Certificate of Appropriateness
2016-066



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

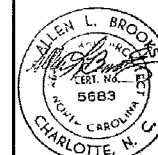
2016-066

XXXXX AREAS TO BE REMOVED

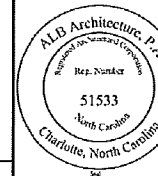


ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@icloud.com
lauearch@aol.com

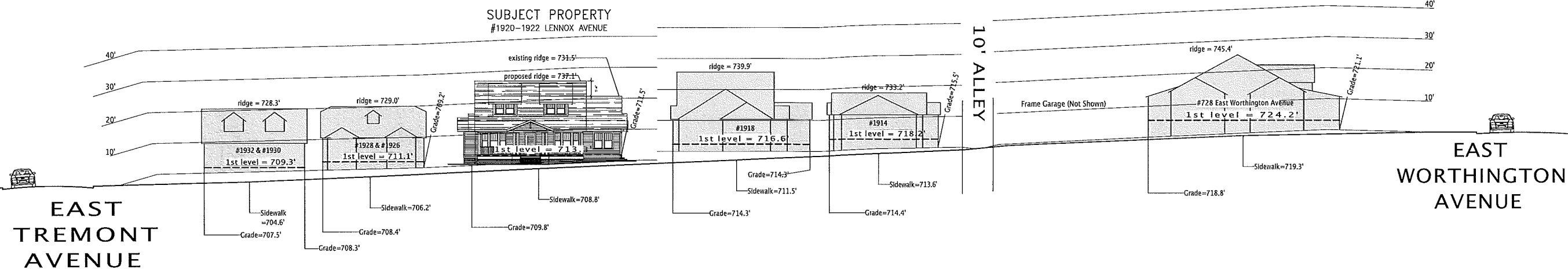


04 MAY 2016

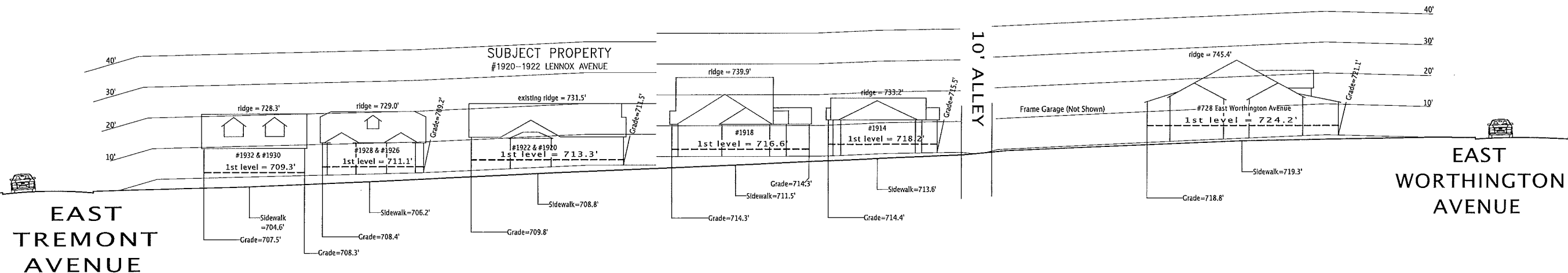


This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2016



LENNOX AVENUE



LENNOX AVENUE



Designed Exclusively for the:

