

**LOCAL HISTORIC DISTRICT:** Plaza Midwood

**PROPERTY ADDRESS:** 1422 The Plaza

**SUMMARY OF REQUEST:** Detached garage

**APPLICANT:** Karey Digh

**Details of Proposed Request**

*Existing Context*

The existing structure is a single family house constructed in 1941. Adjacent structures are also single family with lots that are 192.5' in depth. There are two accessory buildings in the rear yard that will be removed. A COA for a second floor addition was issued March 14, 2014 (2013-048).

*Proposal*

The project is a detached garage and a new roof and wall system over the existing patio in the rear yard. The garage height is approximately 25'-10". Proposed siding material on the garage is cementitious shake style and wood lap.

**Policy & Design Guidelines for Additions, page 36**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

## **Policy & Design Guidelines – Accessory Buildings: Garages, page 50**

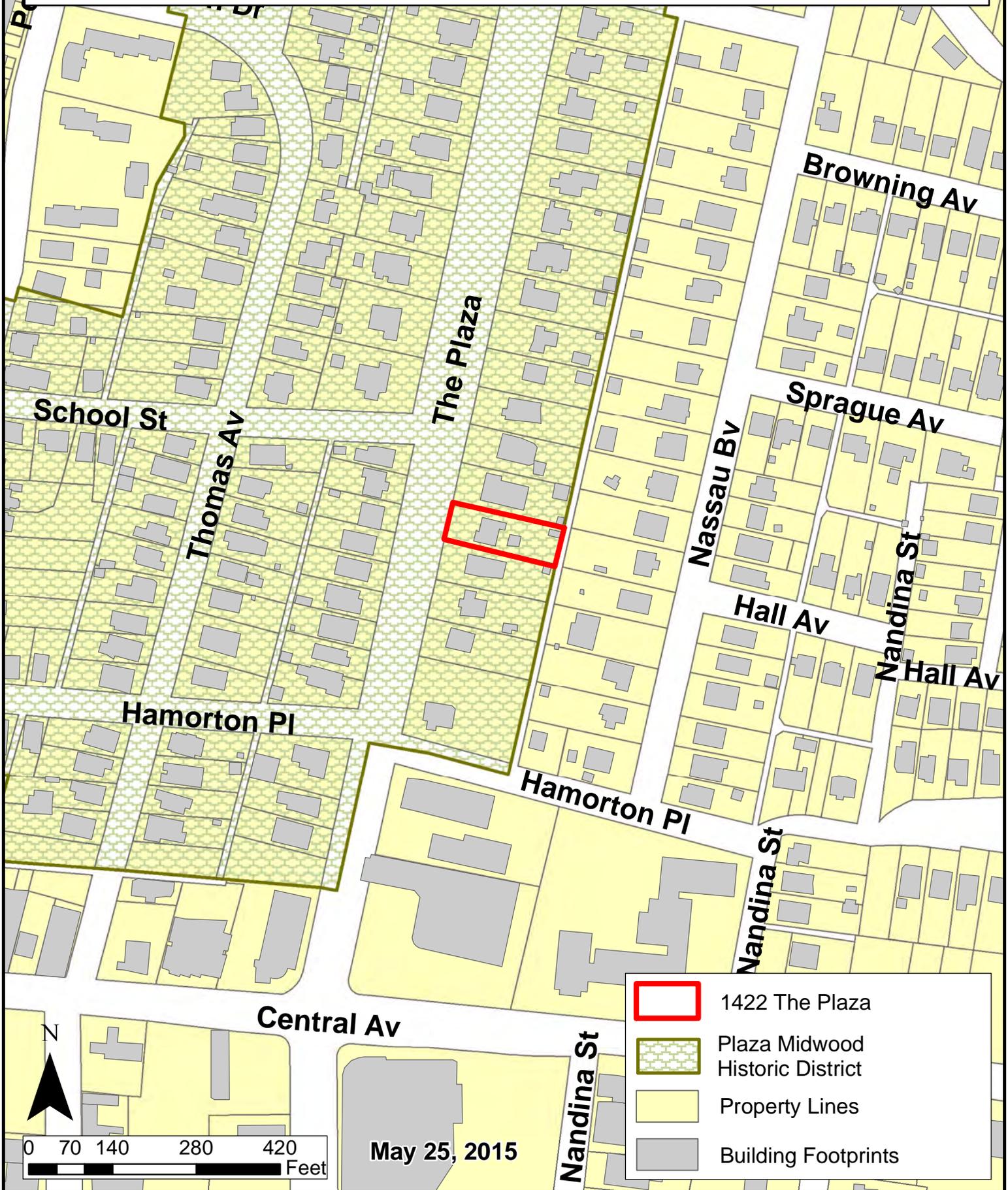
Although the main building on a lot makes the strongest statement about a property's contribution to the character of a Local Historic District, the accessory buildings that share the lot can also have a significant impact on the streetscape. The Historic District Commission recognizes that many of the older support buildings throughout Charlotte's older neighborhoods are inadequate to meet the needs of today's families and businesses.

