

LOCAL HISTORIC DISTRICT: Dilworth
PROPERTY ADDRESS: 729 Romany Road
SUMMARY OF REQUEST: Addition
APPLICANT/OWNER: John Fryday

Details of Proposed Request

Existing Conditions

The existing structure is a 1.5 story brick, Colonial style house constructed in 1942. Most of the adjacent homes are of similar scale and constructed in the same period.

Proposal

The project is the extension of the existing front porch pad and the addition of a new handrail and standing seam metal roof to replace the existing roof. On the rear the existing door and windows on either side will be replaced with a bay window.

Policy & Design Guidelines – Additions, page 36

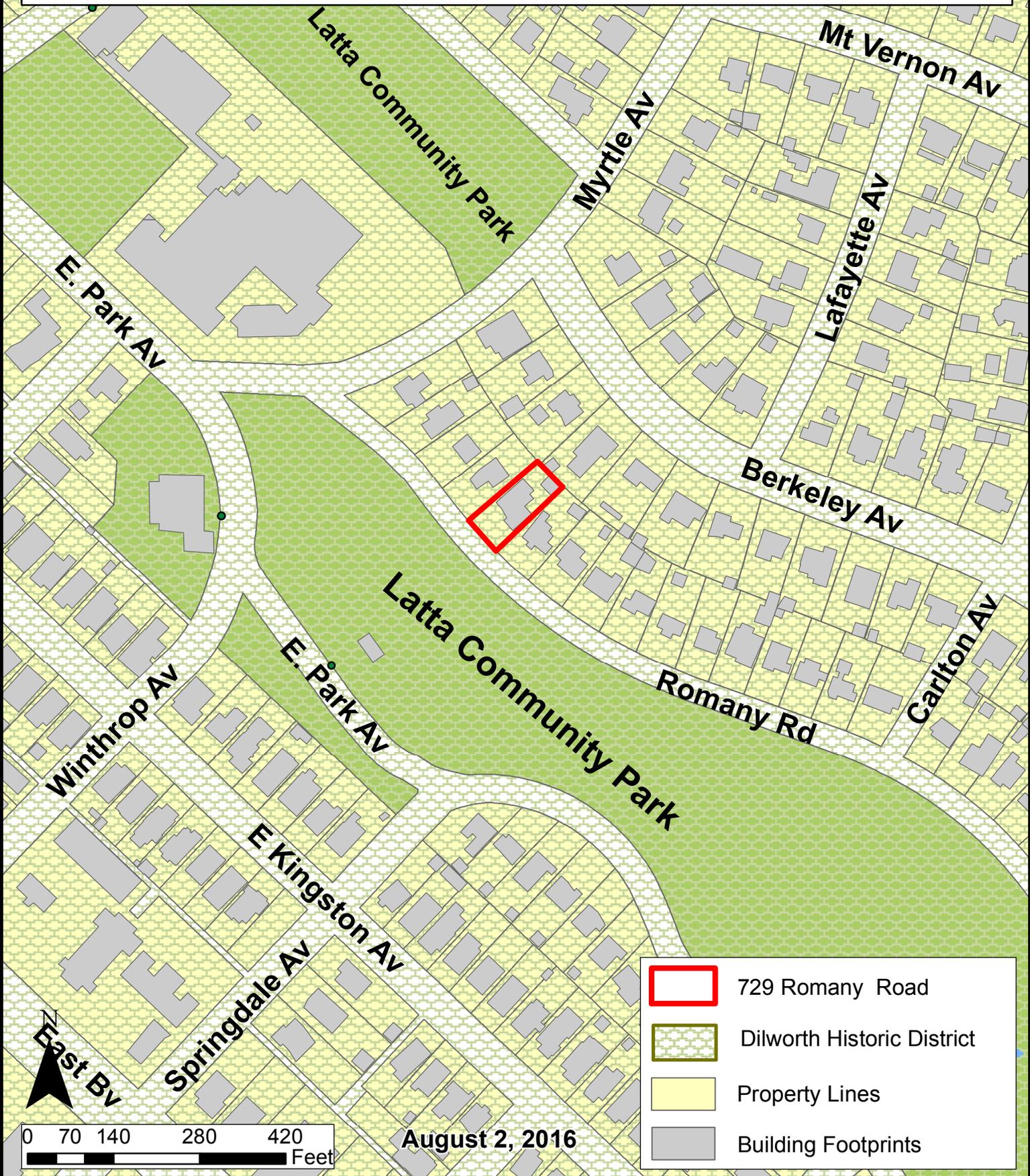
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis - The Commission will determine if the proposal meets the guidelines for additions, the guideline for setback does not apply.

Charlotte Historic District Commission - Case 2016-164
HISTORIC DISTRICT: DILWORTH
FRONT ADDITION