HERRERA RESIDENCE

1922 Lennox, Charlotte - NC, 28203

PROJ. NO. - 15064
ISSUED - 04 MAY 2016
REVISIONS -

STREET HEIGHT SURVEY

A-2

OF: TWENTY

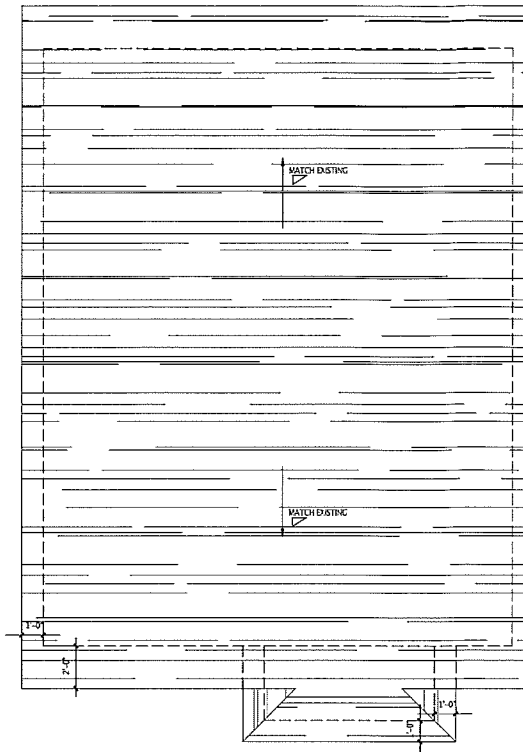


APPROVED

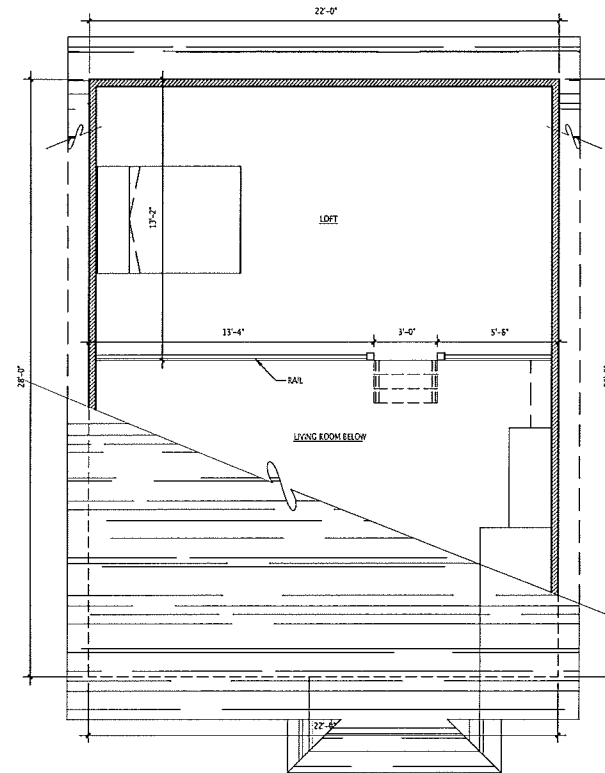
Charlotte
Historic District
Commission

Certificate of Appropriation

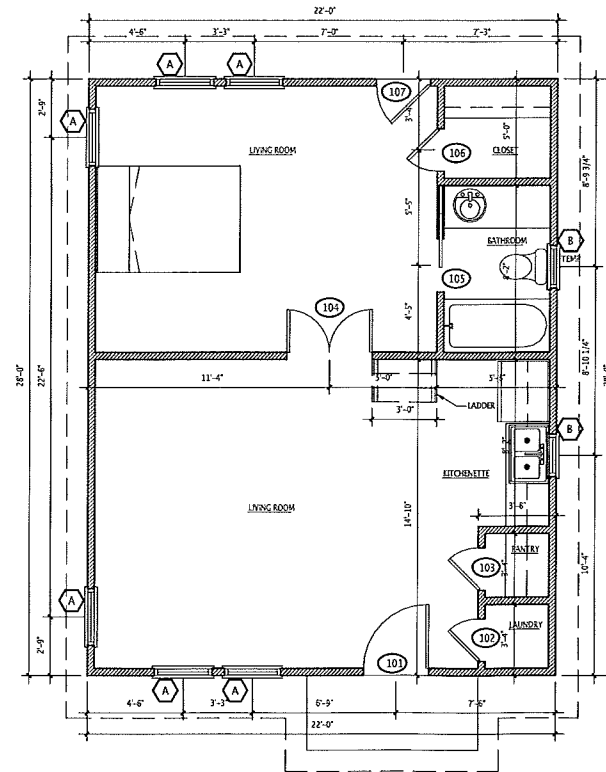
2016-066



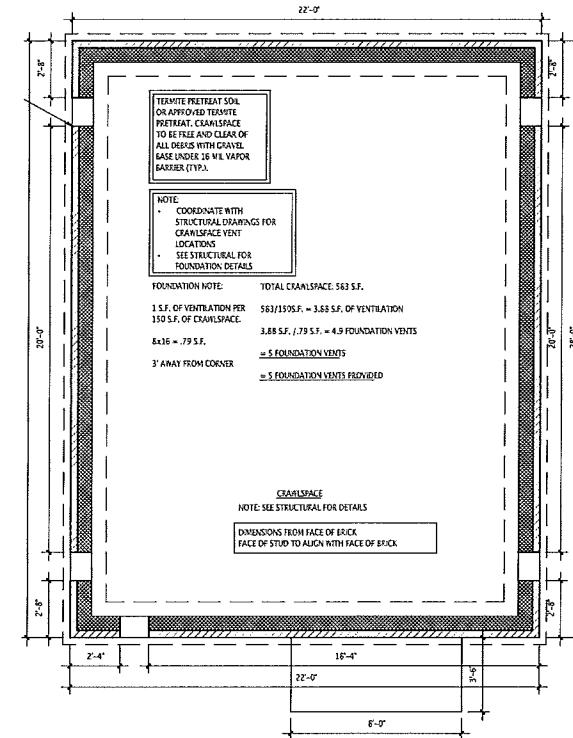
④ PROPOSED ROOF PLAN
1/4" = 1'-0"



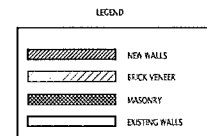
③ PROPOSED LOFT PLAN
1/4" = 1'-0"



② PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



① PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



ACCESSORY WINDOW SCHEDULE			
NO.	SIZE	HEADER HEIGHT	TYPE
101	2'-6" X 5'-0"	MATCH HOUSE	DOUBLE HUNG
102	2'-0" X 3'-0"	MATCH HOUSE	DOUBLE HUNG

NOTE: MATCH TRAIL DETAILS W/ WOOD DRIP CAP (N) FLASHING & BACK BAND TRAIL @ WINDOWS.

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUNTING PATTERN. VERIFY ANY REQUIREMENTS FOR EXCESS OR TEMPERED GLASS.

