
LOCAL HISTORIC DISTRICT: Hermitage Court

PROPERTY ADDRESS: 400 Hermitage Court

SUMMARY OF REQUEST: Detached garage, tree removal

APPLICANT: Michelle Berry

Details of Proposed Request

Existing Conditions

The existing site is a corner lot at Hermitage Court and Providence Road. The site is elevated approximately 4 to 5 feet along Providence Road. The principal structure is a two story house constructed in 1999. The house is approximately 28'-3" in height measure from FFE. The house was approved for a renovation by the HDC in 2014, COA# 2014-266.

Proposal

The project is a detached garage in the rear yard. Access to the garage is from an existing driveway on Hermitage Court. The garage is approximately 5'-8" shorter than the house making the garage approximately 22'-5". Materials are wood shake and lap siding.

A second project is the request for tree removal for a pool in the rear yard. The applicant will replace with a large maturing elsewhere on the site.

Policy & Design Guidelines – Accessory Buildings: Garages, page 50

Although the main building on a lot makes the strongest statement about a property's contribution to the character of a Local Historic District, the accessory buildings that share the lot can also have a significant impact on the streetscape. The Historic District Commission recognizes that many of the older support buildings throughout Charlotte's older neighborhoods are inadequate to meet the needs of today's families and businesses.

1. New garages cannot be located in front or side yards.
2. New garages must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for new garages must be inspired by the main building they serve. Building details should be derived from the main structure.
4. Garages must be of a proper scale for the property, and must have an appropriate site relation to the main structure on a lot and to structures on surrounding properties.
5. Garage doors that are substantially visible from any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

Policy & Design Guidelines for New Construction, page 34

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District

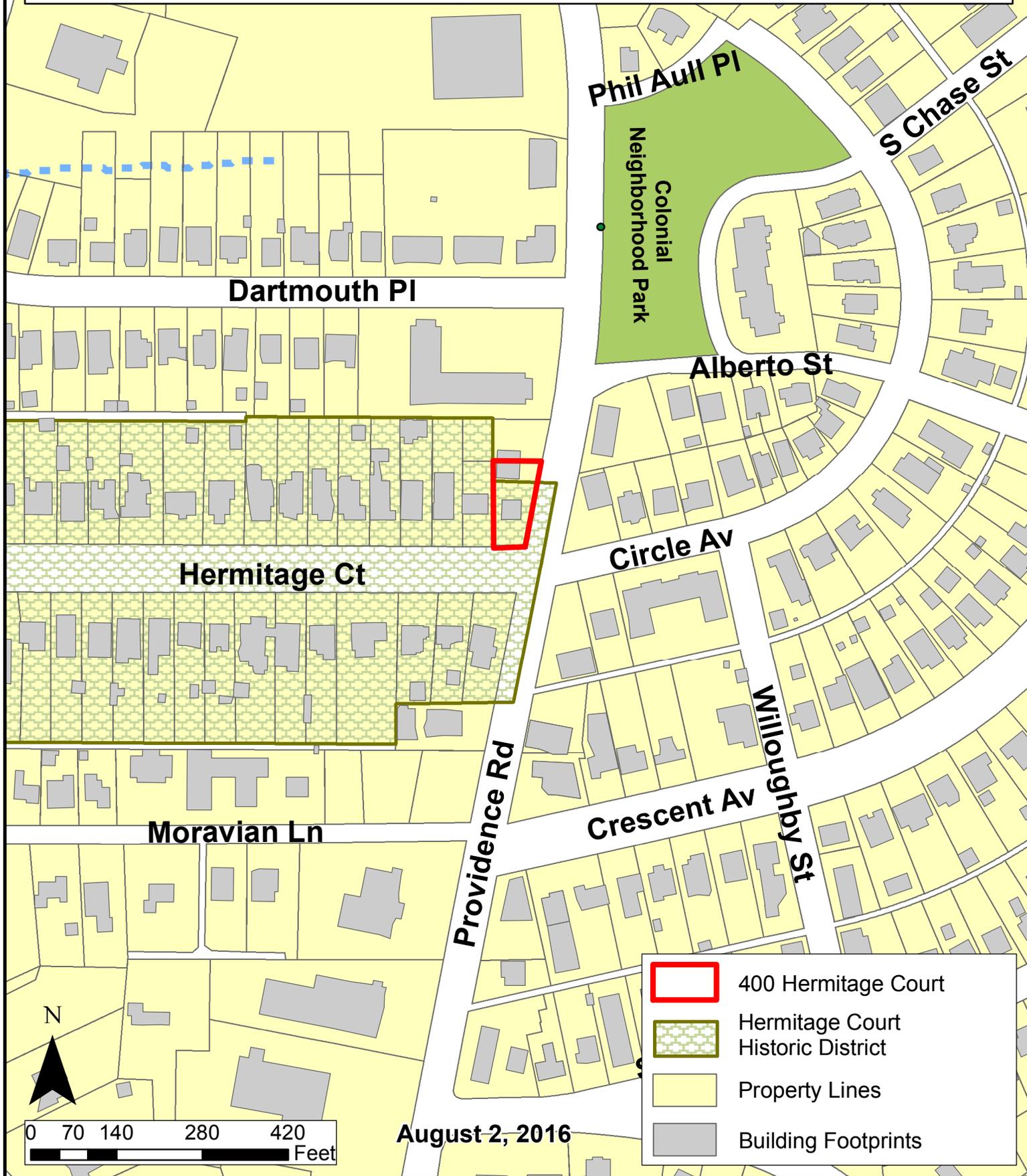
Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Staff Analysis - The Commission will determine if the proposal meets the guidelines for garages and will determine if tree removal is warranted, and determine a new tree location if necessary.

Charlotte Historic District Commission - Case 2016-172
HISTORIC DISTRICT: HERMITAGE COURT
GARAGE/ACCESSORY STRUCTURE



-  400 Hermitage Court
-  Hermitage Court Historic District
-  Property Lines
-  Building Footprints

