

LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1948 Park Road

SUMMARY OF REQUEST: Addition

APPLICANT: Craig Isaac

Details of Proposed Request

Existing Context

The existing structure is a 1.5 story Bungalow constructed in 1925 and listed in the Dilworth National Register of Historic Places. The site is at the corner of Brookside Avenue, East Tremont Avenue and Park Road. Adjacent residential structures are 1, 1.5 and 2 stories.

Proposal

The project is a one story addition to the right side and rear. New materials, windows and trim will match existing. A small secondary porch will be added on the right side.

Policy & Design Guidelines for Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Policy & Design Guidelines – Accessory Buildings: Garages, page 50

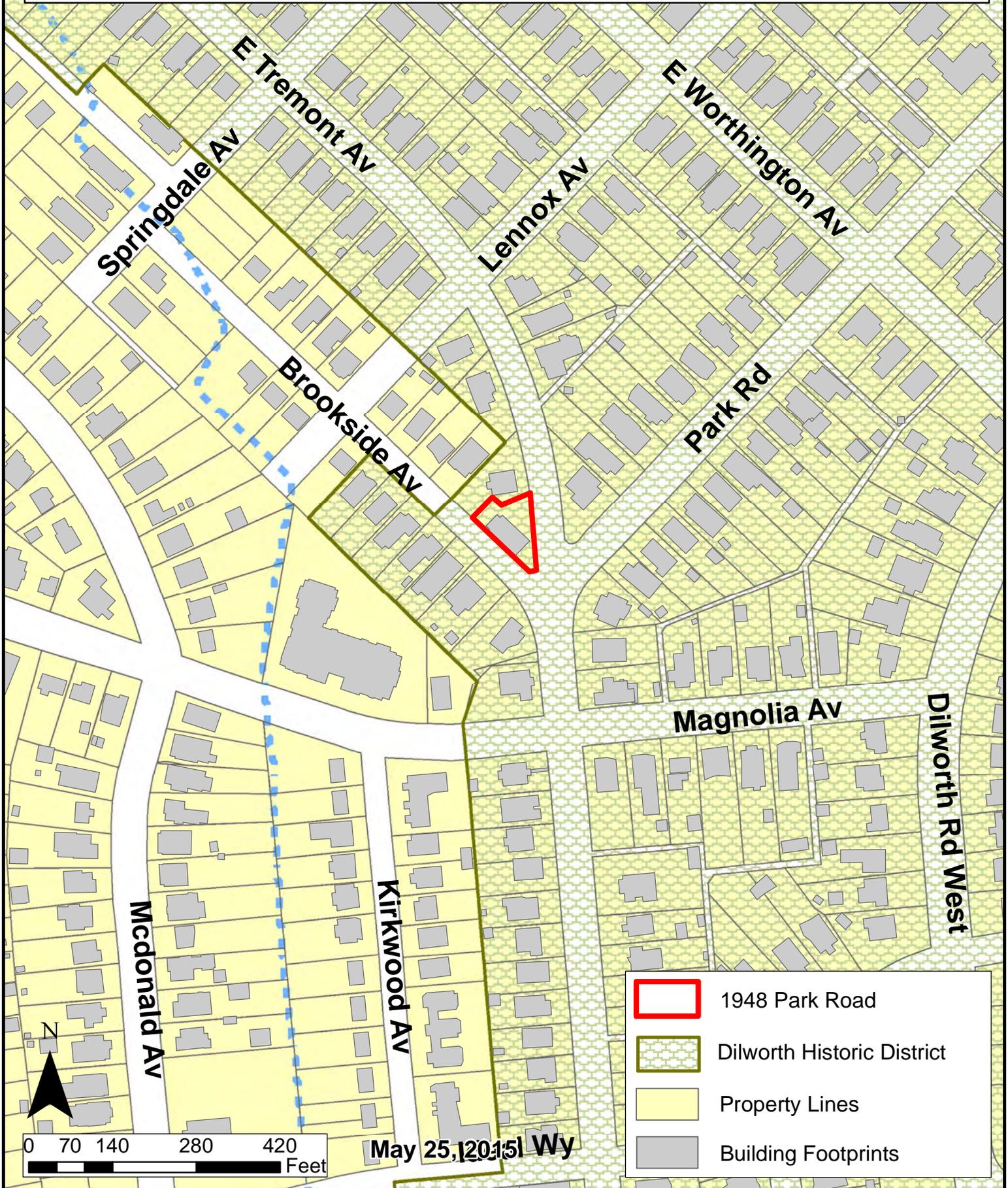
Although the main building on a lot makes the strongest statement about a property's contribution to the character of a Local Historic District, the accessory buildings that share the lot can also have a significant impact on the streetscape. The Historic District Commission recognizes that many of the older support buildings throughout Charlotte's older neighborhoods are inadequate to meet the needs of today's families and businesses.