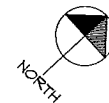
* M.E. = MATCH EXISTING

NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 14" A.F. MUST BE TEMPERED PER CODE (TYP.)

ACCESSORY DOOR SCHEDULE		
NUM.	OPENING	LOCATION
101	5'-0" X 5'-5"	LIVING ROOM
102	2'-0" X 5'-5"	LAUNDRY
103	2'-0" X 5'-5"	PANTRY
104	PR 2'-0" X 6'-5"	BEDROOM
105	2'-0" X 6'-5" DOCKET DR	BATHROOM
106	2'-0" X 6'-5"	CLOSET
107	2'-0" X 6'-5"	BEDROOM

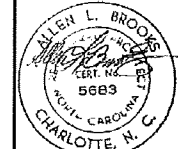
NOTE:

1. FINISH GRADE TO BE CO - ORDINATED BY THE SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY THE SURVEYOR.
3. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
5. PROPOSED FACE OF STUD TO ALIGN WITH THAT OF THE EXISTING STUD
6. PROPOSED FACE OF BRICK VENEER TO ALIGN WITH THAT OF THE EXISTING BRICK VENEER
7. ALL EAVES OVERHANG TO BE 2'-0" U.N.O.
8. ALL CASED OPENINGS TO ALIGN WITH DOORS U.N.O.
9. ALL PORCH CEILINGS TO BE FINISHED WITH 'V' GROOVE BEAD BOARD.