NC-16

Charlotte, North Carolina

Street View - Mar 2016

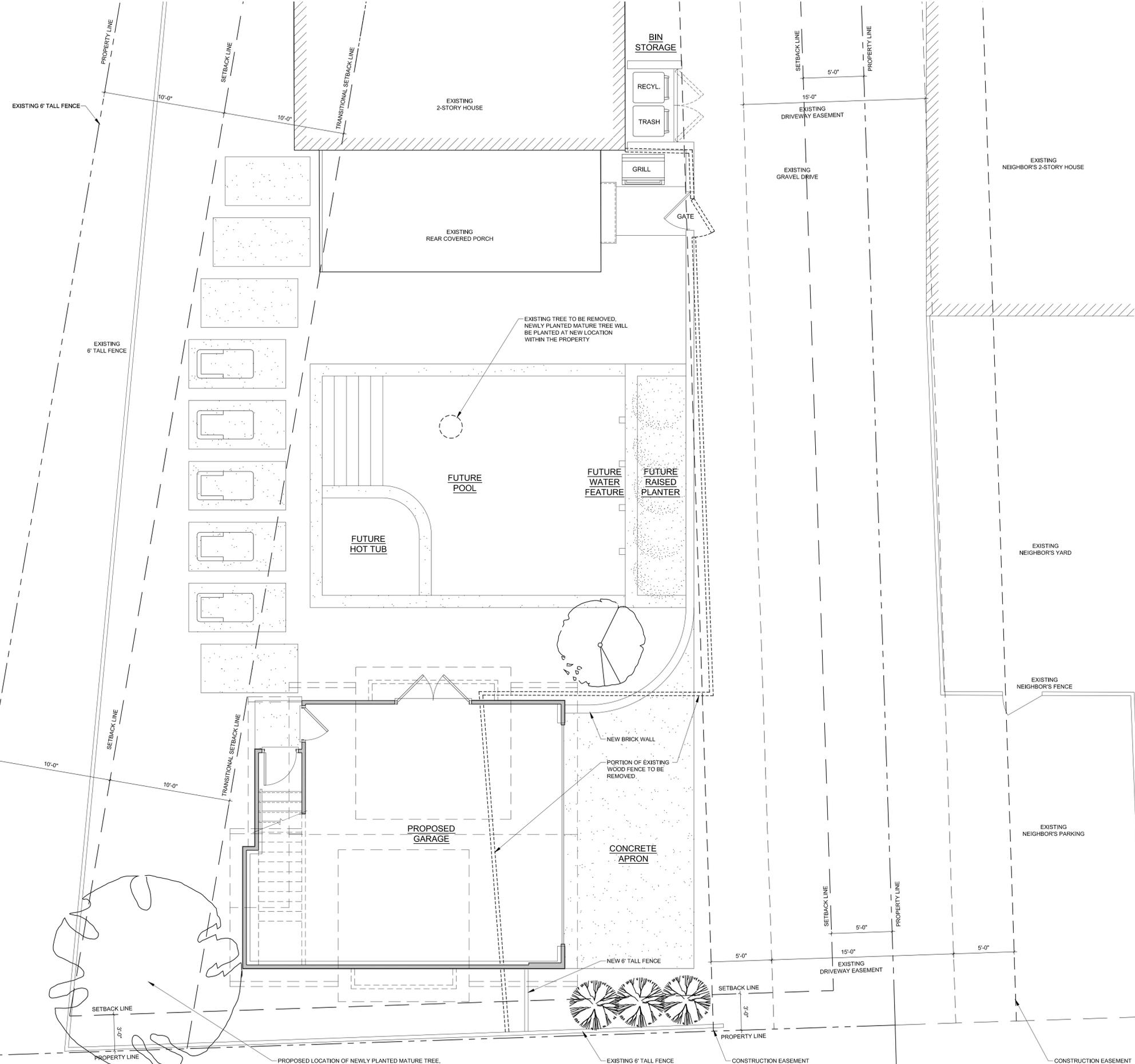


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PROVIDENCE ROAD

PUBLIC SIDEWALK



PROPOSED LOCATION OF NEWLY PLANTED MATURE TREE.
 TREE SELECTION TO COMPLY WITH CODE SECTIONS 12.302 & 12.303
 OF THE CITY OF CHARLOTTE ZONING ORDINANCE
 AND CHAPTER 21 (TREE ORDINANCE) OF THE CITY OF CHARLOTTE CODE

1 GARAGE FLOOR PLAN
 A2.0 1/4" = 1'-0"



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 FOR CONSTRUCTION

- 15 JUNE 2016
- ▲
- ▲
- ▲

SITE PLAN

A2.0

ELEVATION NOTES

-ALL REPRESENTATIONS OF GRADE LEVELS ARE FOR DRAWING PURPOSES ONLY, AND TO BE VERIFIED IN FIELD.



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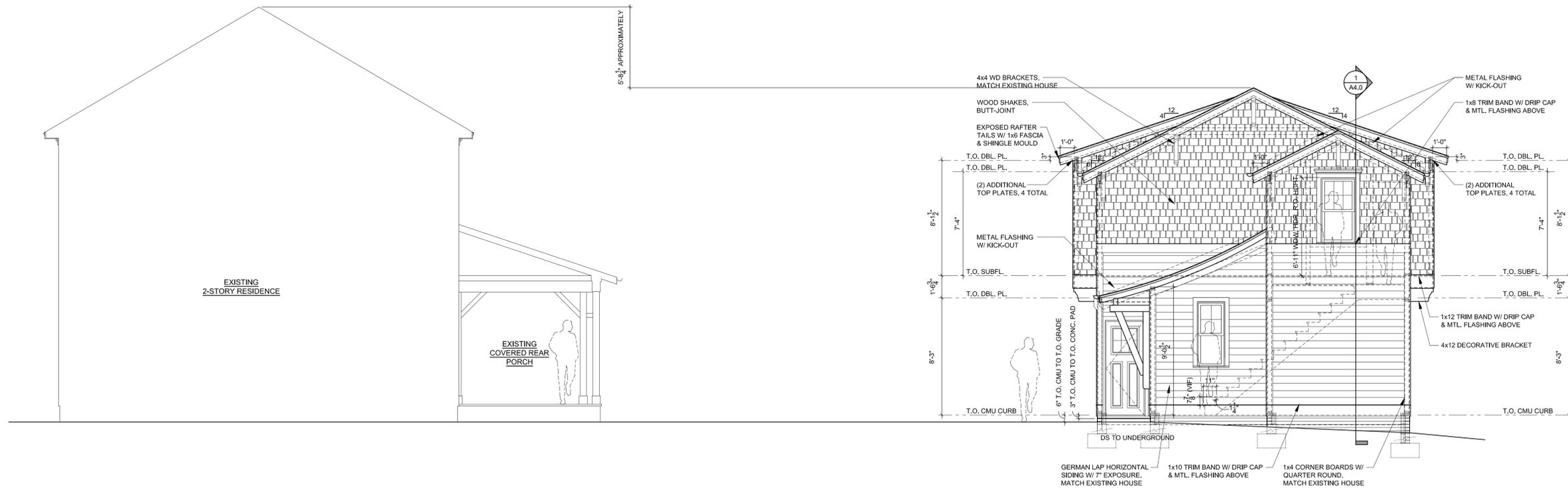
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15 JUNE 2016