-  729 Romany Road
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

August 2, 2016

0 70 140 280 420 Feet

Existing Conditions

Front



Left



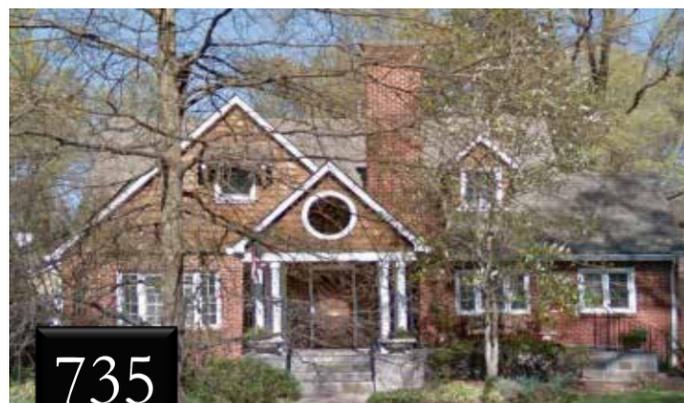
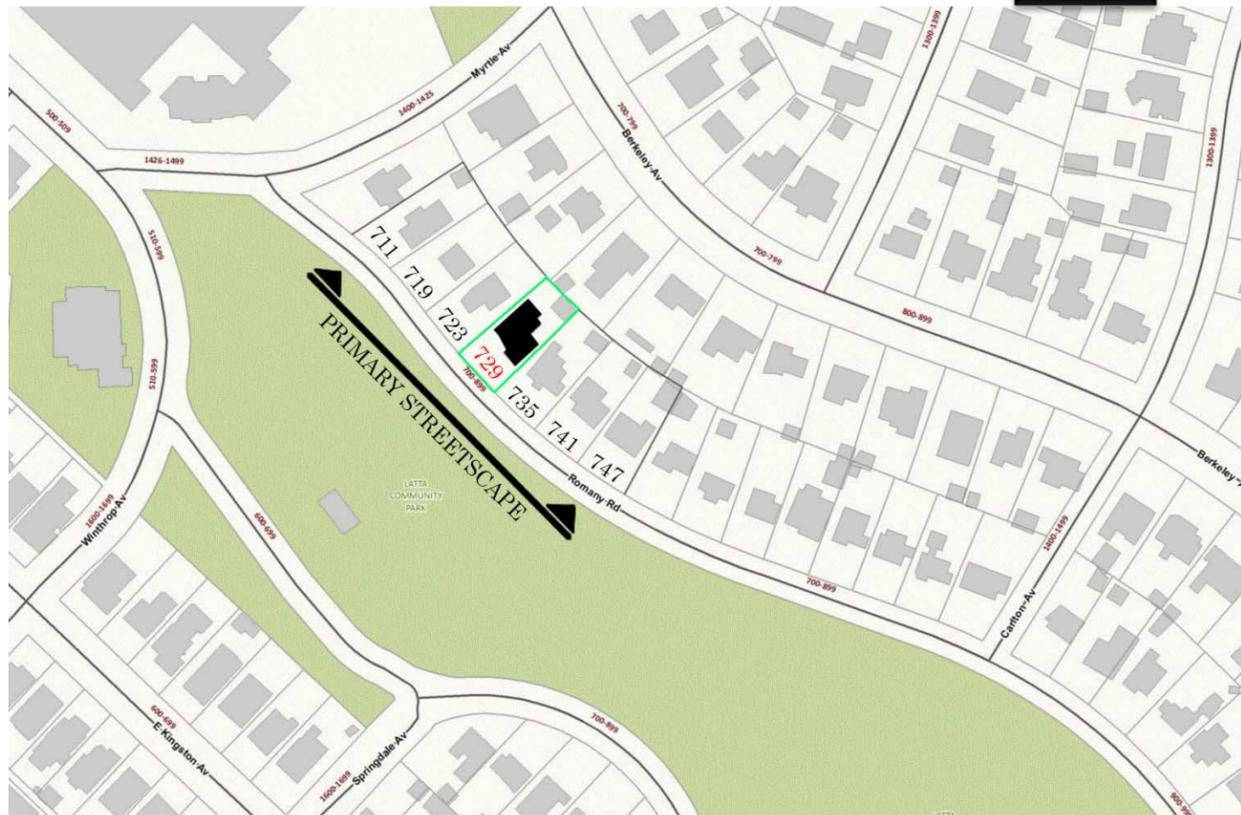
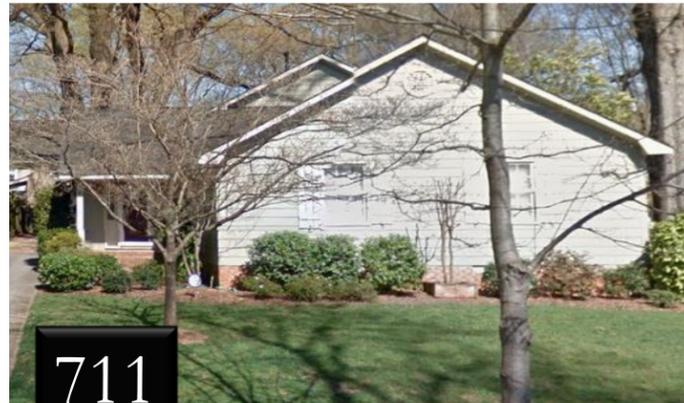
Rear

