

LOCAL HISTORIC DISTRICT: Fourth Ward
PROPERTY ADDRESS: 312 West Trade Street
SUMMARY OF REQUEST: Addition
APPLICANT/OWNER: Mary E. Matthews

Details of Proposed Request

Existing Context

The existing structure is the Builders Building, a historic landmark in the Fourth Ward historic district. The building was constructed in 1926 and is currently vacant and in disrepair. A ground mounted scaffold system exists around the building on the ground level to catch debris that may fall from the building.

Proposal

The project is a new cantilevered awning/catchment system to replace the scaffolding and provide more space for pedestrian movement. The exterior is metal panels. A COA was issued by the Historic Landmarks Commission April 11, 2016.

Policy & Design Guidelines – Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

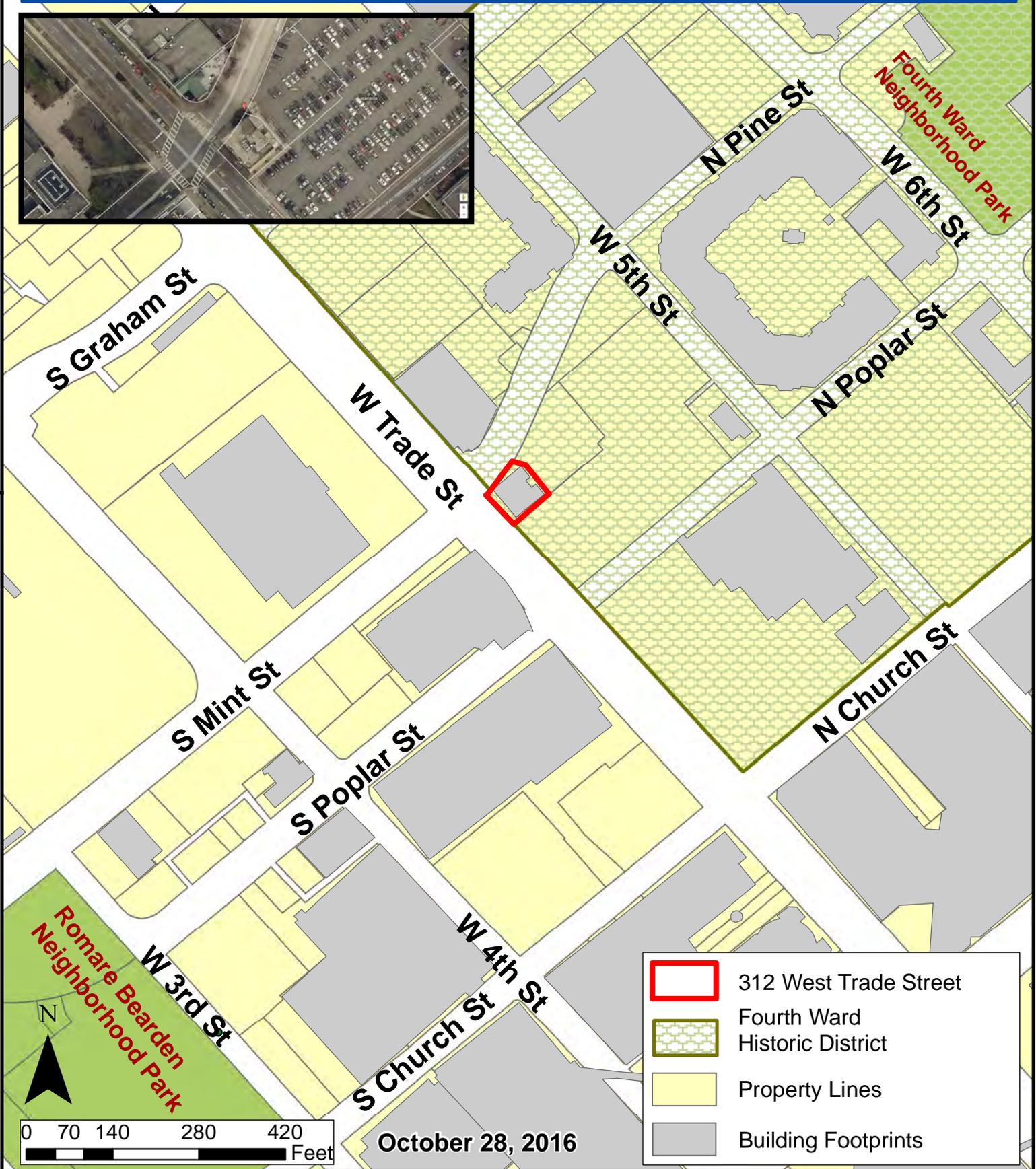
1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the proposal meets the applicable guidelines for additions.