PROPOSED
 GARAGE
 ELEVATIONS

A3.1



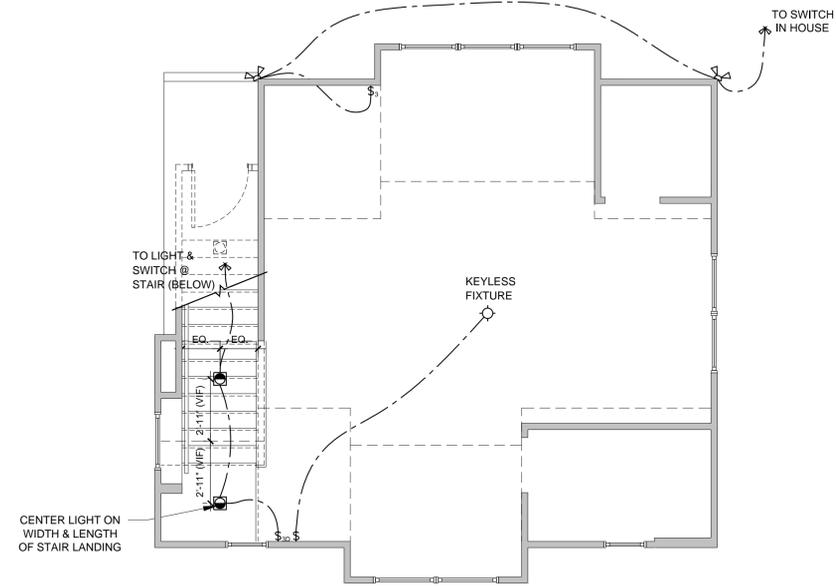
1 ELEVATION - PROVIDENCE RD.
 A3.1 1/4" = 1'-0"

ELECTRICAL LEGEND

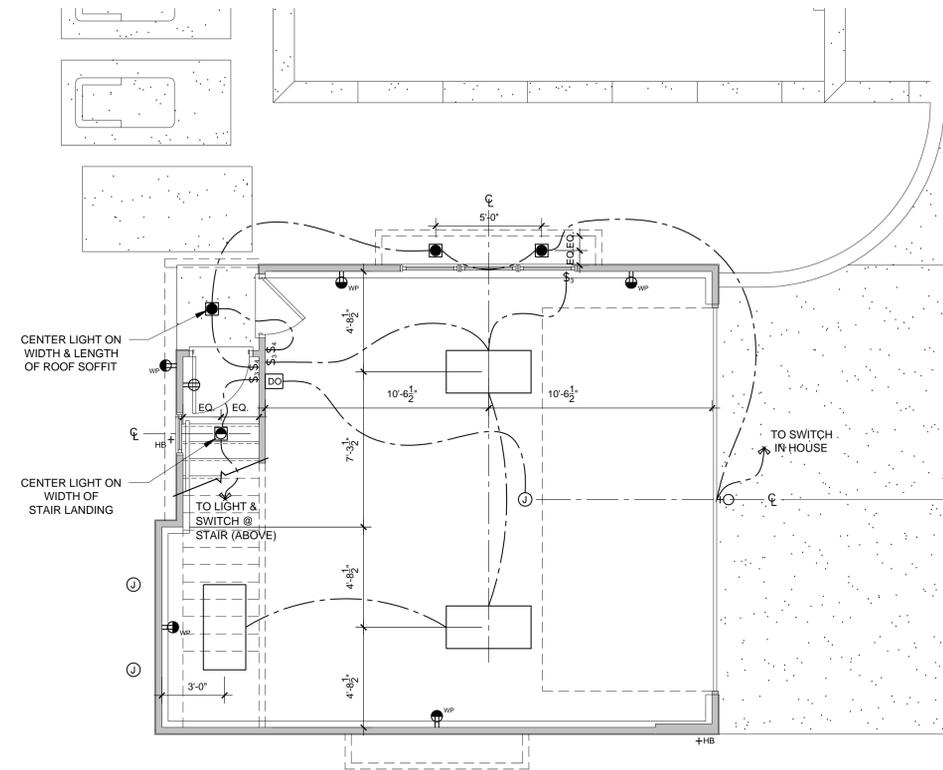
⊖	120 OUTLET, 18" A.F.F. TO CENTER OR 12" ABOVE COUNTERTOPS	⊖	EXHAUST FAN
⊖	G.F.I. 120 OUTLET, 18" A.F.F. TO CENTER OR 12" ABOVE COUNTERTOPS	⊖	SMOKE/CARBON MONOXIDE DETECTOR
⊖	WEATHER PROOF GFI 120 OUTLET	⊖	DOOR BELL
⊖	240 OUTLET, COORDINATE EXACT LOCATION WITH EQUIPMENT SPECIFICATIONS	⊖	DOOR BELL CHIME
⊖	1/2 SWITCHED 120 OUTLET, 18" A.F.F. TO CENTER OR 12" ABOVE COUNTERTOPS	⊖	DOOR BELL TRANSFORMER
⊖	120 QUADRAPLEX OUTLET, 18" A.F.F. TO CENTER	⊖	WALL SWITCH, 48" A.F.F. TO CENTER
⊖	FLOOR 120 OUTLET (FLUSH) (TBD IN FIELD W/ OWNER)	⊖	DIMMER SWITCH, 48" A.F.F. TO CENTER
⊖	JUNCTION BOX	⊖	3 WAY SWITCH, 48" A.F.F. TO CENTER
⊖	CEILING LIGHT FIXTURE	⊖	4 WAY SWITCH, 48" A.F.F. TO CENTER
⊖	WALL LIGHT FIXTURE	⊖	PHONE, 18" A.F.F. TO CENTER, 'W' INDICATES WALL MOUNTED @ 48" A.F.F.
⊖	5" RECESSED LIGHT FIXTURE	⊖	PHONE/ DATA JUNCTION BOX
⊖	5" RECESSED DAMP LOCATION LIGHT FIXTURE	⊖	CABLE
⊖	5" RECESSED EYEBALL FIXTURE	⊖	FLUORESCENT LIGHT FIXTURE
⊖	FAN/LIGHT RECESSED FIXTURE	⊖	ZENON UNDER CABINET LIGHT TO BE MTD. TO BOTTOM OF WALL CAB. NEAR FRONT EDGE
⊖	FAN/LIGHT RECESSED DAMP LOCATION FIXTURE	⊖	PLUG MOLD TO BE MTD. TO BOTTOM OF WALL CAB. NEAR WALL
⊖	CEILING FAN (PROVIDE BLOCKING FOR)	⊖	DOOR OPENER
⊖	FLOOD LIGHT WITH MOTION DETECTOR	⊖	EP ELECTRICAL PANEL
+HB	HOSE BIBB	⊖	EM ELECTRICAL METER
+G	GAS CONNECTION	⊖	TWH TANKLESS WATER HEATER