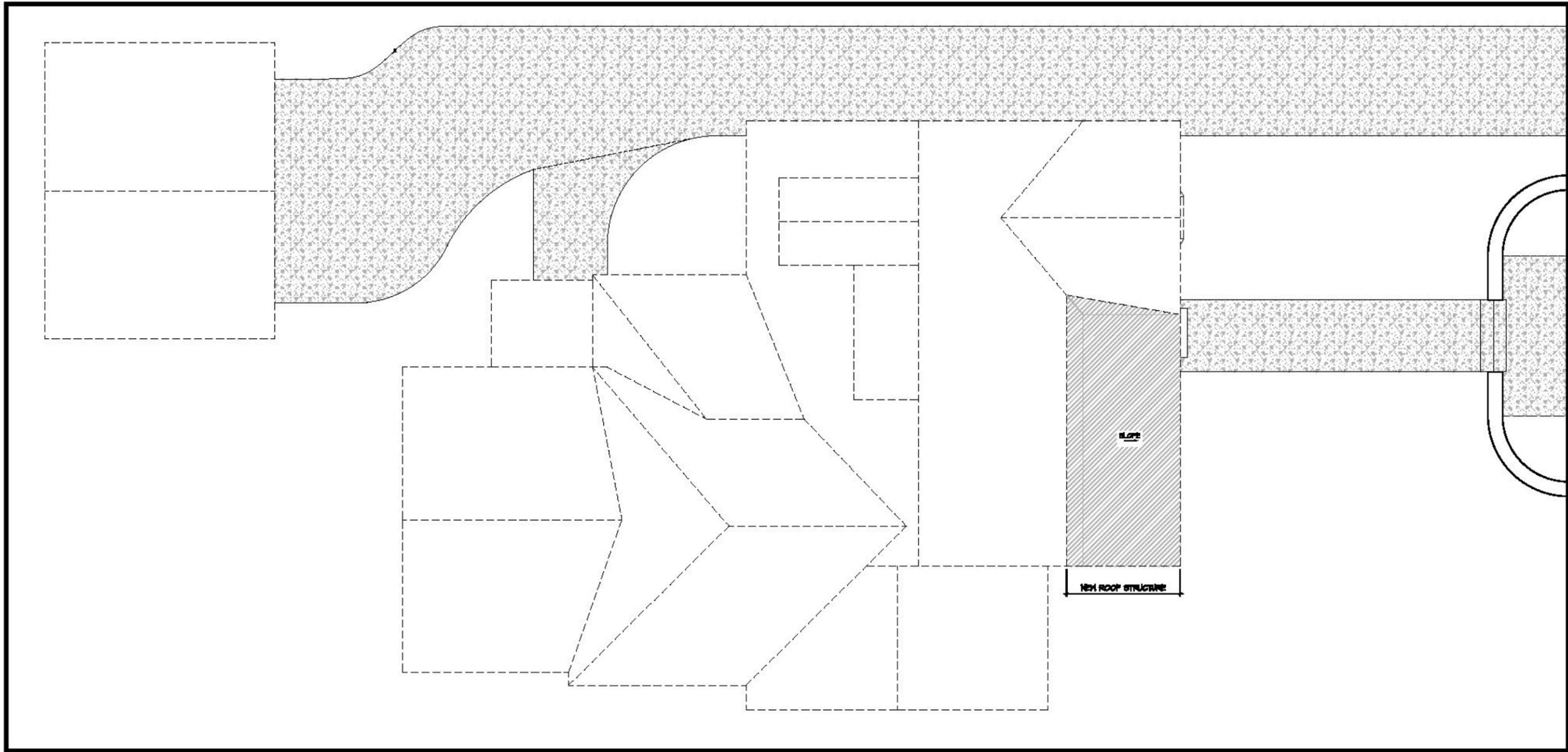


Right



Context/Adjacent Structures





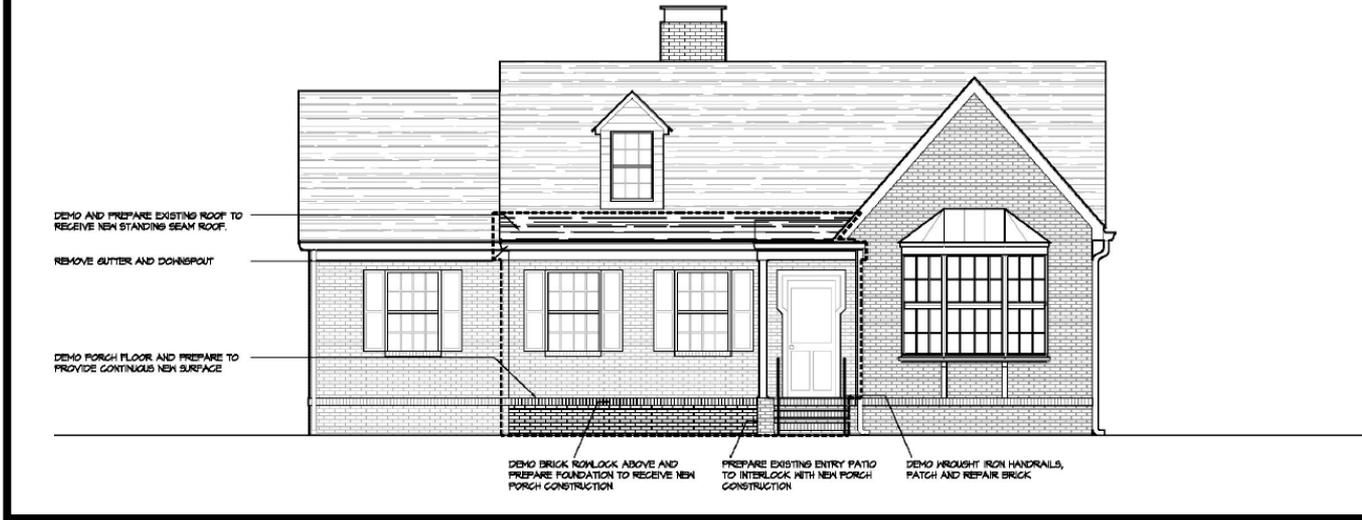
SCALE: 5/32" = 1'-0"