1. New garages cannot be located in front or side yards.
2. New garages must be constructed using materials and finishes that are in keeping with the main building they serve, and that are appropriate to the district.
3. Designs for new garages must be inspired by the main building they serve. Building details should be derived from the main structure.
4. Garages must be of a proper scale for the property, and must have an appropriate site relation to the main structure on a lot and to structures on surrounding properties.
5. Garage doors that are substantially visible from any street must be of a style and materials that are appropriate to the building and the district. Stamped metal and vinyl doors are considered to be inappropriate, and are discouraged.

### **Staff Analysis**

The Commission will determine if the proposal meets the guidelines for garages and additions.

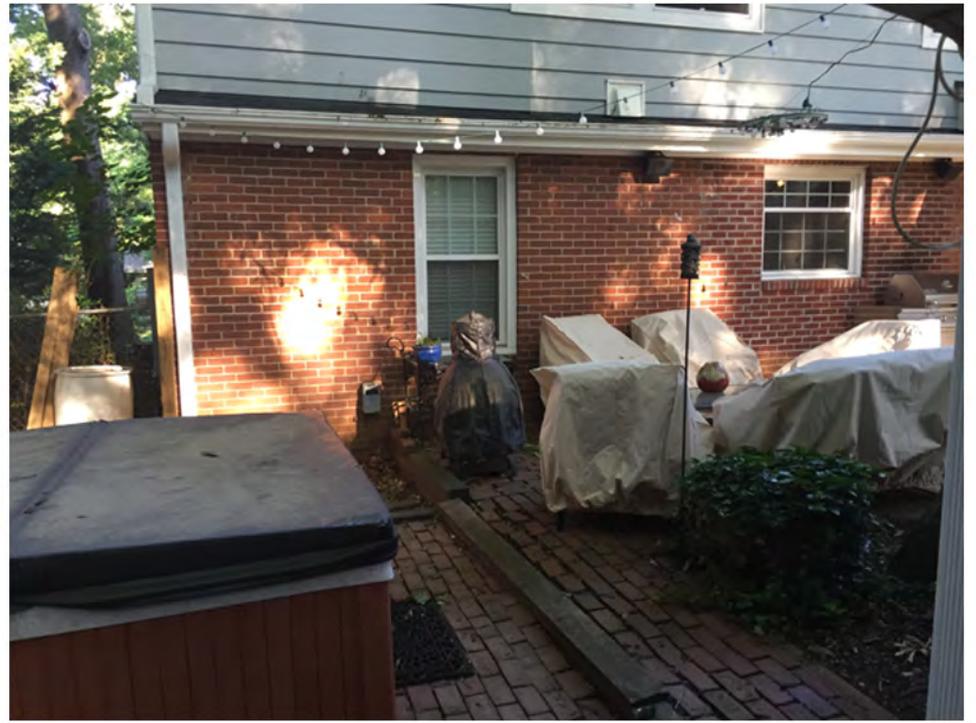
*Charlotte Historic District Commission - Case 2016-114*  
**HISTORIC DISTRICT: PLAZA MIDWOOD**