ELECTRICAL NOTES

- LIGHT FIXTURES IN CLOSETS TO COMPLY WITH SECTION 410.8 OF THE LATEST VERSION OF THE NEC HANDBOOK
- SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- LIGHT SWITCHES & OUTLETS LOCATED AT COUNTERTOP SIDEWALLS ARE TO BE A MAXIMUM OF 18" FROM CENTERLINE OF SWITCH/OUTLET TO COUNTERTOP REAR WALL



2 SECOND FLOOR ELECTRICAL PLAN
E1.0 1/4" = 1'-0"



1 FIRST FLOOR ELECTRICAL PLAN
E1.0 1/4" = 1'-0"



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15 JUNE 2016



ELECTRICAL PLANS

E1.0

FLOOR PLAN NOTES

- CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO EXECUTION OF WORK.
- CLEANUP TO OCCUR DAILY.
- G.C. TO VERIFY FINISH GRADE @ HOUSE TO DETERMINE NUMBER OF STEPS.
- G.C. TO SUPPLY RECESSED DRYER VENT BOX - DRYERBOX MODEL #DB-425 OR EQUAL.
- MECHANICAL CONTRACTOR TO COORDINATE W/ ARCHITECT LOCATION OF MAIN TRUNK & DISTRIBUTION LINES, REGISTERS (CENTER ALL REGISTERS ON WINDOWS), THERMOSTATS, AIR HANDLER & CONDENSERS.
- INSULATE ALL INTERIOR BATHROOM W/ SOUND ATTENUATION BATT. INSULATION
- CEILING HEIGHTS LISTED ARE DIMENSIONED TO FRAMING (TOP OF SUBFLOOR TO UNDERSIDE OF FRAMING ABOVE)
- SEE ELEC. PLAN FOR GAS CONNECTIONS, HOSE BIBBS, TANKLESS WATER HEATERS, A/C UNITS, ETC.

FLOOR PLAN LEGEND

5S	5 SHELVES
1R 2S	1 ROD, 2 SHELVES
2R 2S	2 ROD, 2 SHELVES
HR	HANGING ROD
CO	CASED OPENING
W/D	WASHER, DRYER
DW	DISH WASHER
FRIG	REFRIGERATOR
LS	LAZY SUSAN
M	MIRROR
▶	SHOWER HEAD
(RH)	RAIN HEAD

WALL SCHEDULE

	2X FRAMED WALLS
	OVERHEAD/BELOW
	BRICK VENEER

DOOR & WINDOW LEGEND

	HEIGHT: 8'-0"
	WIDTH: 2'-6"
DOORS:	P = POCKET
WINDOWS:	A = AWNING
	C = CASEMENT
	F = FIXED
	DH = DOUBLE HUNG

DOOR NOTES

- ALL INTERIOR DOORS TO BE 2 PANEL SOLID CORE DOORS (UNO), ARCHITECT TO APPROVE FINAL SELECTION PRIOR TO FINALIZING ORDER
- TOP OF INTERIOR CASING @ ADJACENT DOORS & WINDOWS TO ALIGN WHEN HEADER CALL OUTS ARE EQUAL

WINDOW NOTES

- ALL WINDOW DIMENSIONS ARE BASED ON SIERRA PACIFIC ROUGH OPENING CALL OUTS. IF DIFFERENT MANUFACTURER IS SELECTED, THEN FINAL SELECTION OF WINDOW SIZES ARE TO BE APPROVED BY ARCHITECT.
- WINDOWS TO BE INSTALLED BY CERTIFIED WINDOW INSTALLER PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- WINDOW SUPPLIER TO SPECIFY & ORDER TEMPERED GLASS IN WINDOWS AS REQ'D BY LOCAL CODE.
- G.C. AND WINDOW SUPPLIER TO VERIFY THAT EACH BEDROOM TO HAVE A MINIMUM OF ONE WINDOW WHICH MEETS EMERGENCY EGRESS AS REQUIRED BY NORTH CAROLINA (INTERNATIONAL RESIDENTIAL CODE). WINDOW SUPPLIER TO ADD EGRESS HARDWARE TO CASEMENT WINDOWS IF NECESSARY.
- TOP OF INTERIOR CASING @ ADJACENT DOORS & WINDOWS TO ALIGN WHEN HEADER CALL OUTS ARE EQUAL

STAIR NOTES

- STAIR FABRICATOR / INSTALLER TO VERIFY THAT STAIRS MEET ALL REQ'D CODES
- ADJUSTMENTS TO STAIR TO BE CONFIRMED W/ ARCHITECT PRIOR TO STAIR CONSTRUCTION