PROPOSED SITE PLAN

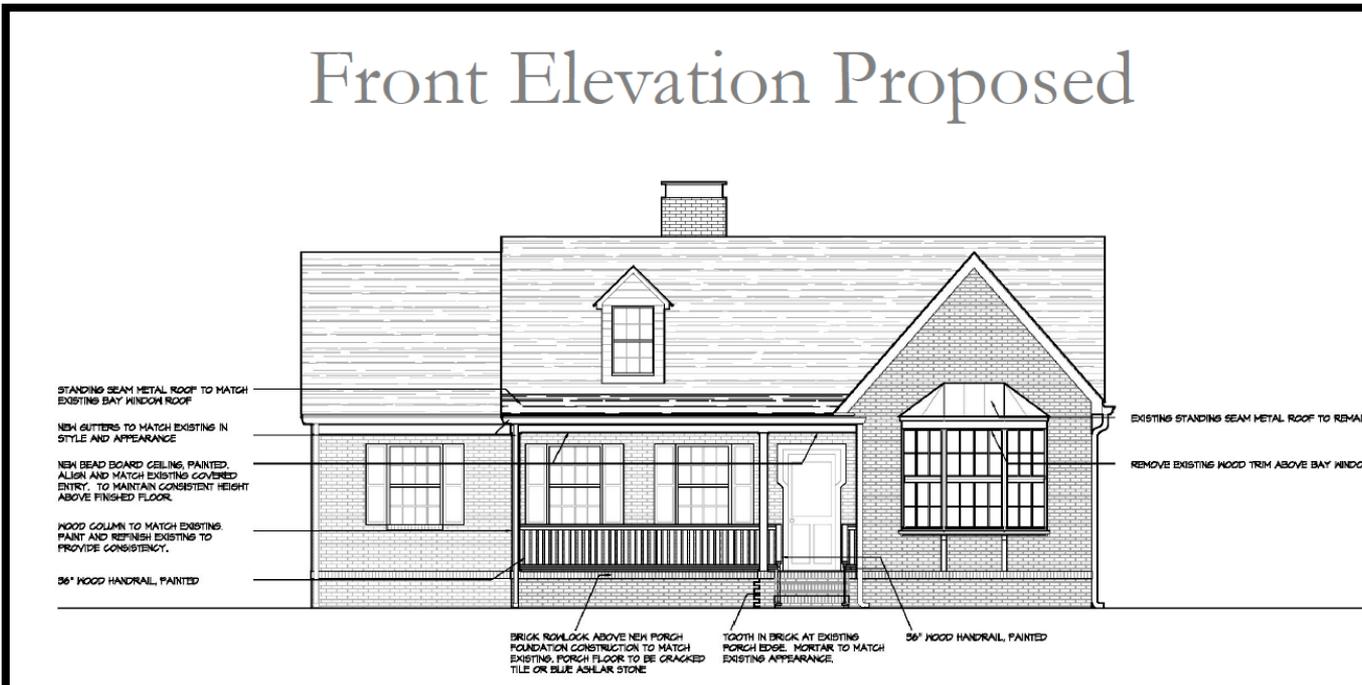
729 ROMANY RD, CHARLOTTE, NC 28203

6-28-16

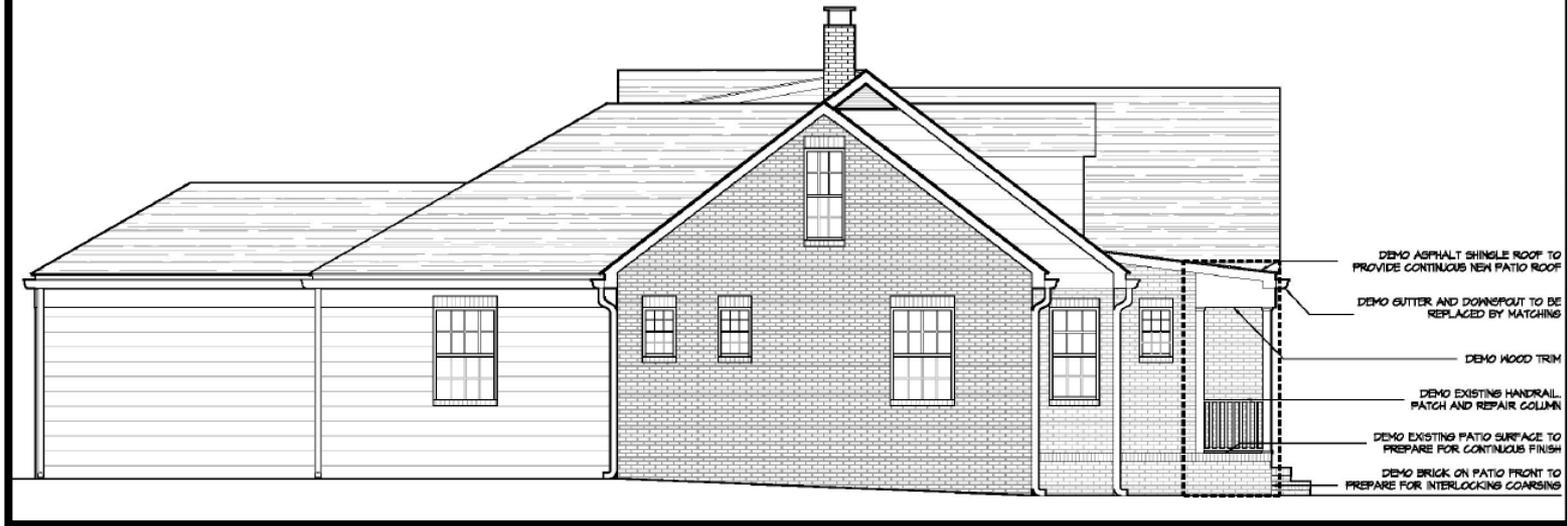
Front Elevation Existing



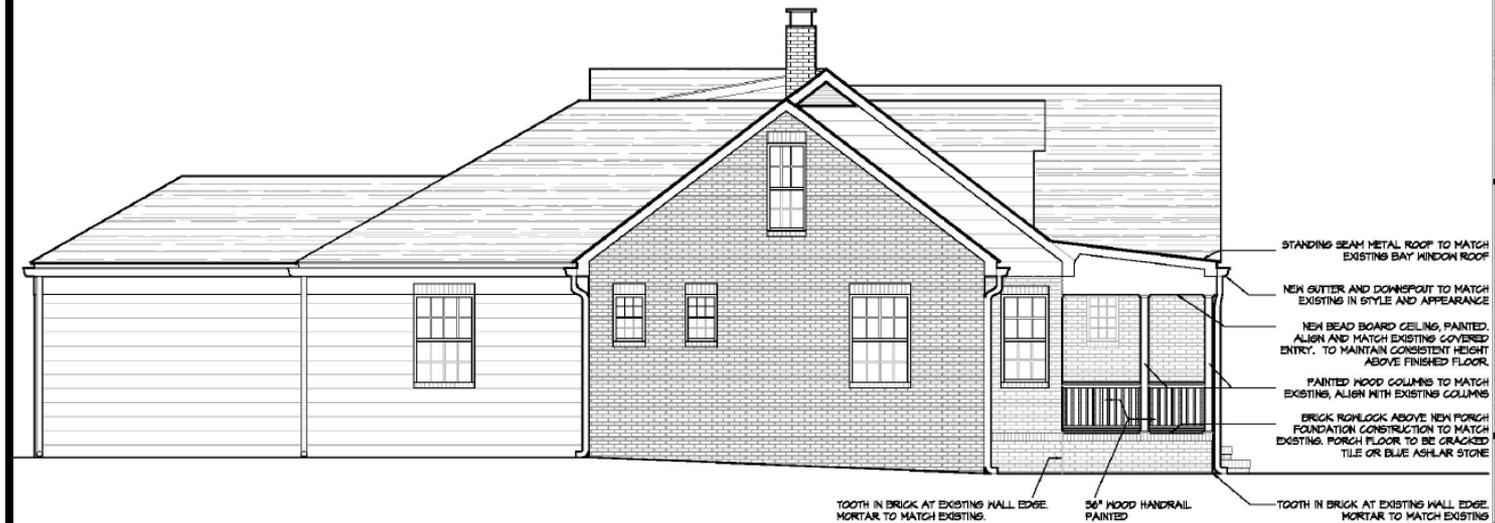
Front Elevation Proposed



Left Elevation Existing



Left Elevation Proposed