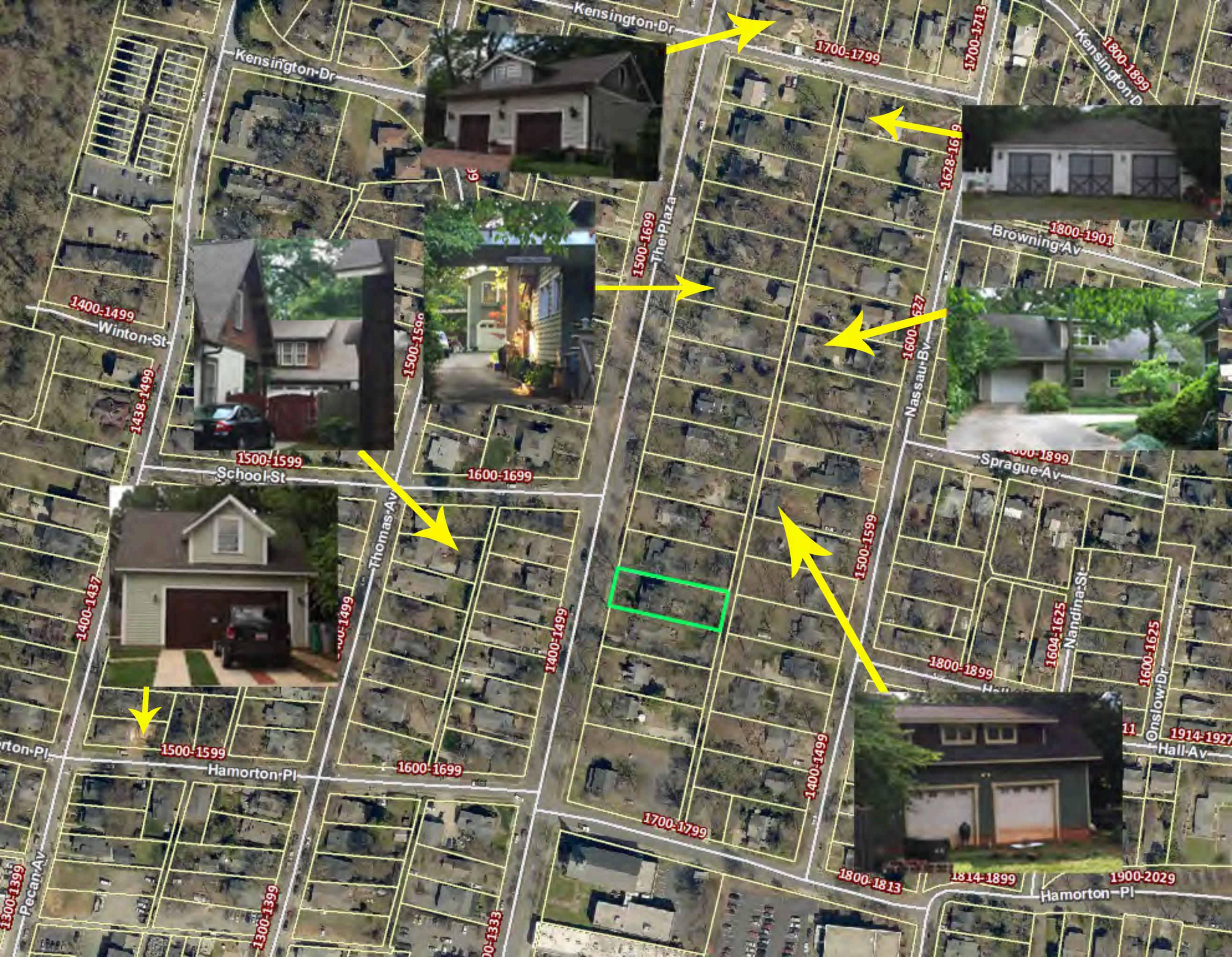


	1422 The Plaza
	Plaza Midwood Historic District
	Property Lines
	Building Footprints









Kensington-Dr

Kensington-Dr

1700-1799

1700-1713

1800-1899



1400-1499

1438-1499

1500-1599

1500-1599

1500-1699

1600-1699

1628-1699

1600-1627

1800-1901

1800-1899

1400-1437

1400-1499

1400-1499

1500-1599

1800-1899

1604-1625

1600-1625

1500-1599

1500-1599

1600-1699

1400-1499

1914-1927

1300-1399

Pecan-Av

1300-1399

1300-1333

1700-1799

1800-1813

1814-1899

1900-2029

Hamorton-Pl

Hamorton-Pl

Onslow-Dr

Hall-Av

Browning-Av

Sprague-Av