SQUARE FOOTAGES

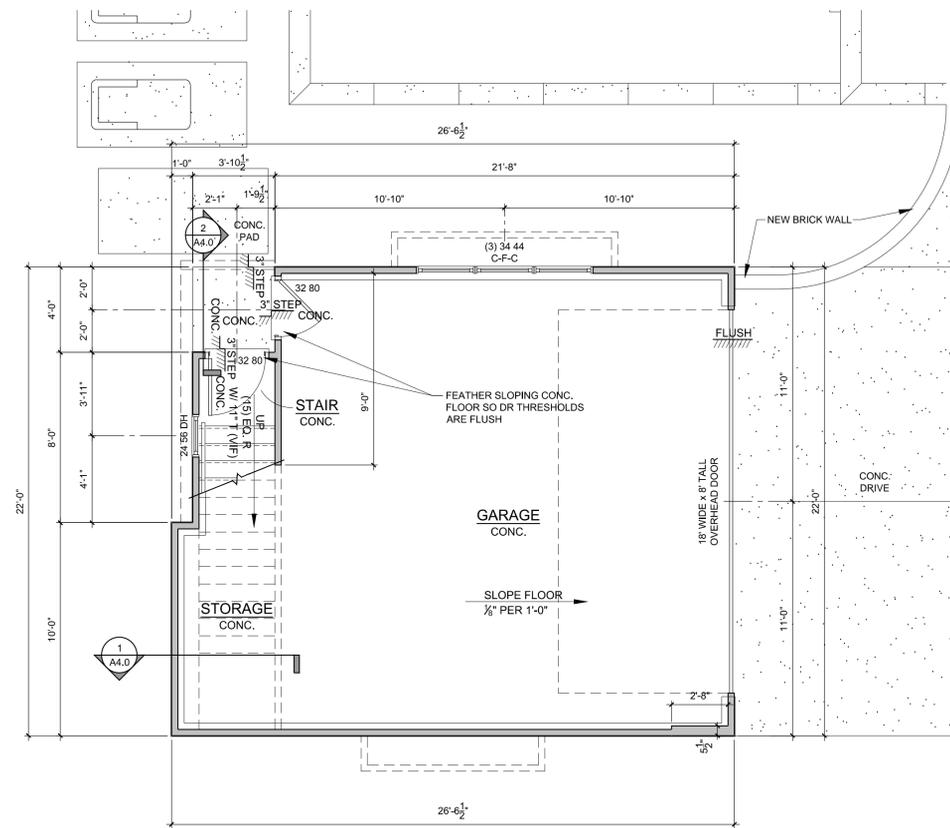
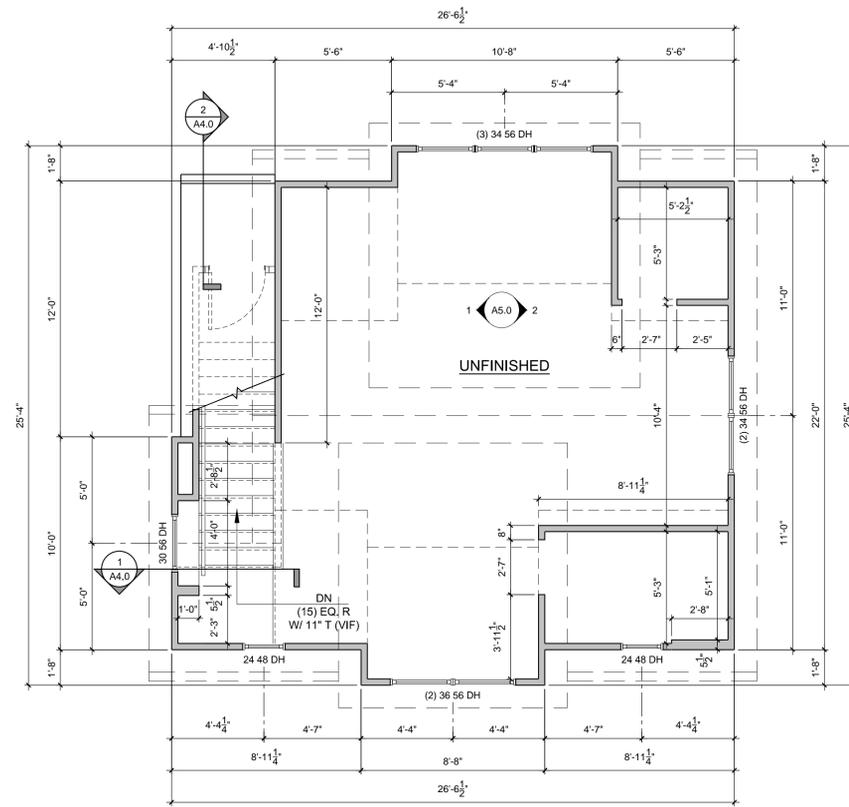
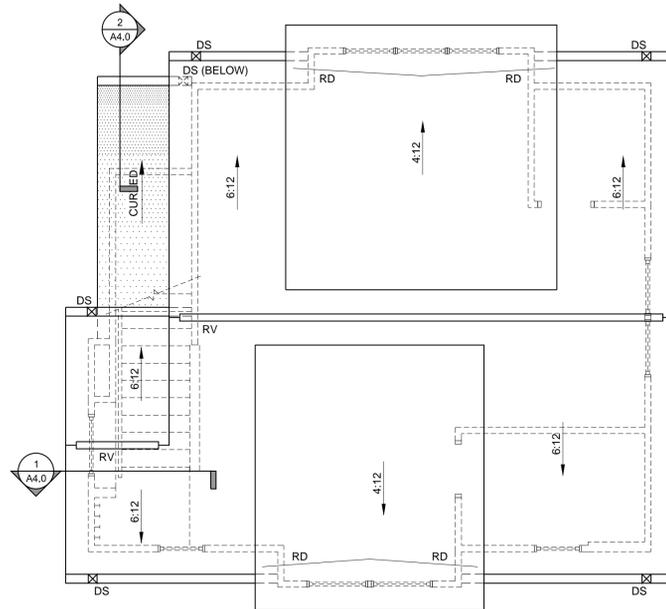
GARAGE FLOOR	=	556 sf
SECOND FLOOR (UNFINISHED)	=	522 sf

ROOF SYMBOLS

	SHINGLED ROOF
	CURVED ROOF
DS	DOWNSPOUT
RD	RAIN DIVERTER
RV	RIDGE VENT

ROOF PLAN NOTES

- CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO EXECUTION OF WORK.
- ALL ROOF PENETRATIONS TO BE PLACED ON REAR SIDE OF MAIN RIDGE OR AS SPECIFIED BY ARCHITECT. PAINT TO MATCH SHINGLE COLOR.
- ATTIC INSULATION TO BE R-30, PROVIDE BAFFLES @ PERIMETER TO ALLOW 2" FOR AIRFLOW FROM EAVE VENTS TO RIDGE VENTS.
- ROOF SHEATHING TO BE 5/8" T&G PLYWOOD W/ METAL CLIPS @ ENDS.
- PROVIDE INSECT & BIRD SCREENING TO INTERIOR SIDE OF ALL SOFFIT VENTS
- ALL BATHROOM & DRYER VENT PENETRATIONS TO RUN TOWARD REAR OF HOUSE & VENT IN REAR OUTSIDE WALL OR ROOF BEHIND MAIN RIDGE.
- GUTTER & DOWNSPOUT INSTALLER TO PROVIDE ADEQUATE UNITS PER MANUFACTURER SPECIFICATIONS BASED ON ROOF COVERAGE