Charlotte Historic District Commission - Case 2016-270
HISTORIC DISTRICT: FOURTH WARD
FRONT ADDITION





07805405

07801608

07805407

07801602

07801603A

07801603

07801613A

07801613B

07801613

07801608

Trade St

N Pine St

N Poplar St

W Trade St

N Poplar St

#200A

402

400

312

#100



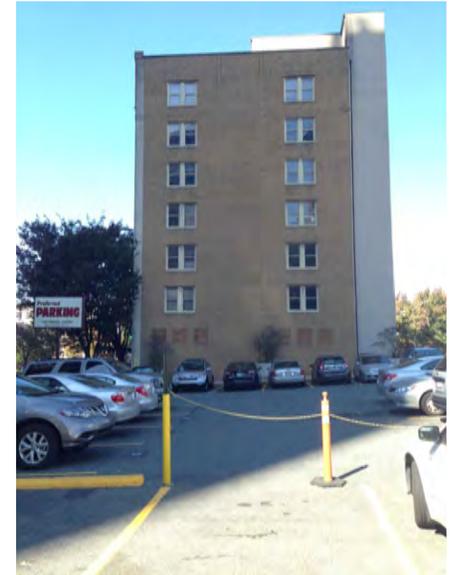
West Trade Street
(Front Elevation)



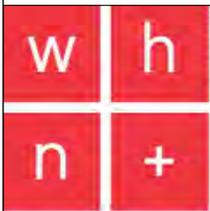
North Pine Street
(Left Elevation)



West 5th Street
(Rear Elevation)



North Poplar Street
(Left Elevation)


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EXISTING CONDITIONS
 FIRST PLAN REVIEW
 NOVEMBER 9, 2016



Trade Mark
333 W. Trade Street
Across the Trade St.



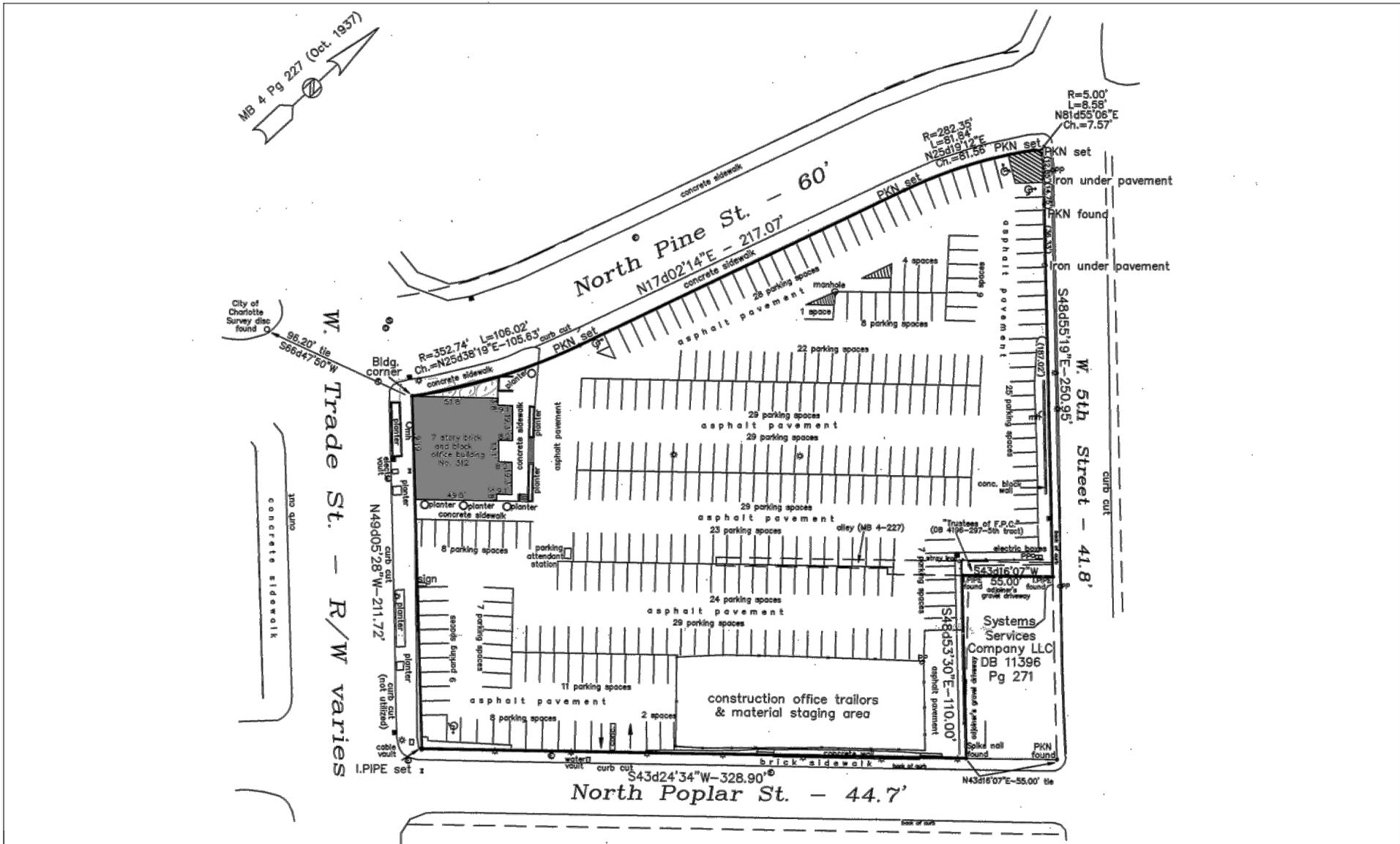
Charles R. Jonas Federal Building
401 W. Trade Street
Diagonally Across the Street