Nandina-St

Kensington-Dr

Kensington-Dr

1700-1799

1700-1713

1800-1899



1400-1499

1438-1499

1500-1599

1500-1599

1500-1699

1600-1699

1628-1699

1600-1627

1800-1901

1800-1899

1400-1437

1400-1499

1400-1499

1500-1599

1800-1899

1604-1625

1600-1625

1500-1599

1500-1599

1600-1699

1400-1499

1914-1927

1300-1399

Pecan-Av

1300-1399

1300-1333

1700-1799

1800-1813

1814-1899

1900-2029

Hamorton-Pl

Hamorton-Pl

Onslow-Dr

Hall-Av

Browning-Av

Sprague-Av

Nandina-St



GARAGE REAR EAST



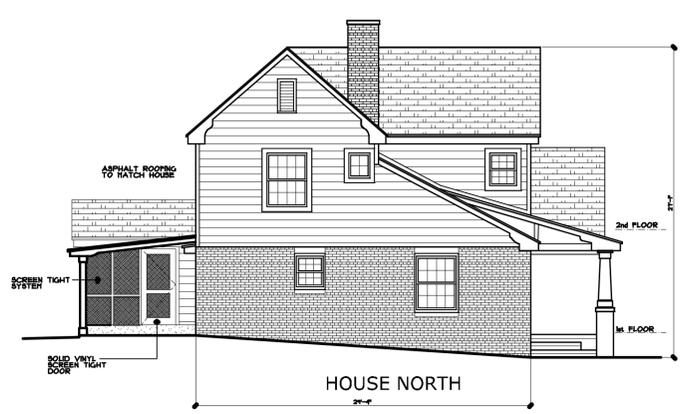
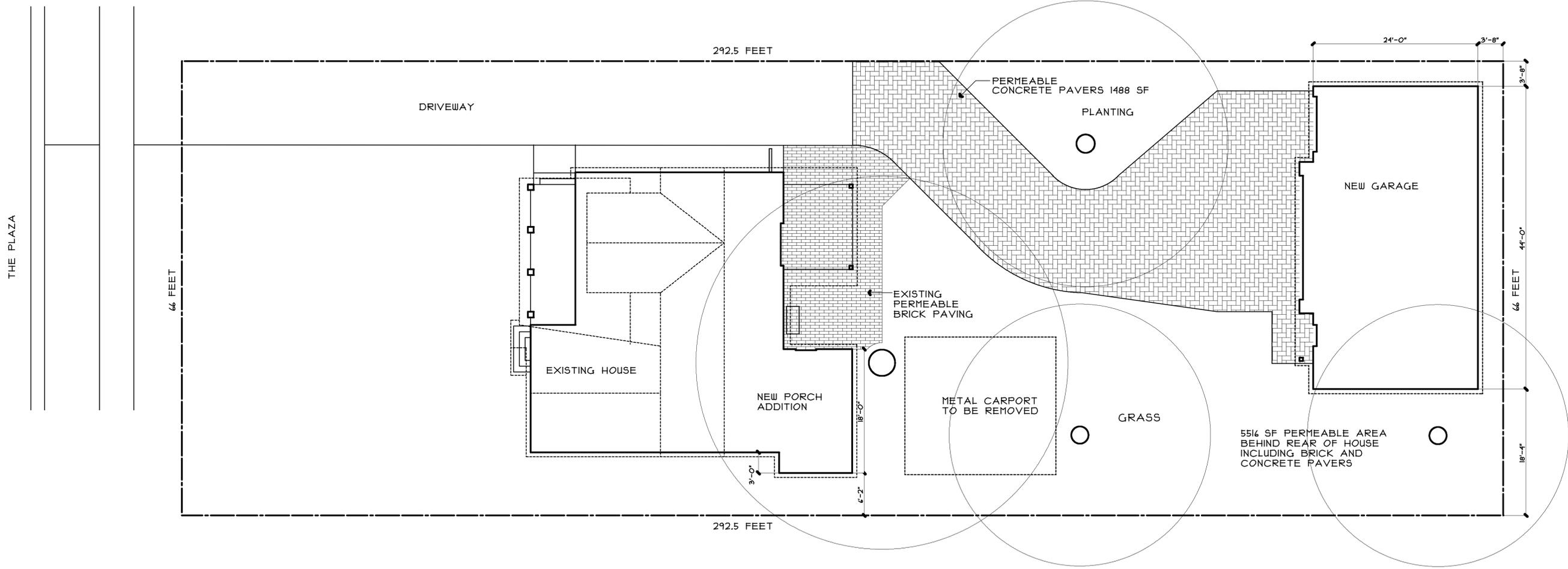
GARAGE NORTH