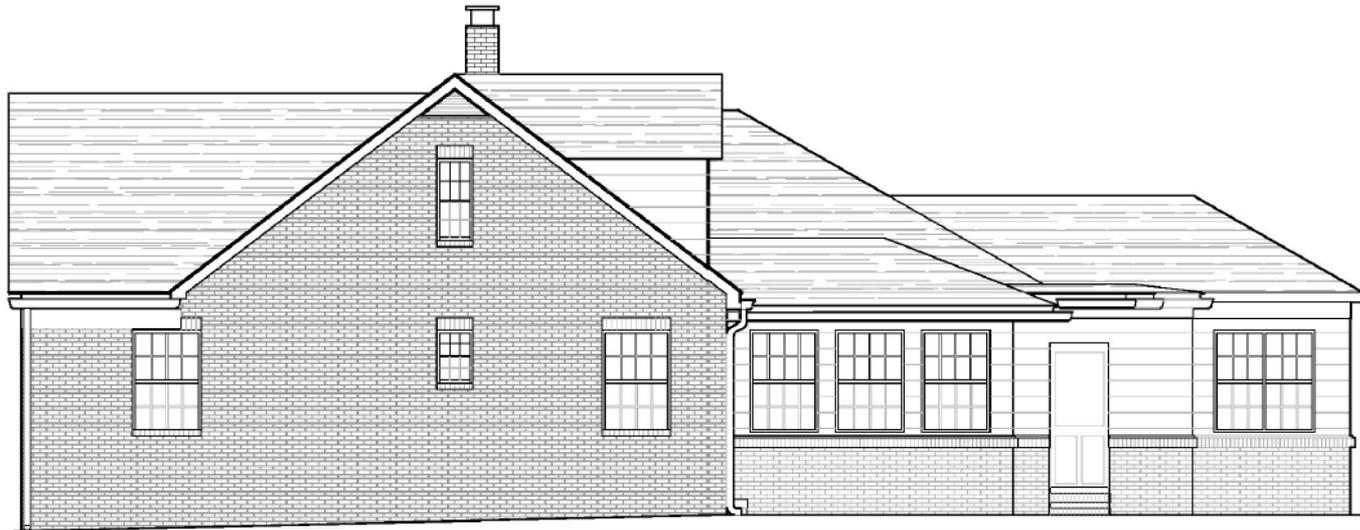
Rear Elevation Existing



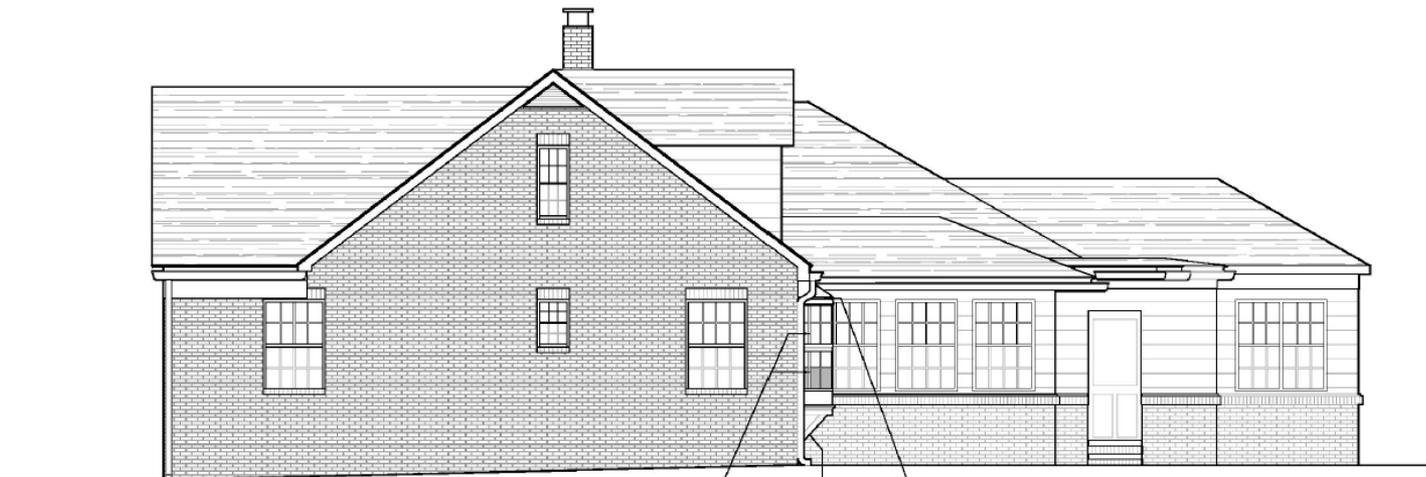
Rear Elevation Proposed



Right Elevation Existing



Right Elevation Proposed

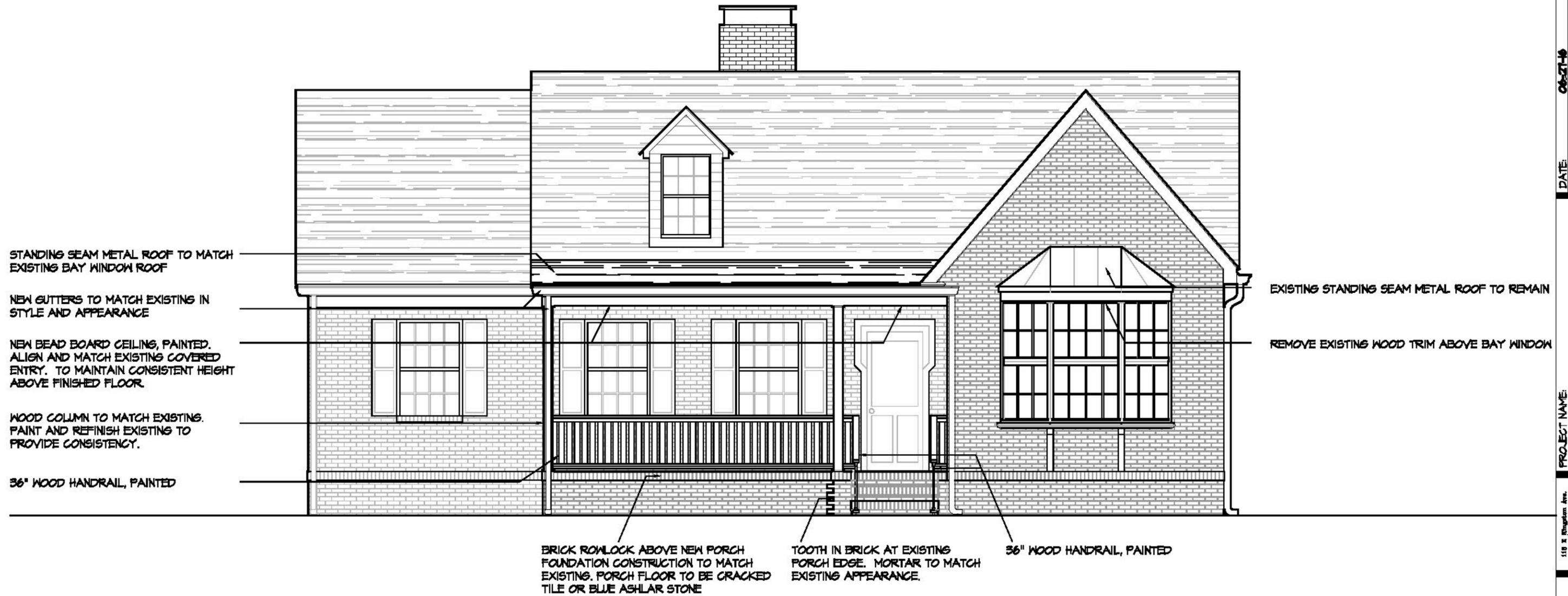


NEW BAY WINDOWS TO MATCH FRONT BAY WINDOW IN STYLE AND MATERIAL.