402 W. Trade St.
Across Poplar St.



129 N. Poplar
Across the parking lot behind

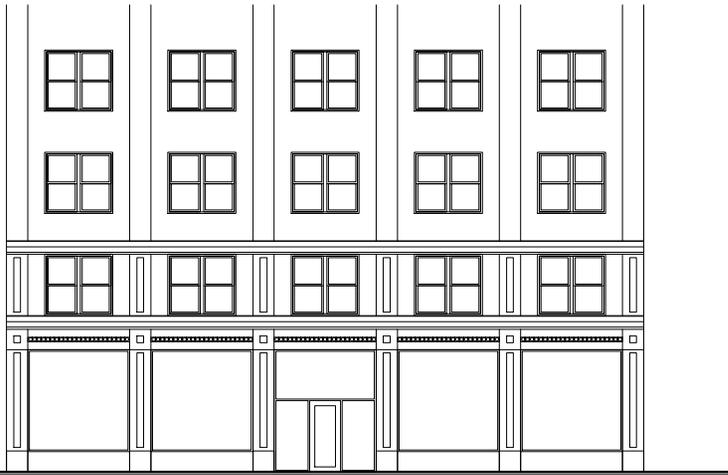


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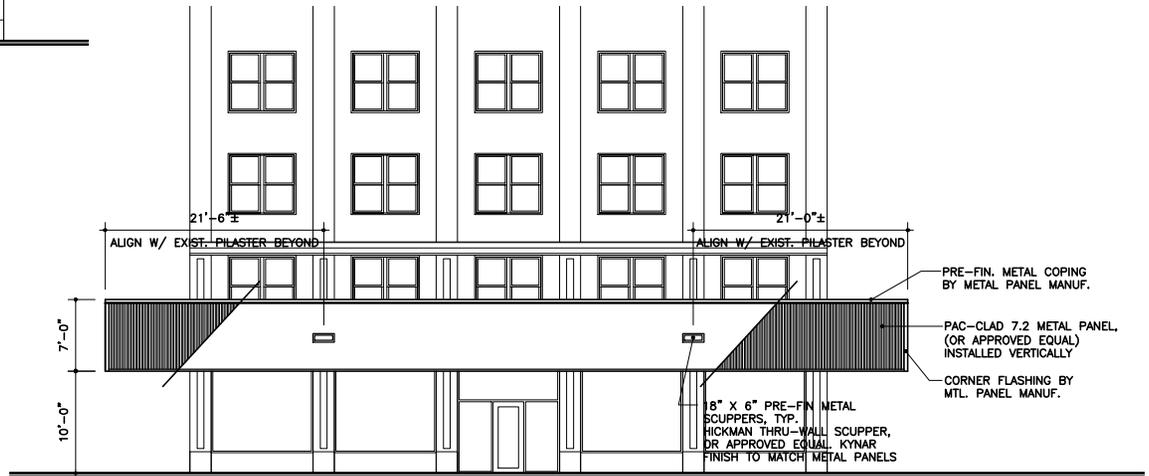
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PARTIAL SURVEY
 FIRST PLAN REVIEW
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1 EXISTING ELEVATION