1. New garages cannot be located in front or side yards.
2. New garages must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for new garages must be inspired by the main building they serve. Building details should be derived from the main structure.
4. Garages must be of a proper scale for the property, and must have an appropriate site relation to the main structure on a lot and to structures on surrounding properties.
5. Garage doors that are substantially visible from any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

Staff Analysis

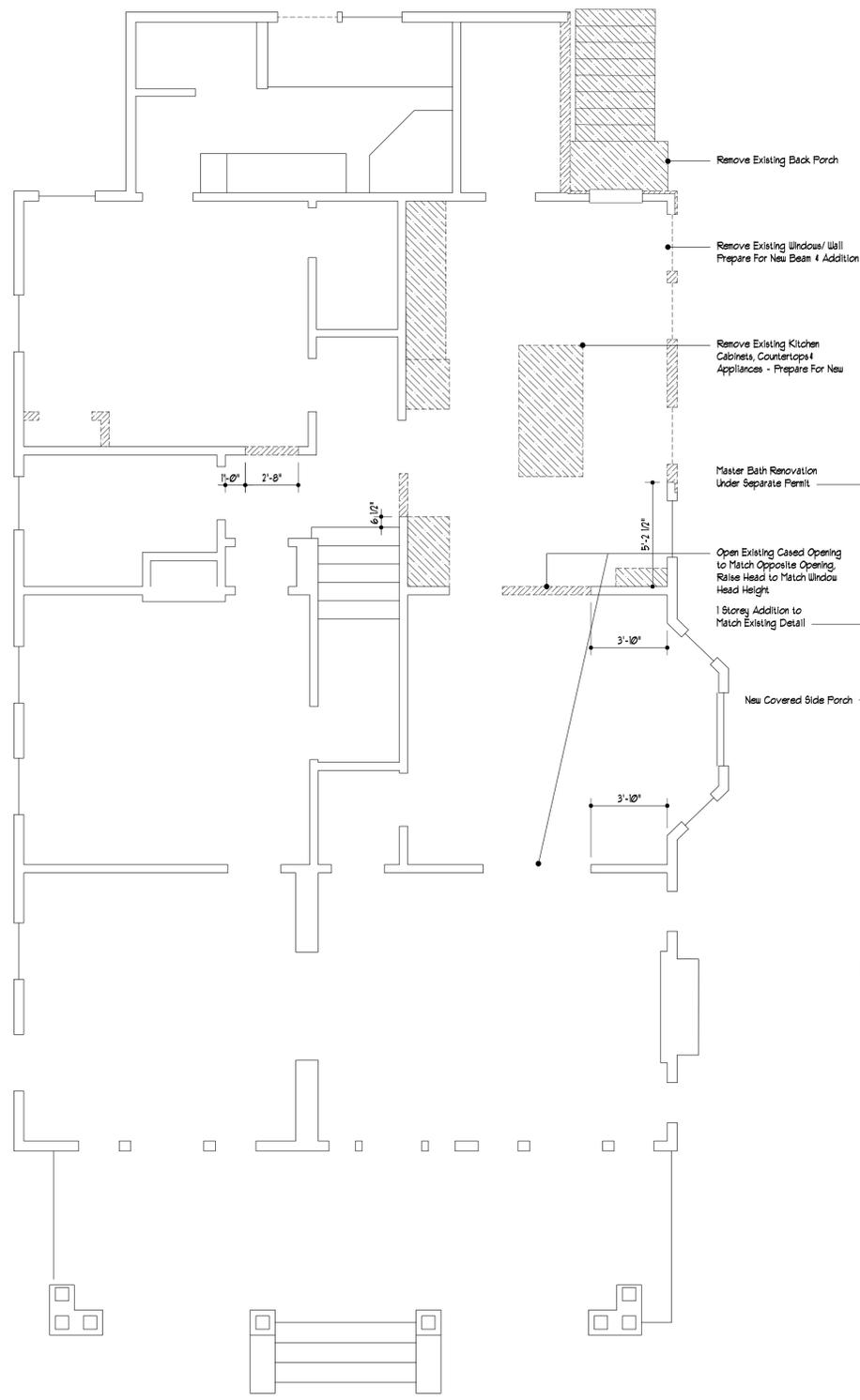
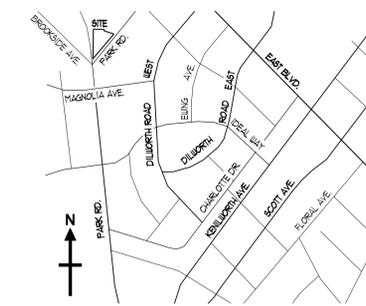
The Commission will determine if the proposal meets the guidelines for garages and additions.