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PROPOSED GARAGE PLANS

A2.1



15 JUNE 2016

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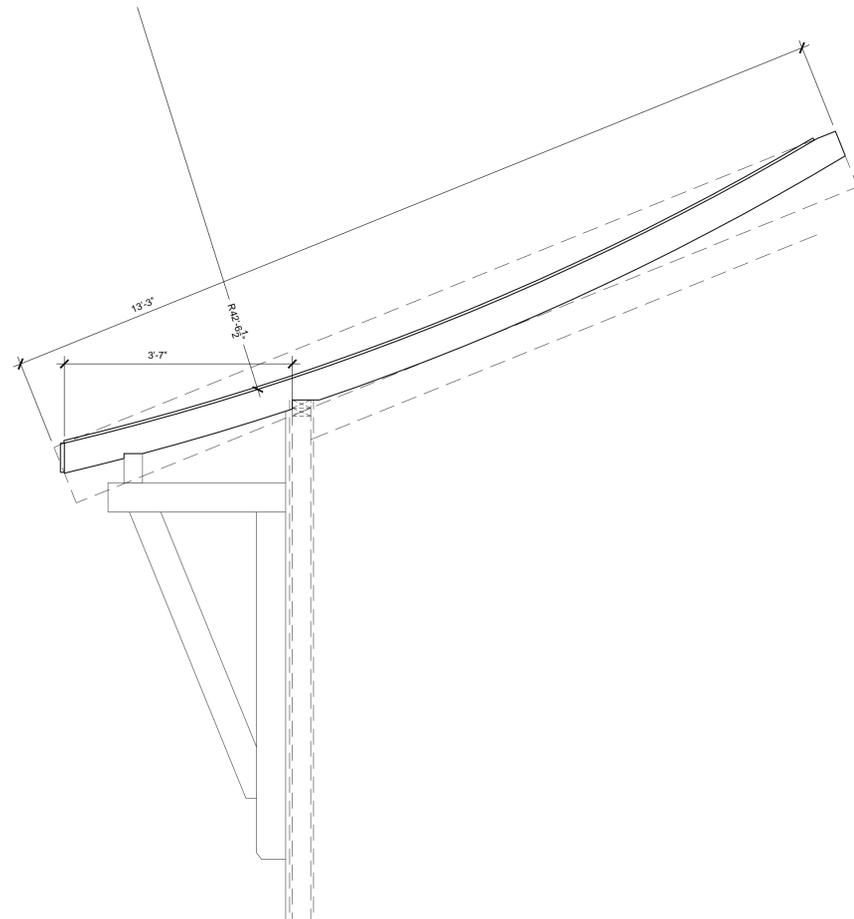
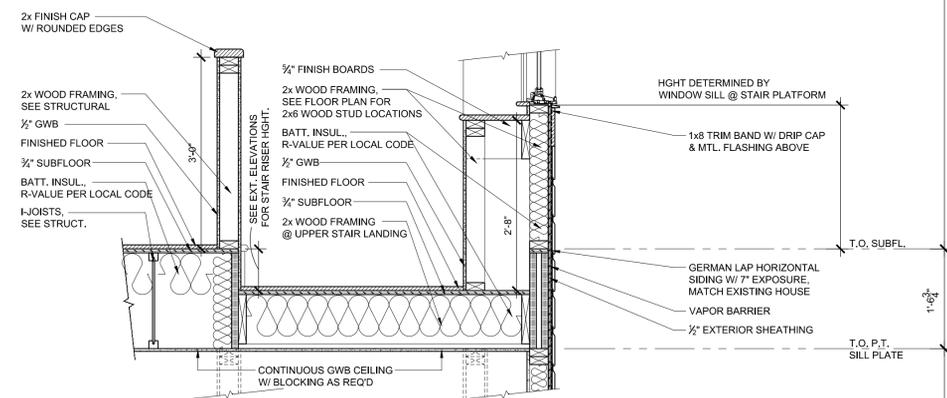
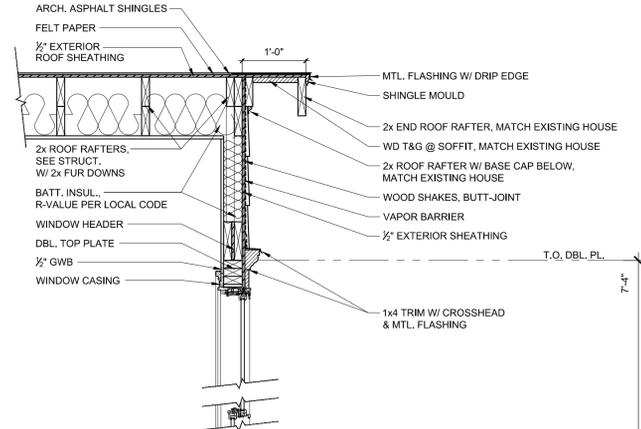
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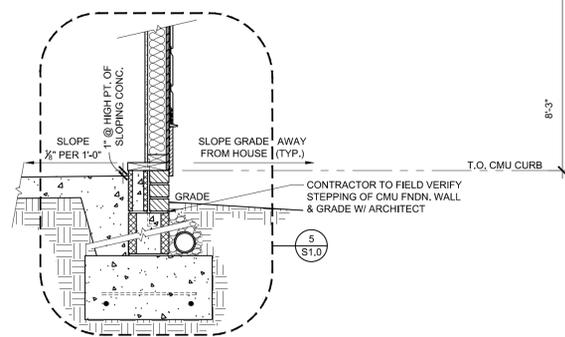


PROPOSED GARAGE WALL SECTION

A4.0



2 CURVED ROOF RAFTER DETAIL
 A4.0 3/4" = 1'-0"



1 WALL SECTION
 A4.0 3/4" = 1'-0"



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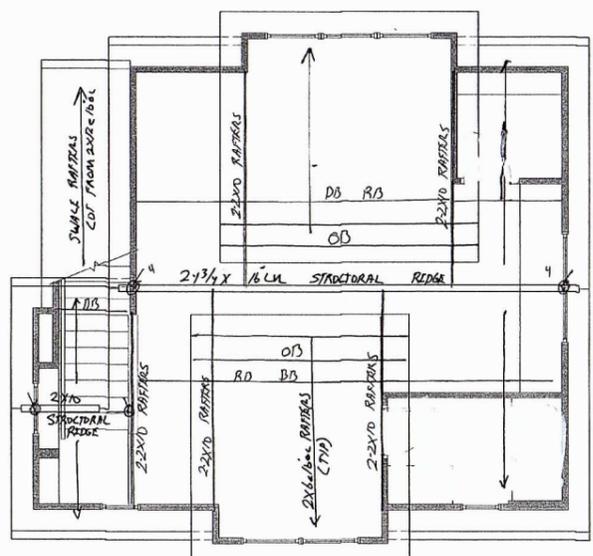
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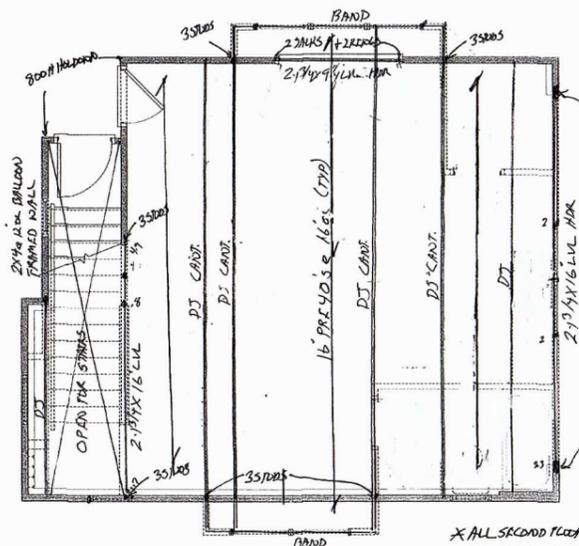
FNDN. & FRAMING PLANS