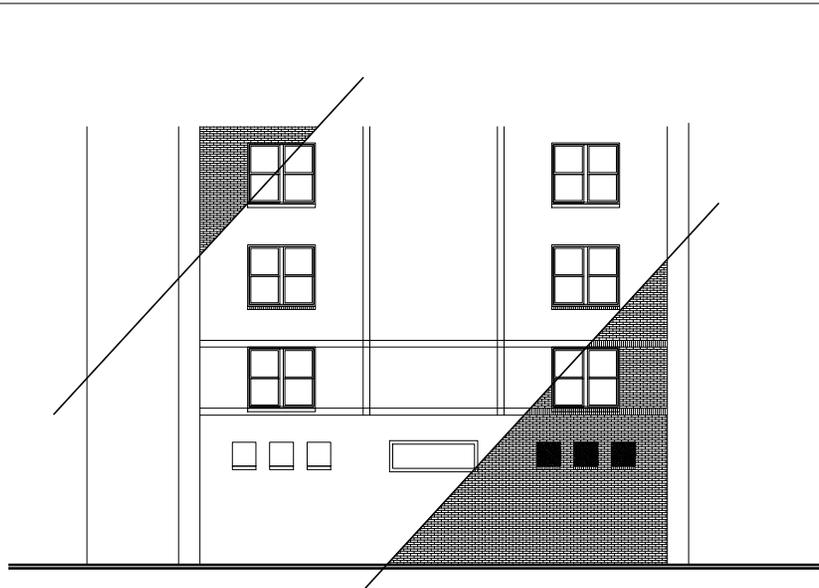
2 PROPOSED ELEVATION

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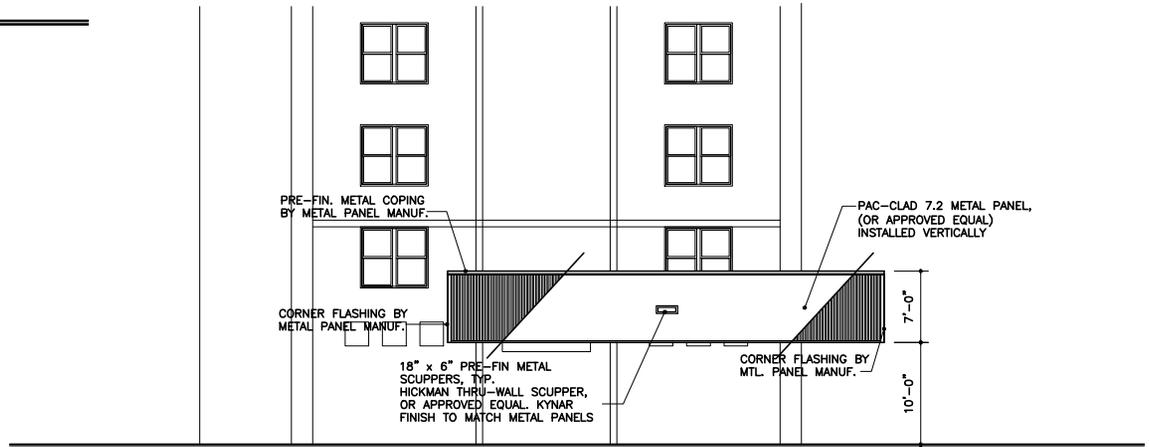
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FRONT ELEVATION (W. Trade Street)
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1 EXISTING ELEVATION