Charlotte Historic District Commission - Case 2016-116
HISTORIC DISTRICT: DILWORTH

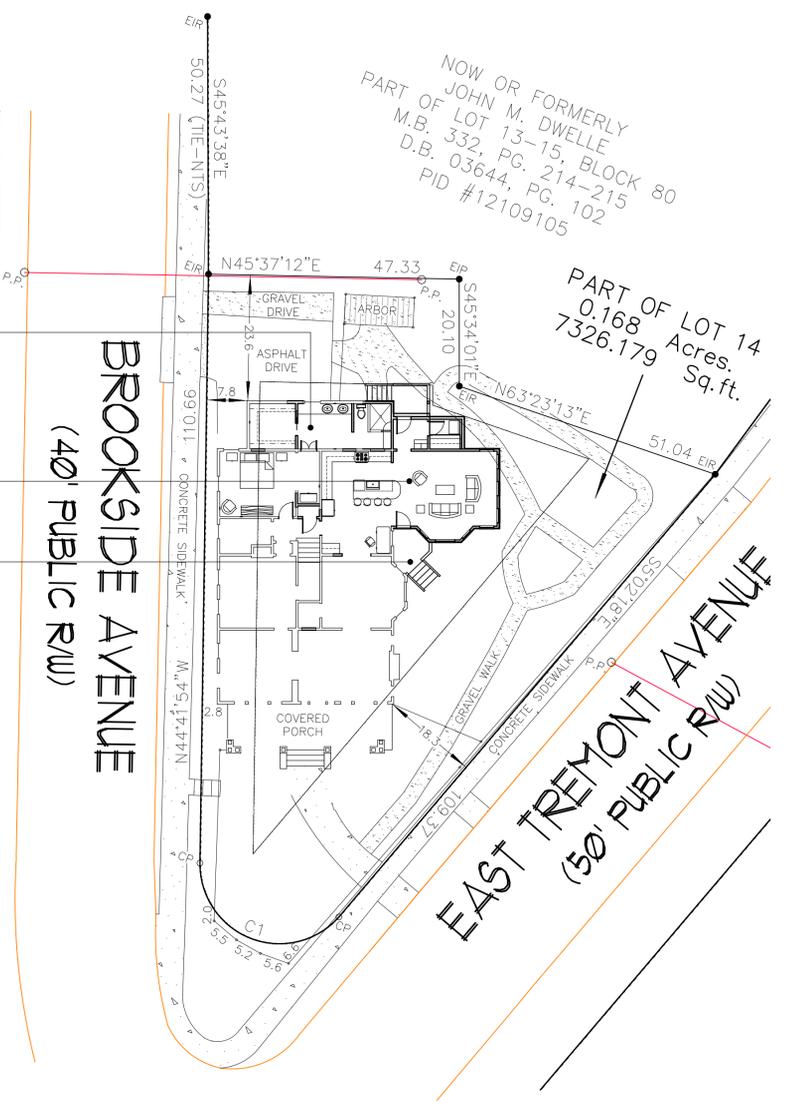


-  1948 Park Road
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

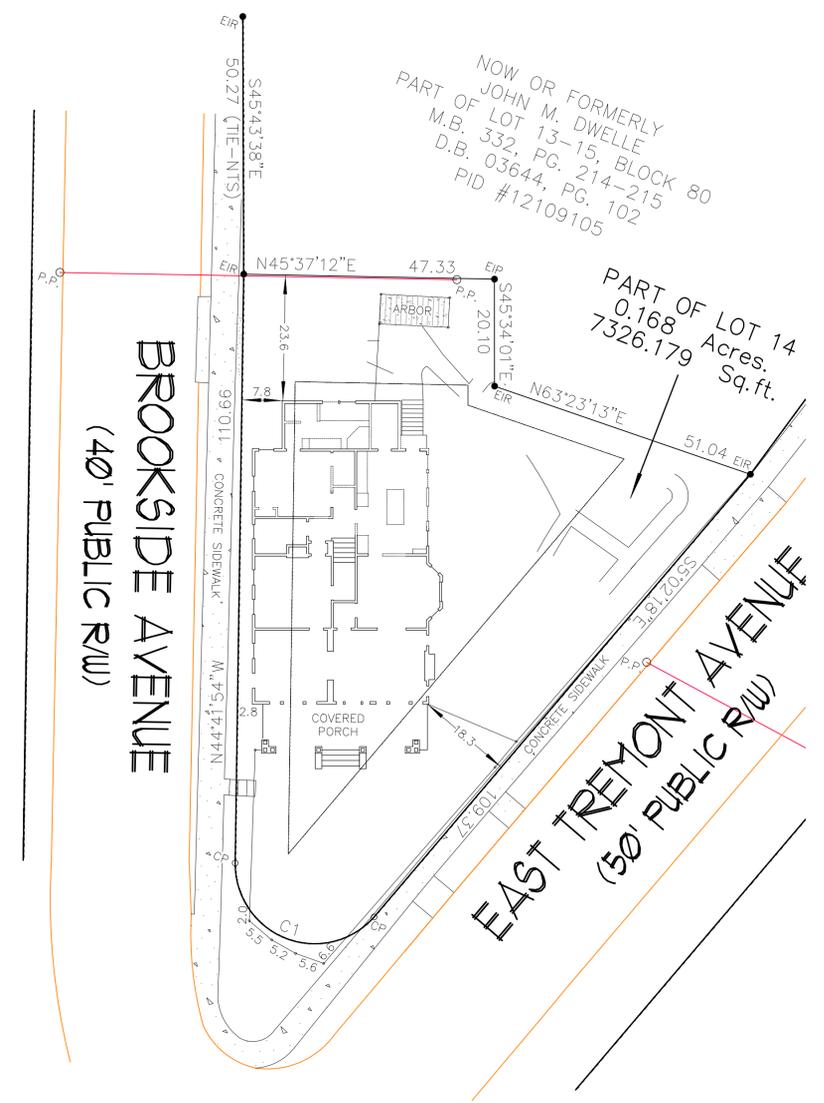




3 1st Floor Demolition
 1/4" = 1' - 0"



2 Ren Site Plan
 1/6" = 1' - 0"



1 Existing Site Plan
 1/6" = 1' - 0"

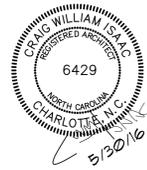
Carey
 Renovation/
 Addition
 1948
 Park
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Exterior Walls to be Fully Sheathed w/ 1/2 Plywood
 in Lieu of R602.10 Bracing Requirements