S1.0



* ALL RAFTERS ARE 2x6 @ 16" o.c.
 BB = BEAM BELOW
 RB = RAFTERS BEAR
 OB = OVER BOARD

4 ROOF FRAMING PLAN
 S1.0 1/4" = 1'-0"



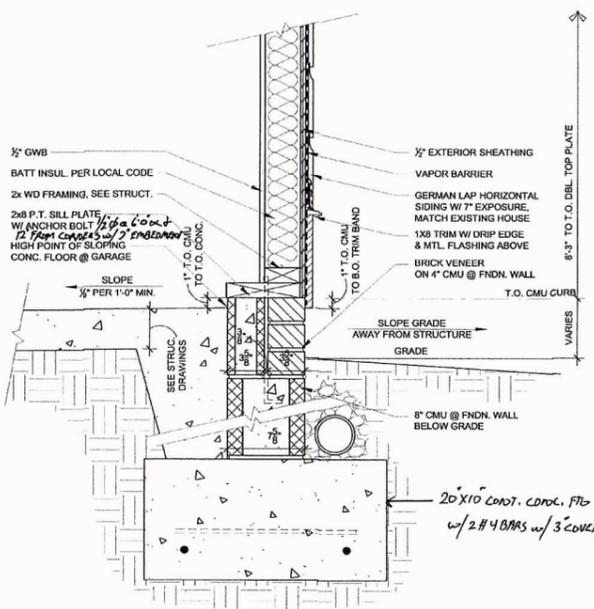
* ALL SECOND FLOOR FRAMING IS 16" PAX JOIST UNLESS NOTED
 DJ = DOUBLE JOIST
 CANT = CANTILEVERED
 ALL FIRST FLOOR JOISTS ARE 2x12 @ 16" O.C. UNLESS NOTED
 PROVIDE SOLID WOOD BLOCKING & STUDS UNDER ALL PT LOADS UNLESS NOTED
 PROVIDE 2x12 @ 16" O.C. UNDER ALL DJ UNLESS NOTED

2 SECOND FL. FRAMING PLAN
 S1.0 1/4" = 1'-0"

* WALL BRACKLE PROVIDED BY CONT. SHEATHING FASTENED W/ 8d NAILS @ 6" O.C. @ EDGE & 12" O.C. IN THE FIELD TO MEET & EXCEED THE INTENT OF SECTION R02.10.00

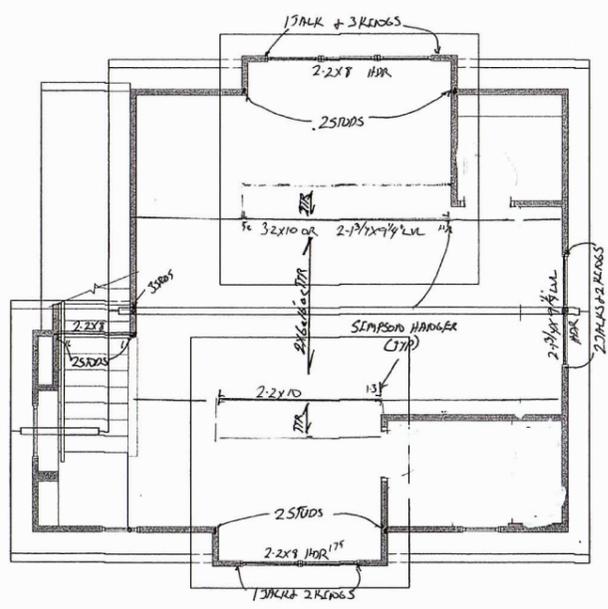
FOUNDATION NOTES

- CONTRACTOR TO VERIFY STEPPING OF CONC. FOOTINGS & CMU/BRICK VENEER FNDN. WALLS. SLOPING GRADE TBD IN THE FIELD, SEE ARCH. DRAWINGS.

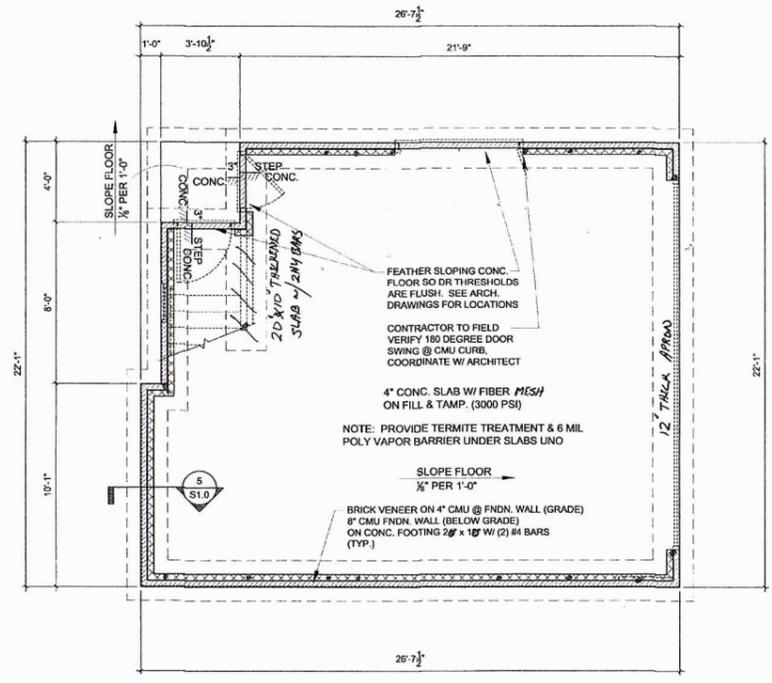


5 FOUNDATION DETAIL
 S1.1 1/4" = 1'-0"

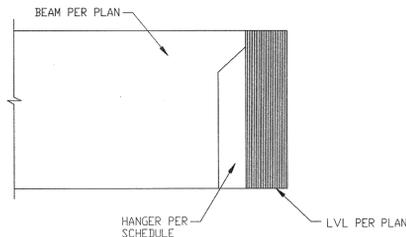
* ALL ATTIC FRAMING IS 2x6 @ 16" o.c. UNLESS NOTED
 TIR = TIED TO RAFTERS
 ALL SECOND FLOOR JOISTS ARE 2x12 @ 16" O.C. UNLESS NOTED
 FUR DOWN CONTACT RAFTERS FOR INSULATION UNLESS NOTED
 FASTEN CONTACT RAFTERS TO EXTERIOR WALL TOP PLATES W/ SIMPSON H2.5B HORIZONTAL STRAPS @ 16" O.C. UNLESS NOTED