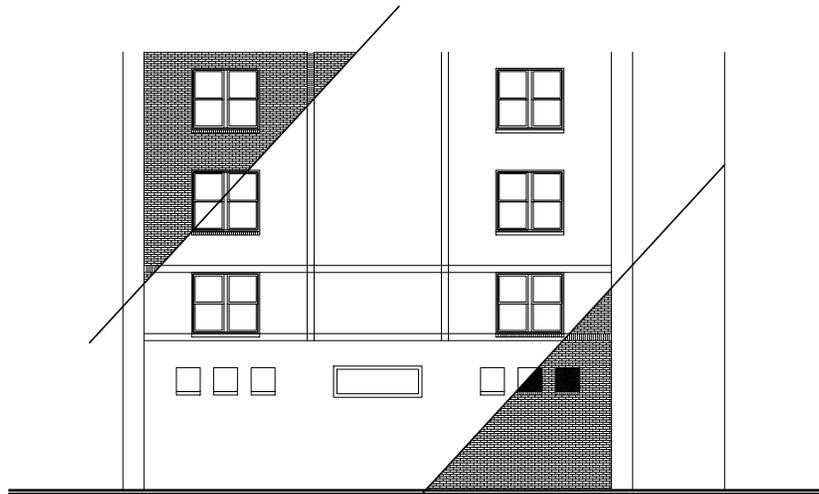
2 PROPOSED ELEVATION

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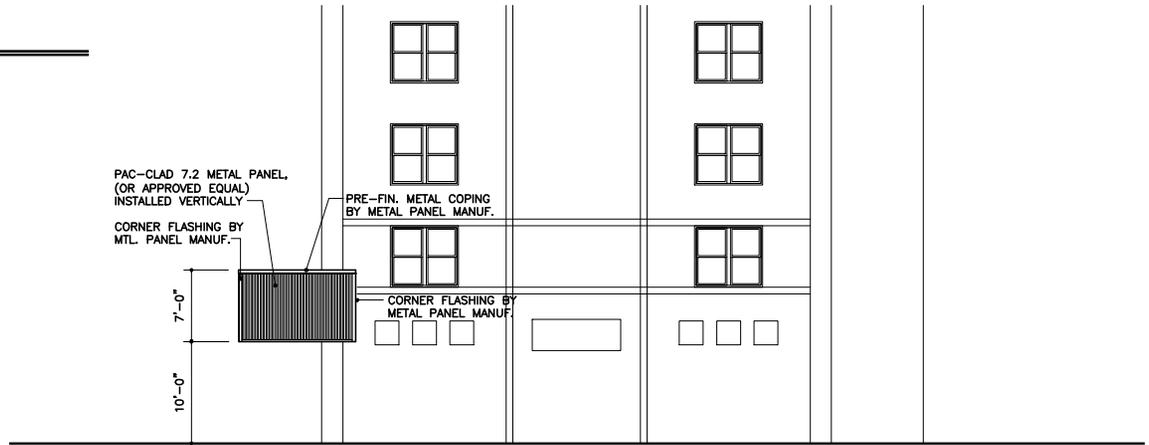
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LEFT ELEVATION (N. PINE ST.)
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1 EXISTING ELEVATION



2 PROPOSED ELEVATION

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RIGHT ELEVATION (N. POPLAR ST.)
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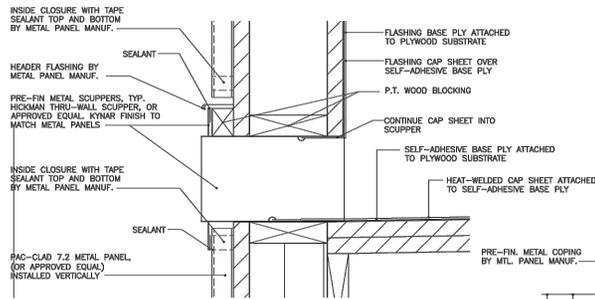
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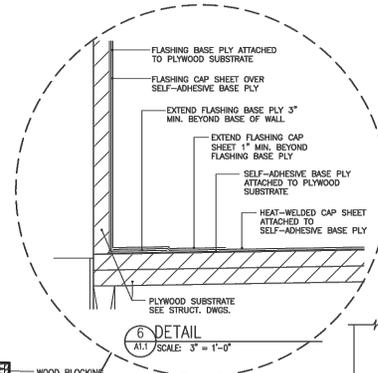
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COLOR RENDERING