GARAGE WEST



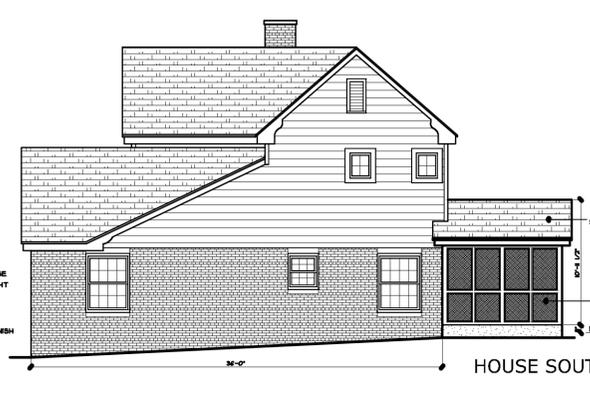
GARAGE SIDE SOUTH



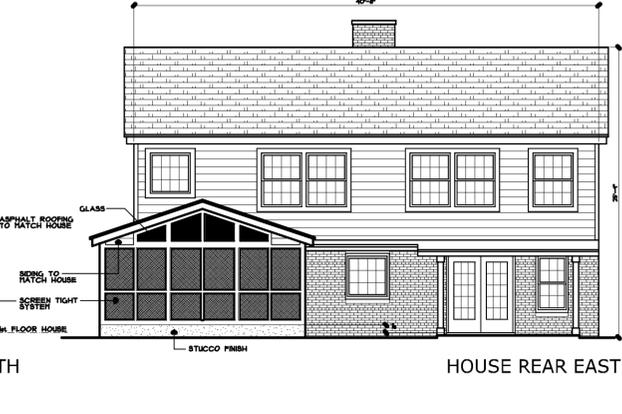
HOUSE NORTH



HOUSE FRONT WEST



HOUSE SOUTH



HOUSE REAR EAST

**Franceschi Architects**  
 340 SLOANE SQUARE WAY  
 CHARLOTTE, NC 28211  
 704.511.2170

**Digh Residence Additions**  
 1422 THE PLAZA  
 CHARLOTTE, NC 28205

ARCHITECT'S # 21404  
 DATE MAY 2016  
 REVISIONS MAY 11, 2016  
 MAY 31, 2016

**Site Plan**  
 SCALE 1/8" = 1'-0"



HOUSE SOUTH



HOUSE REAR EAST



HOUSE NORTH



HOUSE FRONT WEST

*Franceschi Architects*  
 340 SLOANE SQUARE WAY  
 CHARLOTTE, NC 28208  
 704.511.2110