 w/ exception 2, Panel Edges to be Fastened at 3" o.c.
 and 6" o.c. at Intermediate Framing



3 Ren Right Elevation
 1/4" = 1' - 0"

New 1 Storey Addition -
 Match Existing Details
 New Covered Painted Wood
 Side Porch w/
 Masonry Foundation

Extend Existing Bay Roof
 to Intersect w/ New Bay Roof



4 Ren Side Porch Elev
 1/4" = 1' - 0"



1 Existing Right Elev
 1/8" = 1' - 0"

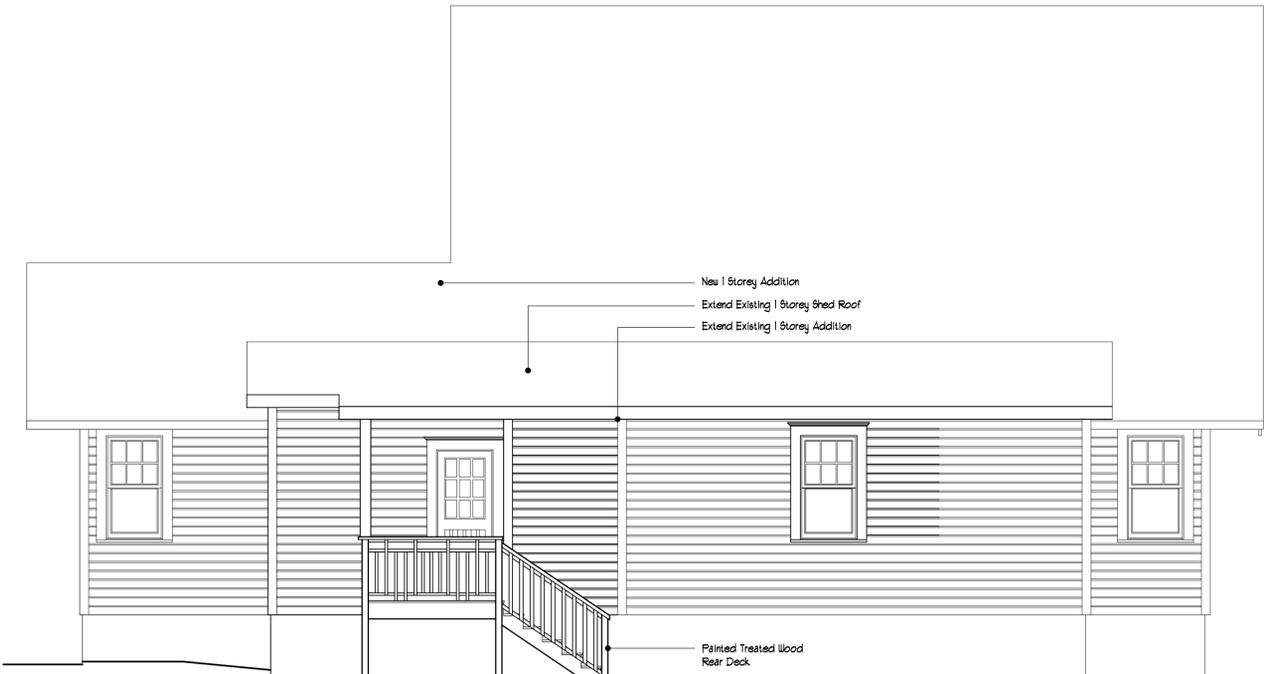


6 Existing Rear Elev
 1/8" = 1' - 0"

Note:
 Re-use as Much Existing
 Material as possible or
 Match Existing Profiles,
 Finishes and Dimensions.