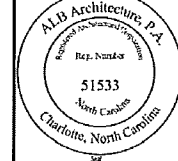


ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@icloud.com
lauerarch@aol.com



04 MAY 2016



This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© 2016 ALB

Designed Exclusively by the:

HERRERA RESIDENCE

1922 Lennox, Charlotte - NC, 28203

PROJ. NO. - 15064
ISSUED - 04 MAR 2016
REVISIONS -

PROPOSED ACCESSORY
STRUCTURE

A-18

OF: TWENTY

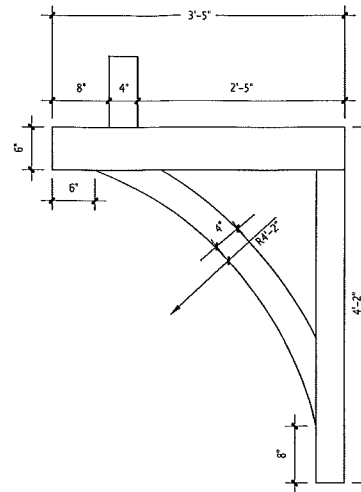


APPROVED

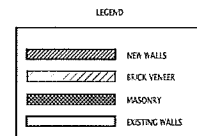
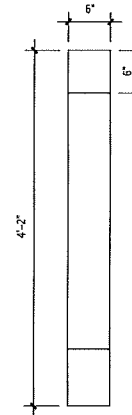
Charlotte
Historic District
Commission

Certificate of Appropriateness

2016-066

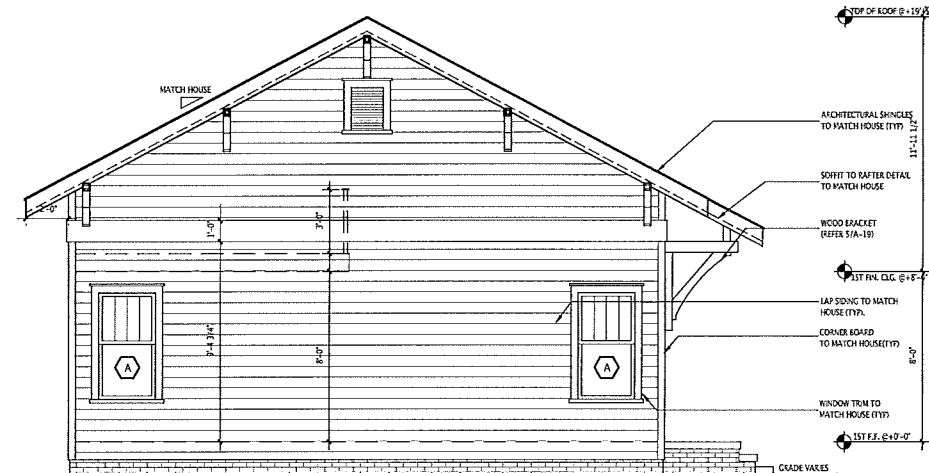


⑤ BRACKET DETAIL
1" = 1'-0"

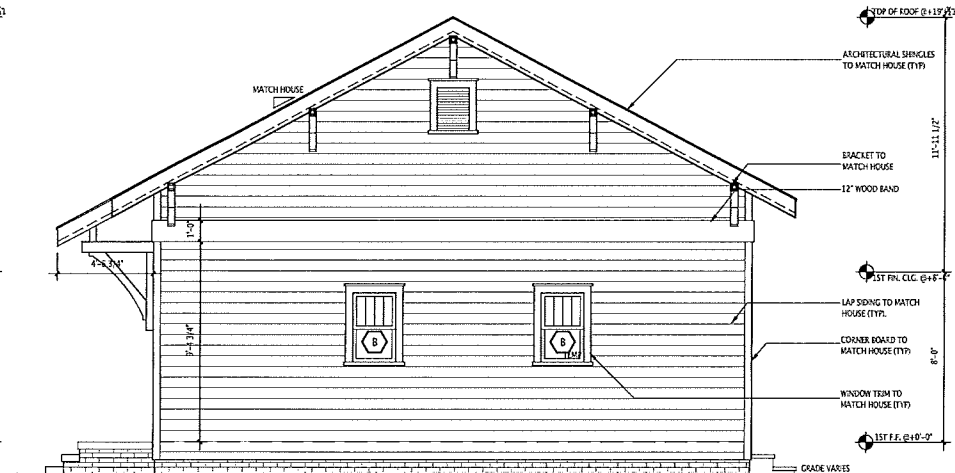


ACCESSORY WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	MATCH HOUSE	DOUBLE HUNG
B	2'-0" X 3'-2"	MATCH HOUSE	DOUBLE HUNG