PAINTED WOOD STRUCTURAL SUPPORTS FOR BAY WINDOW TO MATCH EXISTING BAY WINDOW ON FRONT ELEVATION.

WOOD TRIM AND STANDING SEAM METAL ROOF TO MATCH EXISTING BAY WINDOW ON FRONT ELEVATION.

Front Elevation Proposed



SCALE: 3/16" = 1'-0"

FRONT ELEVATION - PROPOSED

SHEET NO:

08-27-16

DATE: 08-27-16

REVISION:

DETAIL:

FRONT ELEV. NEW

DRAWN BY: SWS

PROJECT NAME:

124 ROMANY ROAD

119 N. Kingston Ave.
Charleston, SC 29405
Tel: 704-578-0001
Fax: 704-578-0817
www.fryday.com

Fryday & Doynne

ARCHITECTS

MEMBER AIA

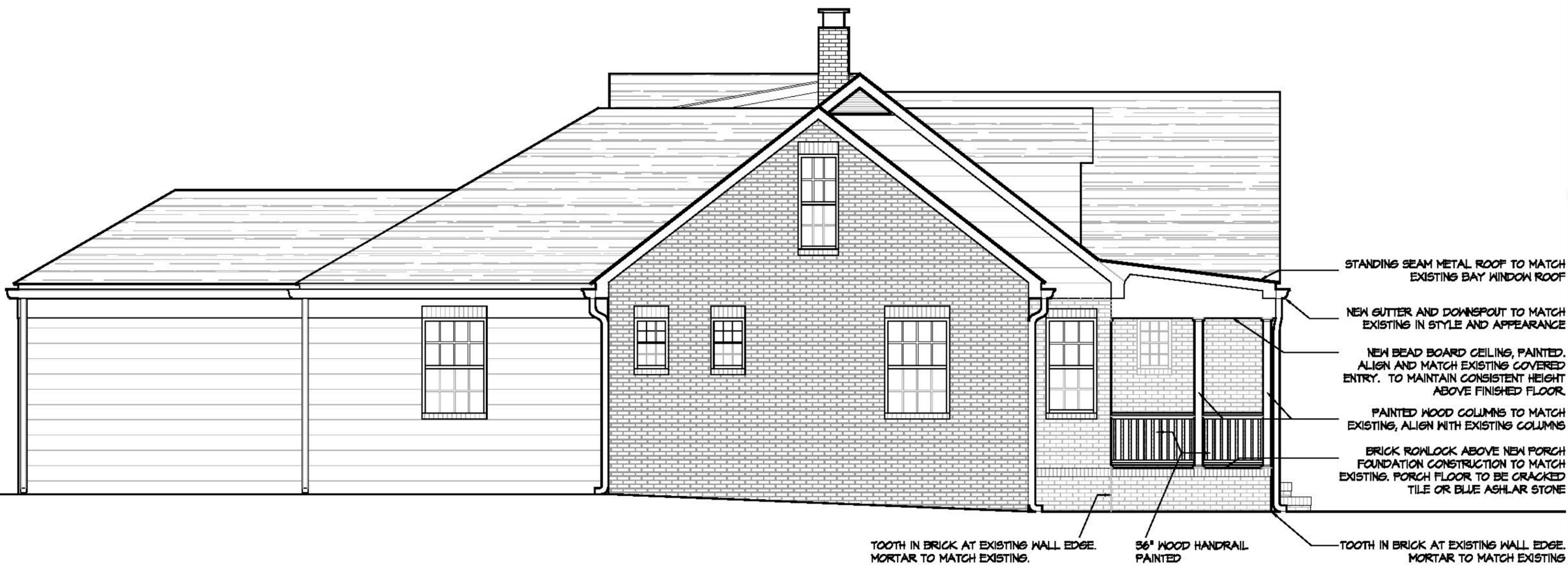
MEMBER ASPE

Left Elevation Proposed

SHEET NO:
 DATE: 08-27-16
 REVISION:
 DETAIL: FRONT ELEV. NEW
 DRAWN BY: SMS

PROJECT NAME:
 121 ROMANY ROAD

110 N. Kingston Ave.
 Chesapeake, VA 23040
 Tel: 757-578-0001
 Fax: 757-578-0017
 www.fryday.com



SCALE: 3/16" = 1'-0"

LEFT ELEVATION - PROPOSED

Rear Elevation Proposed

- ASPHALT SHINGLE ROOF TO REMAIN
- NEW GUTTERS TO MATCH EXISTING (SEE ALTERNATE FOR FULL GUTTER AND DOWNSPOUT REPLACEMENT).
- WOOD TRIM AND STANDING SEAM METAL ROOF TO MATCH EXISTING BAY WINDOW ON FRONT ELEVATION.
- NEW BAY WINDOWS TO MATCH FRONT BAY WINDOW IN STYLE AND MATERIAL.
- PAINTED WOOD STRUCTURAL SUPPORTS FOR BAY WINDOW TO MATCH EXISTING BAY WINDOW ON FRONT ELEVATION.
- BRICK TO MATCH EXISTING. INTERLOCK NEW BRICK INTO EXISTING TO PROVIDE A CONTINUOUS PATTERN AND SURFACE.