5 Existing Front Elev
 1/8" = 1' - 0"



2 Ren Rear Elevation
 1/4" = 1' - 0"

New 1 Storey Addition
 Extend Existing 1 Storey Shed Roof
 Extend Existing 1 Storey Addition

Painted Treated Wood
 Rear Deck



1 Ren Front Elevation
 1/4" = 1' - 0"

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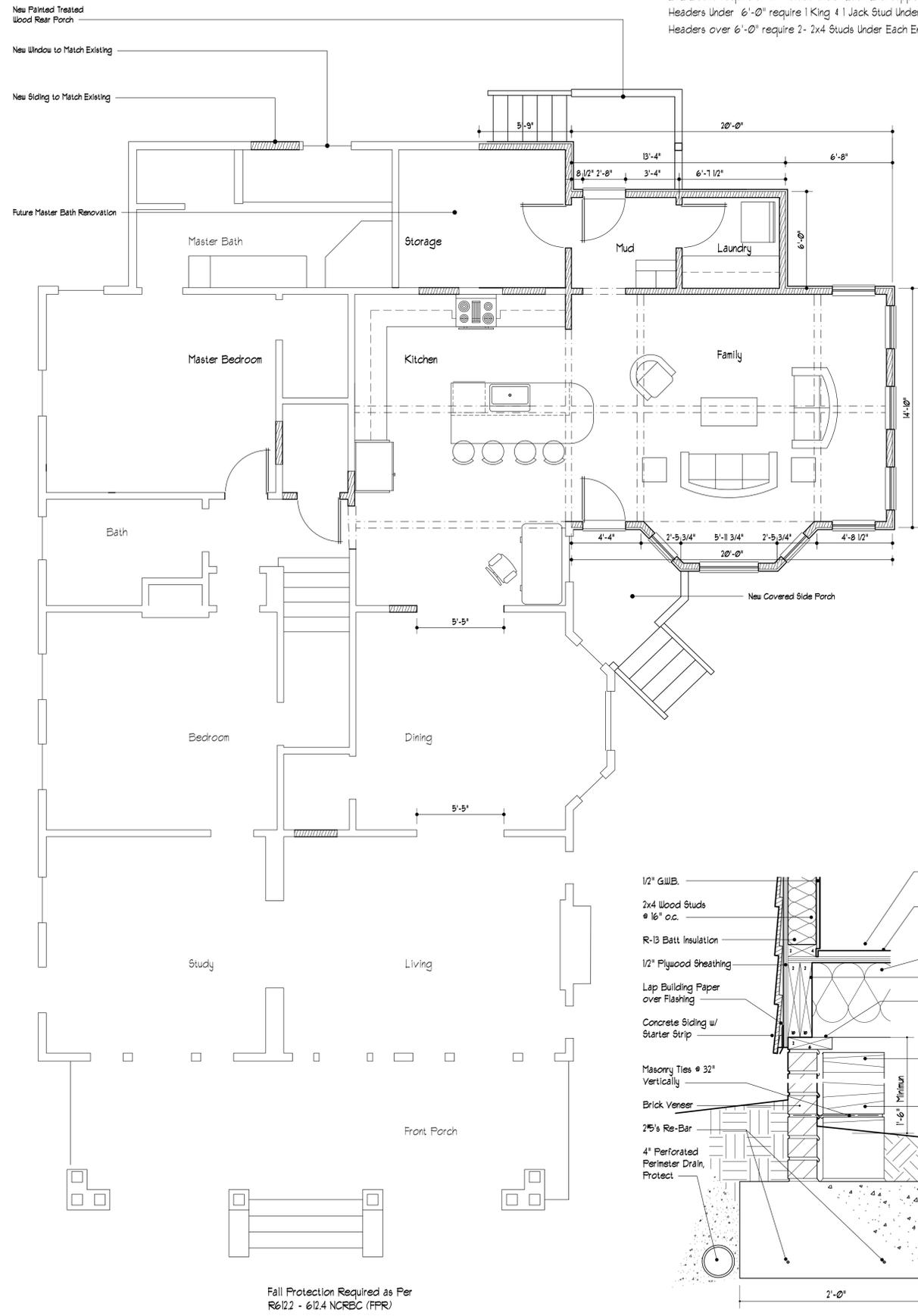
L 3 1/2" x 3 1/2" x 1/4"	Not More Than 3'-6"	4" Bearing
L 5" x 3 1/2" x 5/16" LLV	3'-7" to 8'-0"	6" Bearing
L 6" x 3 1/2" x 5/16" LLV	8'-1" to 10'-0"	8" Bearing

Steel Beams require 5- 2x4 Studs Under Each End Support U.N.O.
 LVL Beams require 3- 2x4 Studs Under Each End Support U.N.O.
 Headers Under 6'-0" require 1 King & 1 Jack Stud Under Each End Support U.N.O.
 Headers over 6'-0" require 2- 2x4 Studs Under Each End Support U.N.O.