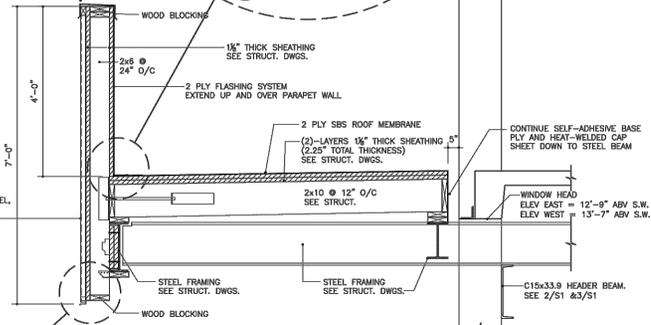
FIRST PLAN REVIEW
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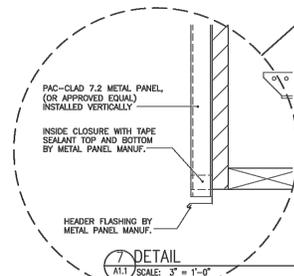
8 SCUPPER DETAIL
A1.1 SCALE: 3" = 1'-0"



6 DETAIL
A1.1 SCALE: 3" = 1'-0"



2 Typical Section
A1.1 SCALE: 3/4" = 1'-0"



7 DETAIL
A1.1 SCALE: 3" = 1'-0"

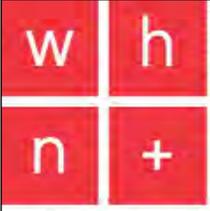
2-PLY SBS-MODIFIED BITUMEN MEMBRANES — PROVIDE PRODUCTS BY SOPREMA OR APPROVED EQUAL.

BASE PLY, SELF-ADHESIVE: SOPREMA SOPRALENE FLAM STICK: SBS-modified bitumen, self-adhesive membrane with release film on the bottom surface and a plastic burn-off film top surface. Non-woven polyester reinforced.
 Thickness: 88 mils (2.5 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade S.

FLASHING BASE PLY, SELF-ADHESIVE: SOPREMA SOPRALENE FLAM STICK: SBS-modified bitumen, self-adhesive membrane with release film on the bottom surface and a plastic burn-off film top surface. Non-woven polyester reinforced.
 Thickness: 88 mils (2.5 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade S.

CAP SHEET, HEAT-WELDED: SOPREMA SOPRALENE FLAM 180 FR GR: SBS-modified bitumen membrane Cap Sheet with a burn-off film bottom surface and mineral granule top surface. Non-woven polyester reinforced. UL Class A for specified roof slope requirements.
 Thickness: 157 mils (4.0 mm)
 Width: 39.4 in (1 m)
 Length: 32.8 ft (10 m)
 Meets or exceeds ASTM D6164, Type I, Grade G.
 Granule Surfacing: White mineral granules.

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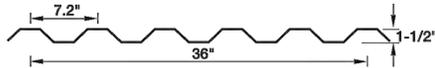
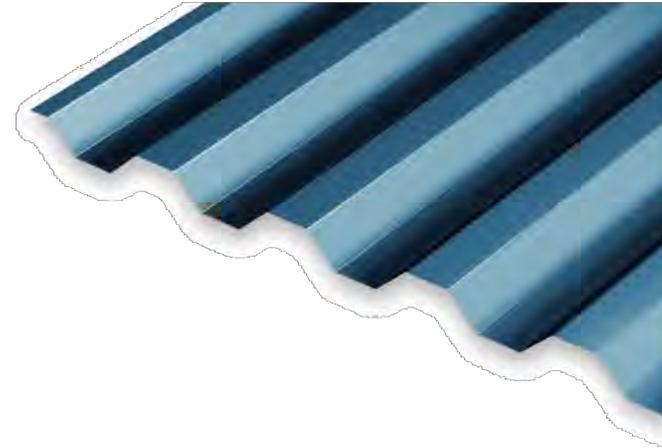

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ARCHITECTURAL DETAILS
 FIRST PLAN REVIEW
 NOVEMBER 9, 2016



7.2 PANEL



PRODUCT FEATURES

- ▶ 30-year non-prorated finish warranty
- ▶ Matching screws and rivets
- ▶ Closure strips available
- ▶ Precut short lengths (5'-0" minimum)
(2'-0" on the M-42 and R-41)
- ▶ Panel lengths up to 38'

MATERIAL

- ▶ 38 stocked colors (24 gauge steel)
- ▶ 15 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 20 stocked colors (.040 aluminum)
- ▶ 29 stocked colors (.050 aluminum)
- ▶ Galvalume Plus available

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for exposed fastener panels.