SCALE: 3/16" = 1'-0"

REAR ELEVATION - PROPOSED

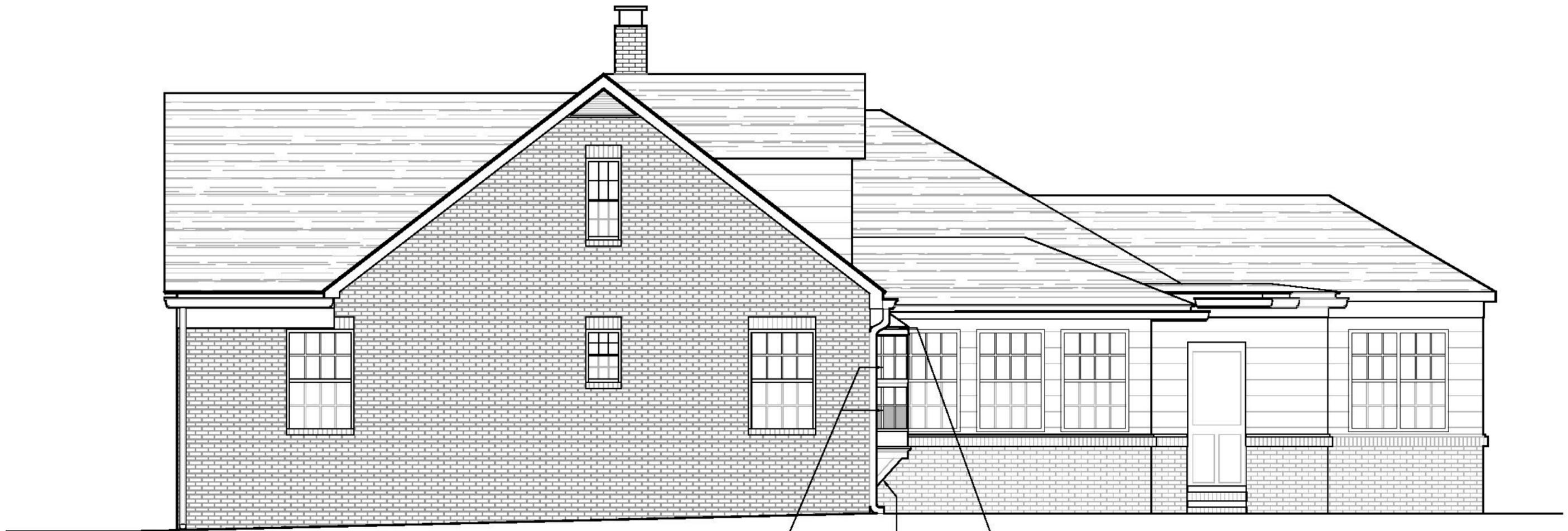
SHEET NO:
 DATE: 08-27-16
 REVISION:
 DETAIL: REAR ELEV, NEW
 DRAWN BY: SMS

PROJECT NAME:
 121 ROMANY ROAD

119 N. Kingston Ave.
 Charleston, SC 29405
 Tel: 704-578-0001
 Fax: 704-578-0817
 www.fryday.com



Right Elevation Proposed



NEW BAY WINDOWS TO MATCH FRONT BAY WINDOW IN STYLE AND MATERIAL.

PAINTED WOOD STRUCTURAL SUPPORTS FOR BAY WINDOW TO MATCH EXISTING BAY WINDOW ON FRONT ELEVATION.

WOOD TRIM AND STANDING SEAM METAL ROOF TO MATCH EXISTING BAY WINDOW ON FRONT ELEVATION.

SCALE: 3/16" = 1'-0"

RIGHT ELEVATION - PROPOSED

SHEET NO:

06-27-16

DATE: 06-27-16

REVISION: -

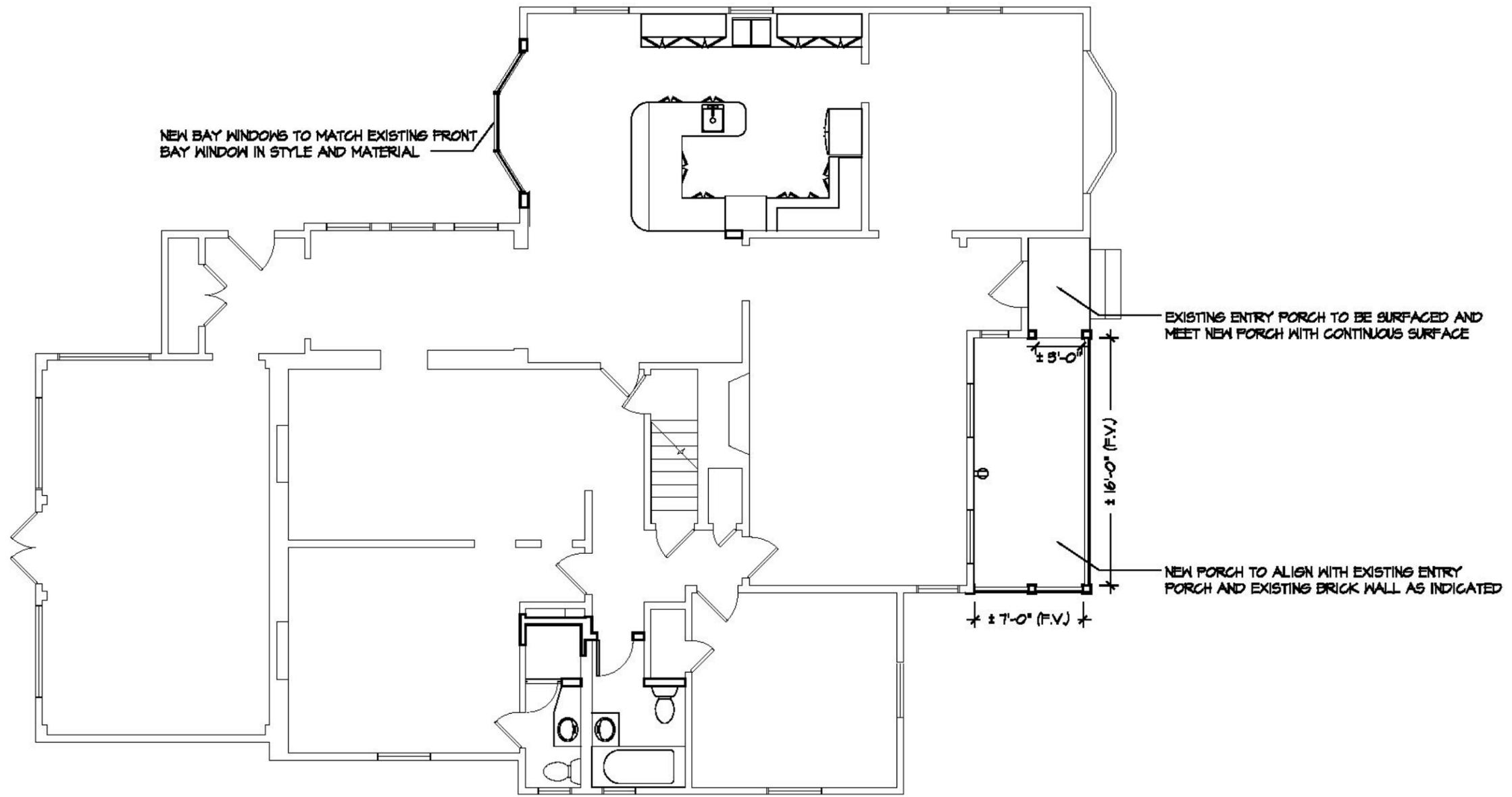
DETAIL: RIGHT ELEV. NEW

DRAWN BY: SWS

PROJECT NAME:
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ARCHITECTS



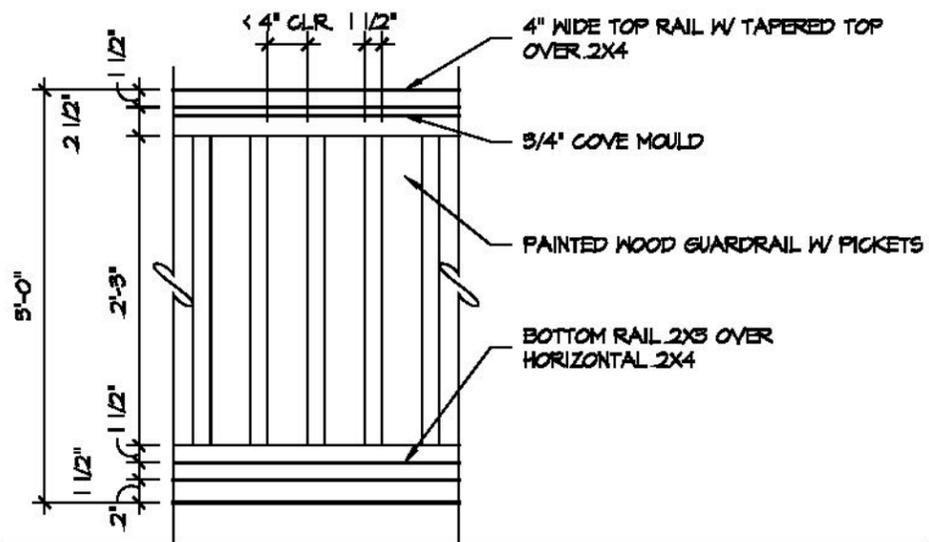
SCALE: 1/8" = 1'-0"

FIRST FLOOR - PROPOSED RENOVATION

729 ROMANY RD, CHARLOTTE, NC 28203

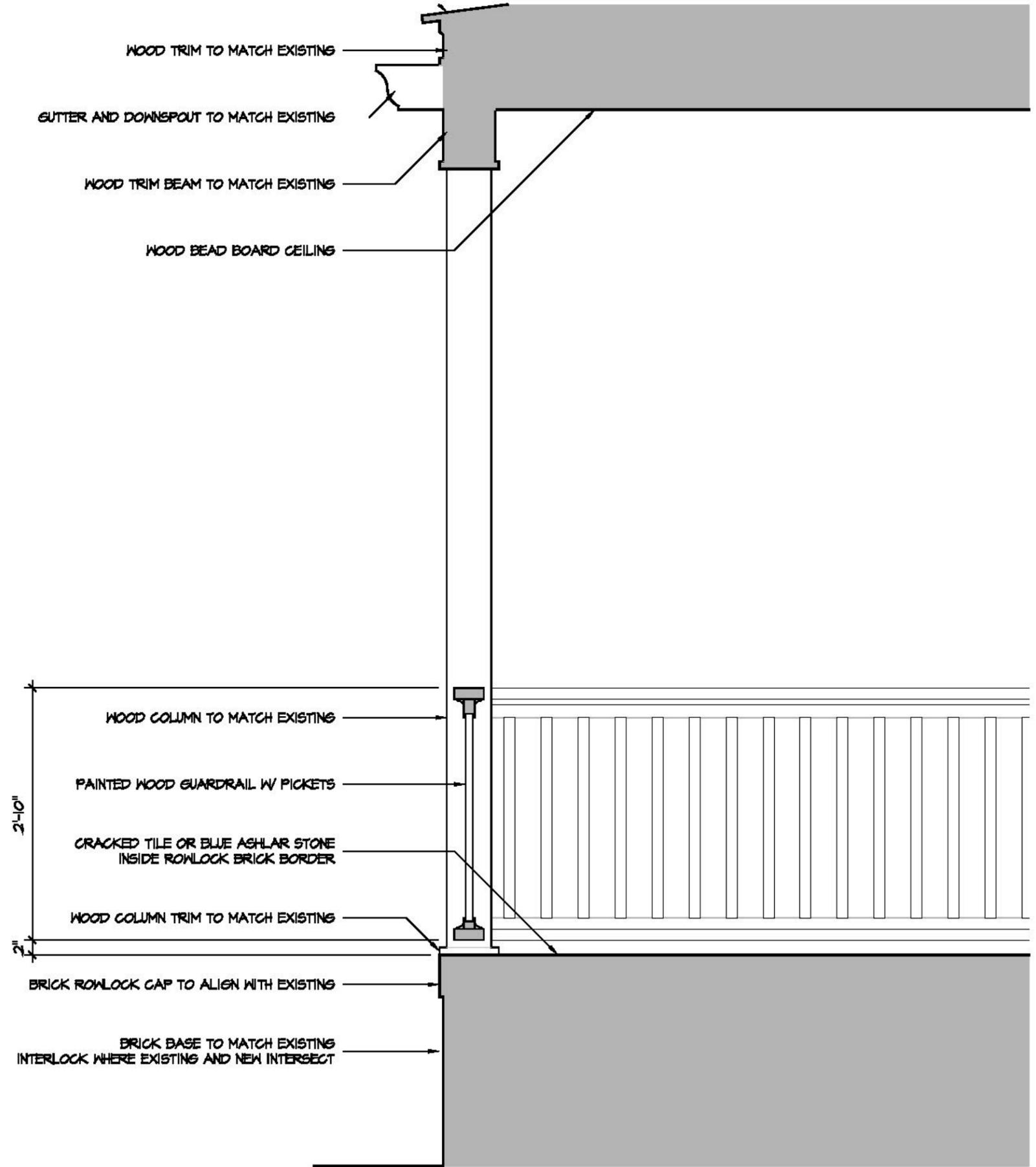
6-27-16

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SCALE: 3/4" = 1'-0"

HANDRAIL DETAIL 02



SCALE: 3/4" = 1'-0"

FRONT DECK DETAIL 01