In Lieu of Wall Bracing Requirements of Section R602.10, All Stories Shall Be Sheathed With Wood Structural Sheathing Panels. Panels Shall Be Fastened at 6" o.c. Along The Edges and 12" o.c. at Intermediate Framing. Unless Noted Otherwise on the Drawings, No Blocking, Straps, or Special Holddowns Are Required if Sheathed as Described Above. Garage Door Portals/ Lugs Shall Be Anchored w/ a Min. of (2) Anchor Bolts Per Lug Per The Foundation Anchorage Requirements. If Required by Engineering Evaluation, Additional Portal Framing Requirements Will Be Shown on The Drawings.

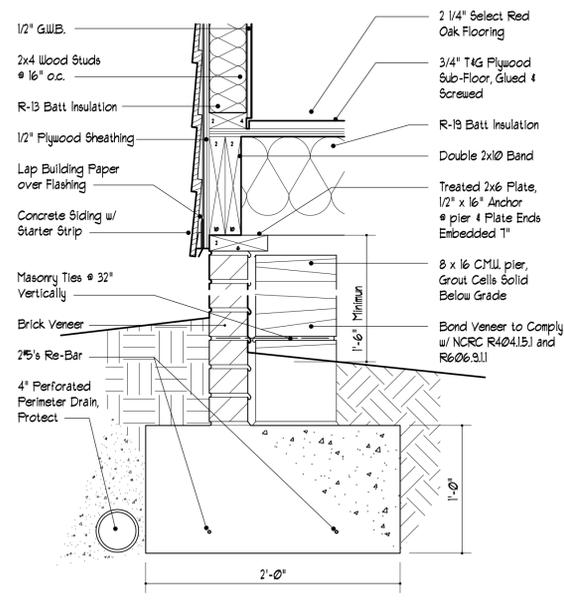
Factory Built Gas Fireplaces as per Chapter 10
 Section R-1004, R-1005 & R-1006
 NC State Residential Building Code

Member Size	Simpson Hanger
(2) 2x8	HUS 28-2
(2) 2x10	HUS 210-2 (max.)
(2) 2x12	HUS 212-2 (max.)
(2) 1 3/4 x 9 1/4 LVL	HU 410 (max.)
(2) 1 3/4 x 11 7/8 LVL	HU 412 (max.)
(2) 1 3/4 x 14 LVL	HU 416 (max.)
(2) 1 3/4 x 16 LVL	HH5U 410
All Triple LVL's	HH5U 550/10