AVAILABILITY

M-42 and R-41 are only available in 24 ga. steel and .032 aluminum.

*Note: The M-36, M-42 and the R-41 Panels are not intended for use in the construction of metal buildings or structural roof applications. Please consult with Petersen Aluminum regarding the application of this panel. A complete specification is available online at pac-clad.com.

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Metal Panel Product Information

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NOVEMBER 9, 2016

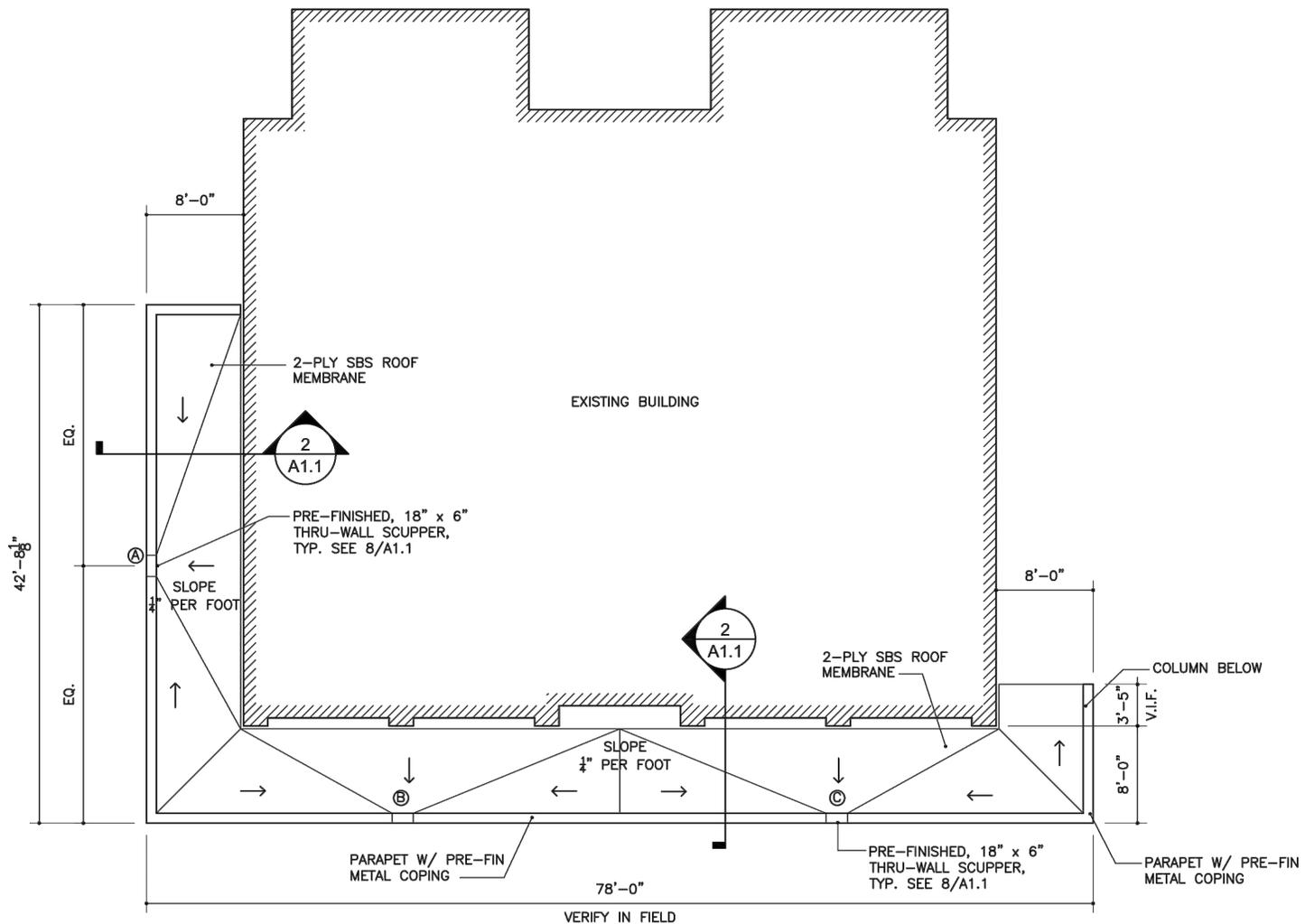


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1 Roof Plan
 A1.1 SCALE: 1/8" = 1'-0"

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Roof Plan
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