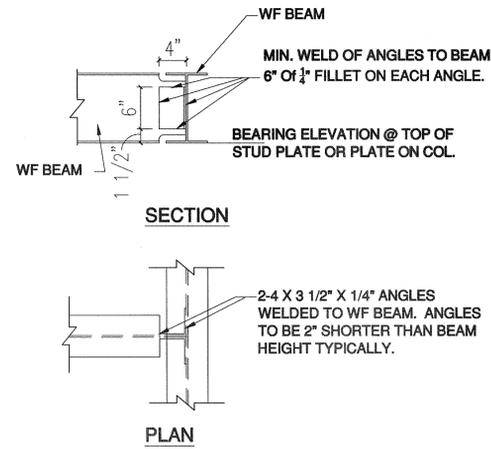
3 ATTIC FRAMING PLAN
 S1.0 1/4" = 1'-0"



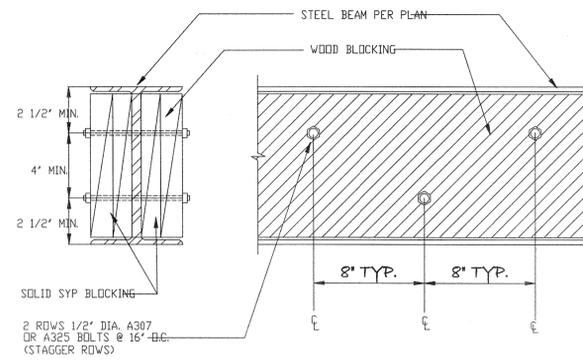
1 FOUNDATION PLAN
 S1.0 1/4" = 1'-0"



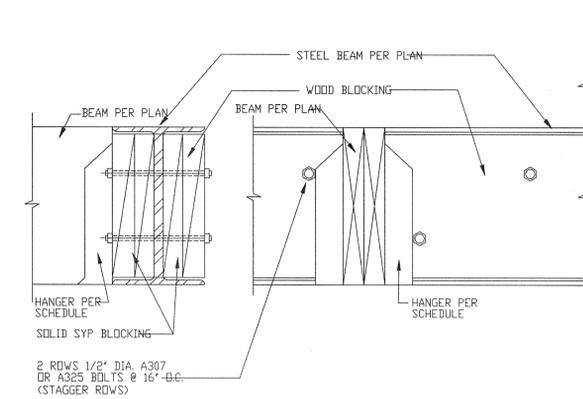
1 BEAM TO LVL CONNECTION DETAIL
SD1 SCALE= NTS



2 STEEL TO STEEL CONNECTION DETAIL
SD1 SCALE= NTS N/A



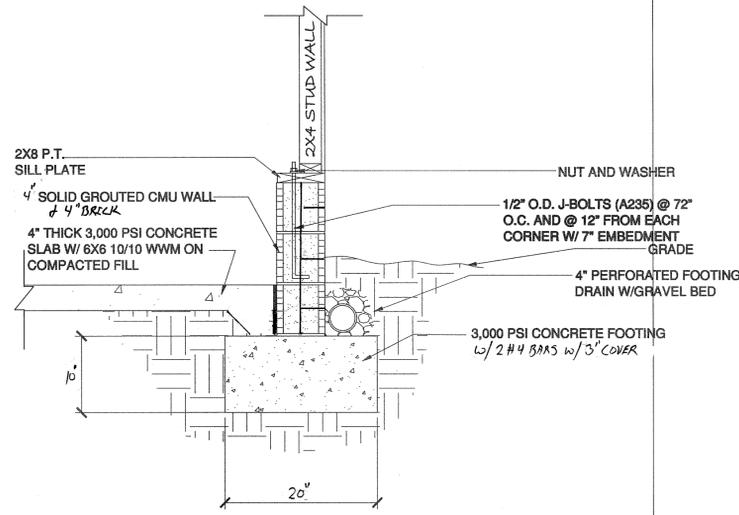
3 STEEL BEAM WEB BLOCKING DETAIL
SD1 SCALE= NTS N/A



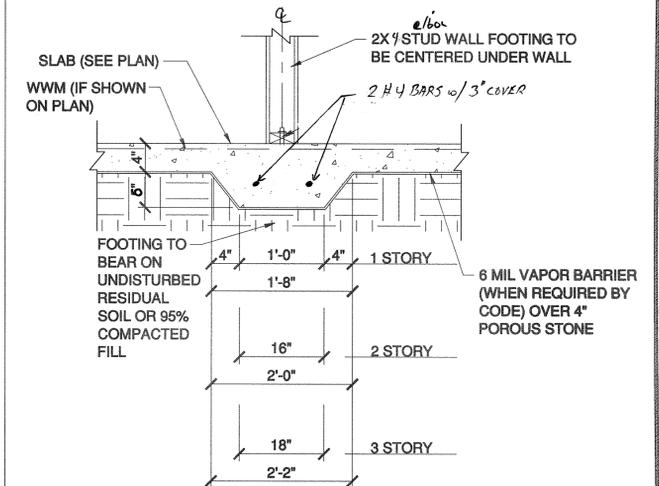
4 BEAM TO STEEL BEAM CONNECTION DETAIL
SD1 SCALE= NTS N/A

TYPICAL HANGERS FOR JOISTS AND BEAMS	
MEMBER	HANGER
2X8	LUS28
2X10	LUS210
2X12	LUS210
2-2X8	HUS28-2
2-2X10	HUS210-2
2-2X12	HUS212-2
3-2X8	LUS28-3
3-2X10	LUS210-3
3-2X12	HUS212-3 MIN
2-1 3/4" x 9 1/4" LVL	HGUS410
2-1 3/4" x 11 7/8" LVL	HGUS412
2-1 3/4" x 14" LVL	HGUS414
2-1 3/4" x 16" LVL	HGUS414
2-1 3/4" x 18" LVL	HGUS414
3-1 3/4" x 9 1/4" LVL	HGUS5.50/10
3-1 3/4" x 11 7/8" LVL	HGUS5.50/12
3-1 3/4" x 14" LVL	HGUS5.50/14
3-1 3/4" x 16" LVL	HGUS5.50/14
3-1 3/4" x 18" LVL	HGUS5.50/14
4-1 3/4" x 9 1/4" LVL	HGUS7.25/10
4-1 3/4" x 11 7/8" LVL	HGUS7.25/12
4-1 3/4" x 14" LVL	HGUS7.25/14
4-1 3/4" x 16" LVL	HGUS7.25/14
4-1 3/4" x 18" LVL	HGUS7.25/14

5 HANGER SCHEDULE
SD1 SCALE= NTS



6 GARAGE FOUNDATION DETAIL
SD1 SCALE= NTS



7 THICKENED SLAB DETAIL
SD1 SCALE= NTS



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SEED
SUSTAINABLE ENGINEERING & EFFICIENT DESIGNS, PLLC.

DRAWING TITLE:
STANDARD DETAILS

DATE:
JUNE 15, 2016

SHEET NO:
SD1