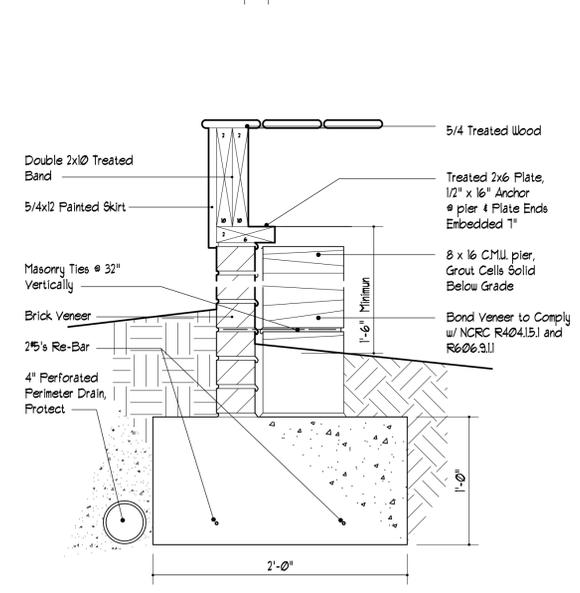
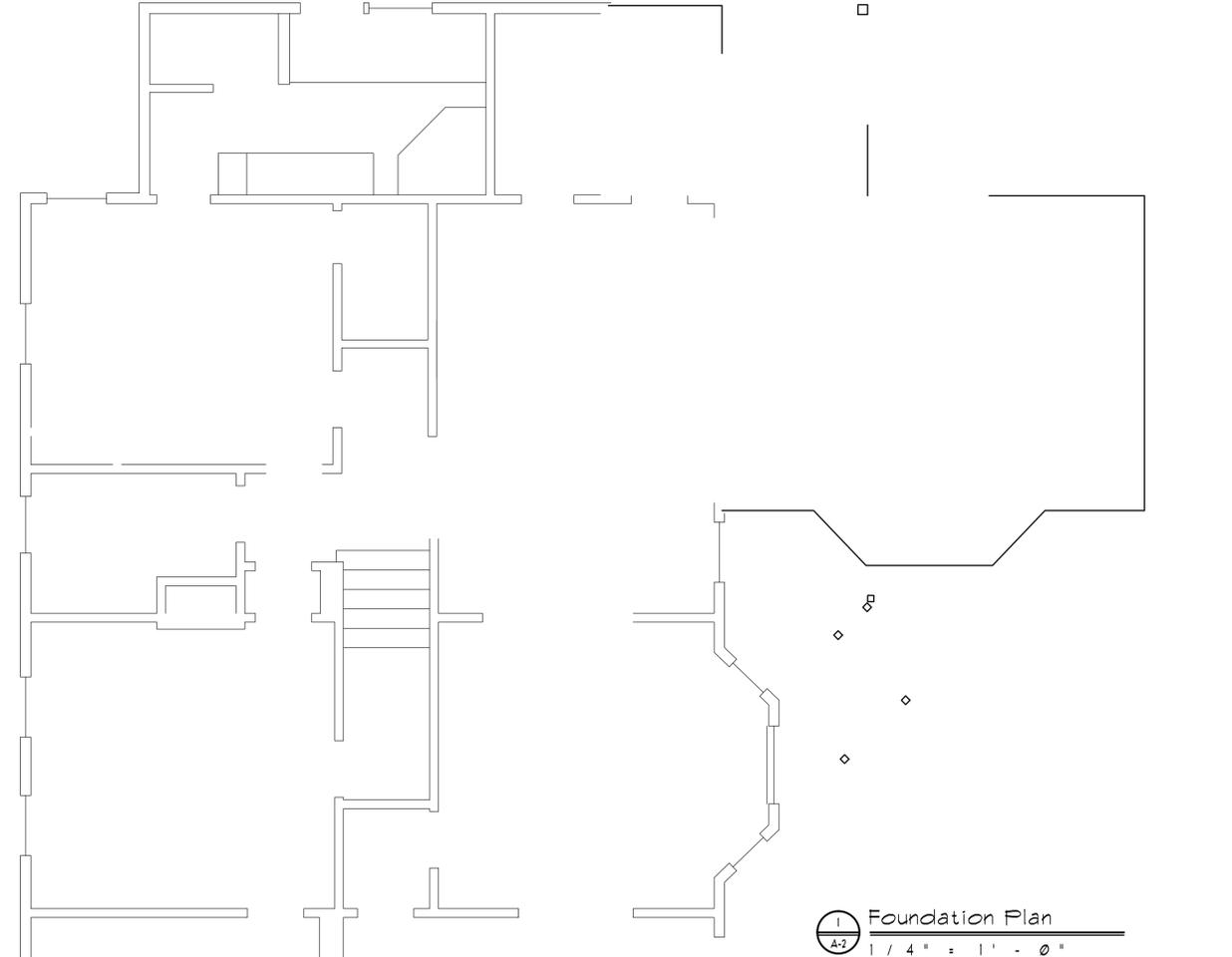


Fall Protection Required as Per
 R612.2 - 612.4 NCRBC (FPR)

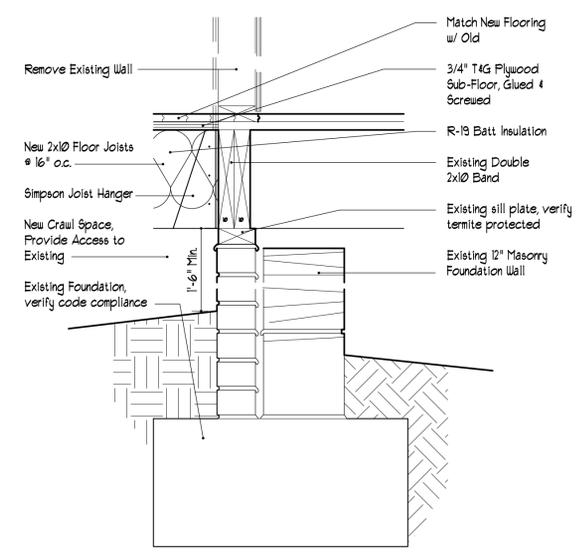
5 Ren 1st Floor Plan
 1/4" = 1' - 0"