NOTE: MATCH TRIM DETAILS W/ WOOD DRIP CAP (N) FLASHING & BACK BAND TRIM @ WINDOWS.
NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.
NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUNT PATTERN. VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
* M.E. = MATCH EXISTING
NOTE: ALL WINDOWS WITH 9 S.F. OF GLASS OR MORE & LESS THAN 14' A.F.F. MUST BE TEMPERED PER CODE (TYP.)



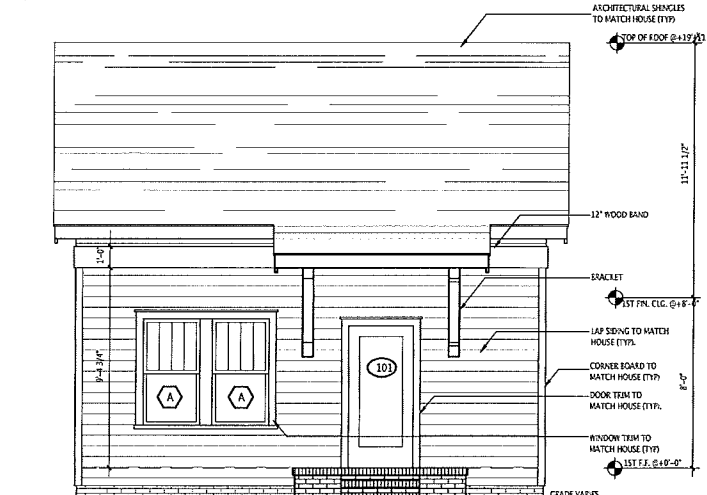
④ PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



③ PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"

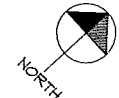


② PROPOSED REAR ELEVATION
1/4" = 1'-0"

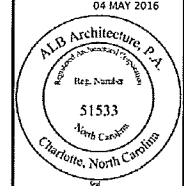


① PROPOSED FRONT ELEVATION
1/4" = 1'-0"

- NOTE:
1. FINISH GRADE TO BE CO - ORDINATED BY THE SURVEYOR.
 2. ALL BUILDING LOCATIONS TO BE VERIFIED BY THE SURVEYOR.
 3. COORDINATE CRAWLSPACE VENT LOCATIONS WITH STRUCTURAL DRAWINGS.
 4. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT & SNOW AND ICE GUARD.
 5. PROPOSED FACE OF STUD TO ALIGN WITH THAT OF THE EXISTING STUD
 6. PROPOSED FACE OF BRICK VENEER TO ALIGN WITH THAT OF THE EXISTING BRICK VENEER
 7. ALL EAVES OVERHANG TO BE 2'-0" U.N.O.
 8. ALL CASED OPENINGS TO ALIGN WITH DOORS U.N.O.
 9. ALL PORCH CEILINGS TO BE FINISHED WITH 'V' GROOVE BEAD BOARD.



ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595
E-mail:
brooks.alb@cloud.com
lauerarch@aol.com



This drawing and the design shown is the property of ALB Architecture and is not to be reproduced or copied in whole or in part. Its use on any other project is prohibited. This drawing is to be returned upon request.

© ALB Studio

Designed Exclusively for the:
HERRERA RESIDENCE
1922 Lennox, Charlotte - NC, 28203

PROJ. NO. - 15064
ISSUED - 04 MAR 2016
REVISIONS -

EXISTING & PROPOSED SITE
PLANS
A-19
OF: TWENTY