4 Typical Detail
 1/2" = 1' - 0"



3 Porch Detail
 1/2" = 1' - 0"



2 Addition Detail
 1/2" = 1' - 0"

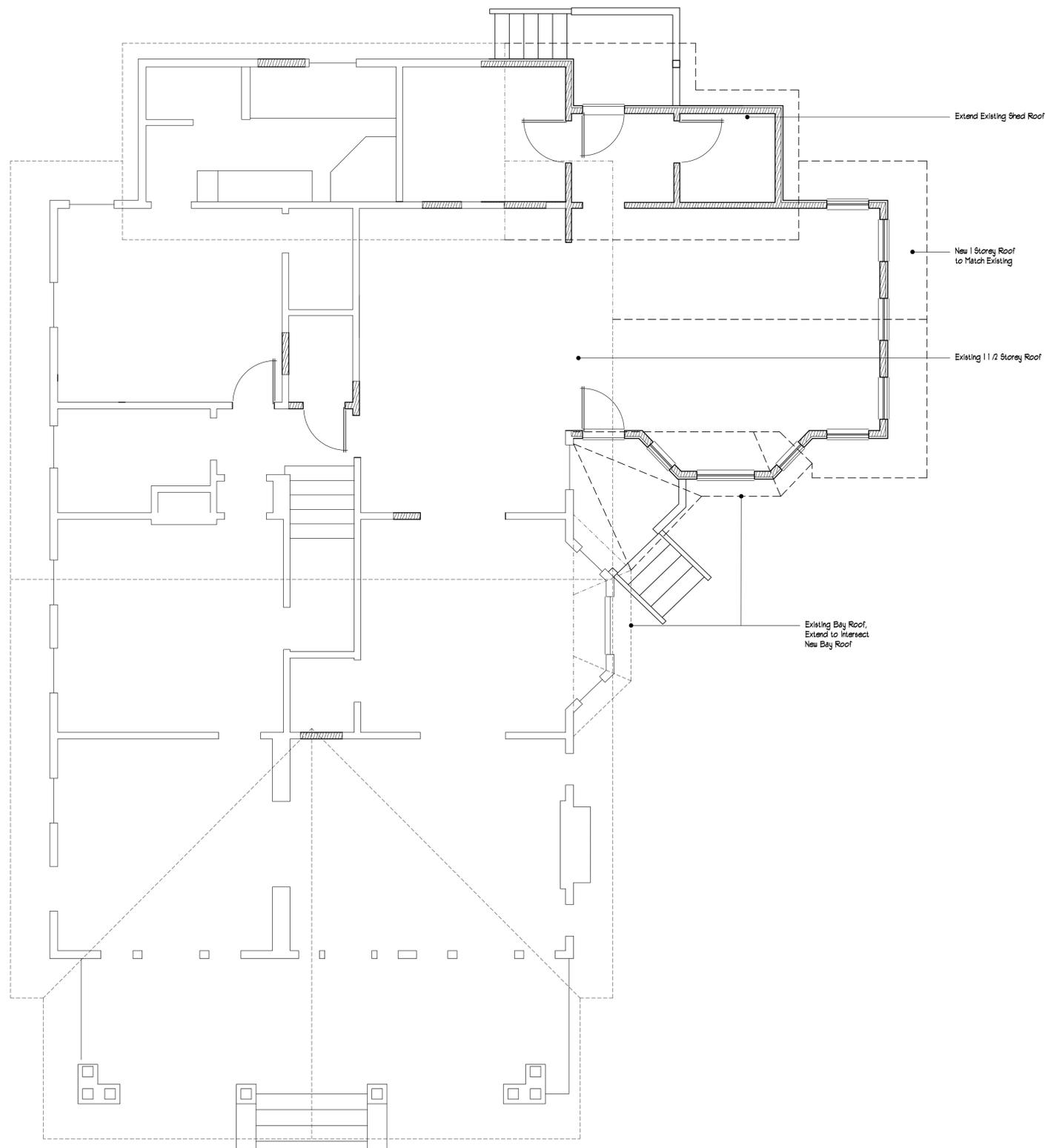
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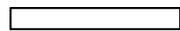
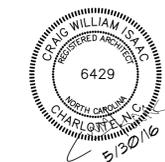
Roof Notes

Rafters Shall be 2x6 @ 16" o.c., SFF #2 Except as Noted
 Collar Ties shall be 2x6 @ 48" o.c. Located Nominally 3' below all Ridges
 Minimum 3 Collar Ties at All Ridges Even if 2 Must be Located on One Rafter
 All Hips, Valleys and Ridges are 2x10 SFF #2, Except as Noted
 All "Hogs" shall be 2- 2x6's or 2- 2x8's as Indicated on Plans
 The Boards shall be Fastened Together at Their Ends w/ 16d Nails @ 4" o.c.
 To Form an "L" Shape. All Hogs are 12' Long 2x6's Except as Noted
 BB = Beam Below
 All Braces are (2) 2x4 Stud "T's" up to 10'
 Braces over 10' are (2) 2x6 Stud "T's" up to 10' Except as Noted
 Roof Designed For Asphalt Shingles

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1 Roof Plan
 A-3 1/4" = 1' - 0"



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