**Digh Residence Additions**  
 1422 THE PLAZA  
 CHARLOTTE, NC 28205

ARCHITECT'S # 21604  
 DATE MAY 2014  
 REVISIONS MAY 18, 2014  
 MAY 24, 2014

House Elevations  
 SCALE 1/8" = 1'-0"  
 A3

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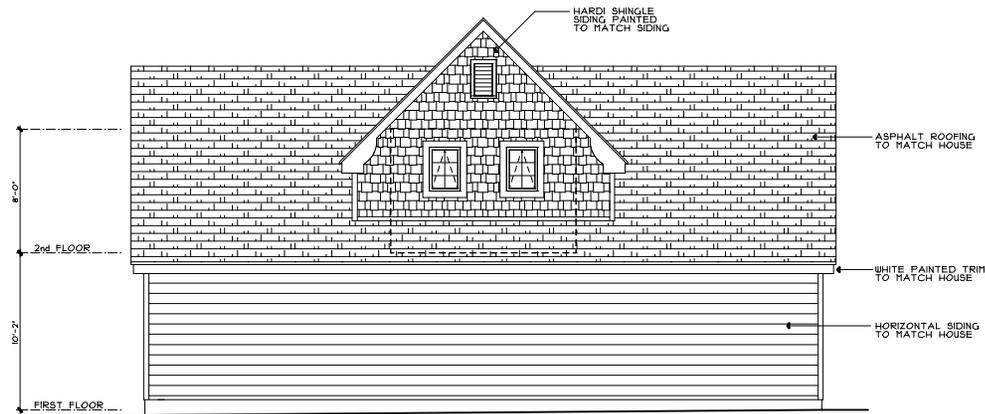
GARAGE NORTH



GARAGE WEST



GARAGE SIDE SOUTH



GARAGE REAR EAST

*Franceschi Architects*  
 340 SLOANE SQUARE WAY  
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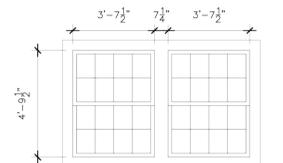
**Digh Residence Additions**  
 1422 THE PLAZA  
 CHARLOTTE, NC 28205

ARCHITECT'S # 21604  
 DATE MAY 11, 2016  
 REVISIONS MAY 13, 2016  
 MAY 26, 2016

**Garage Elevations**  
 SCALE 1/4" = 1'-0"  
**A2**

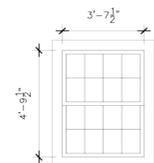
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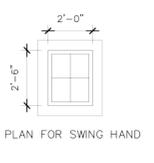
NOTE: WINDOW SIZE IS APPROXIMATE - MATCH EXISTING WINDOW AS CLOSE AS POSSIBLE WITH STANDARD WINDOW SIZES

**A** DOUBLE-HUNG



NOTE: WINDOW SIZE IS APPROXIMATE - MATCH EXISTING WINDOW AS CLOSE AS POSSIBLE WITH STANDARD WINDOW SIZES

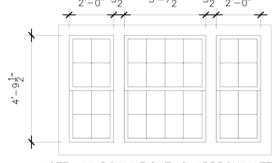
**B** DOUBLE-HUNG



SEE PLAN FOR SWING HAND

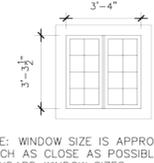
NOTE: WINDOW SIZE IS APPROXIMATE - MATCH AS CLOSE AS POSSIBLE WITH STANDARD WINDOW SIZES.

**C** CASEMENT



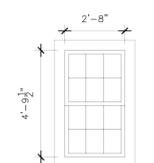
NOTE: WINDOW HEIGHT IS APPROXIMATE - MATCH EXISTING WINDOW AS CLOSE AS POSSIBLE WITH STANDARD WINDOW SIZES. CENTER WINDOW TO MATCH TYPE B

**D** DOUBLE-HUNG



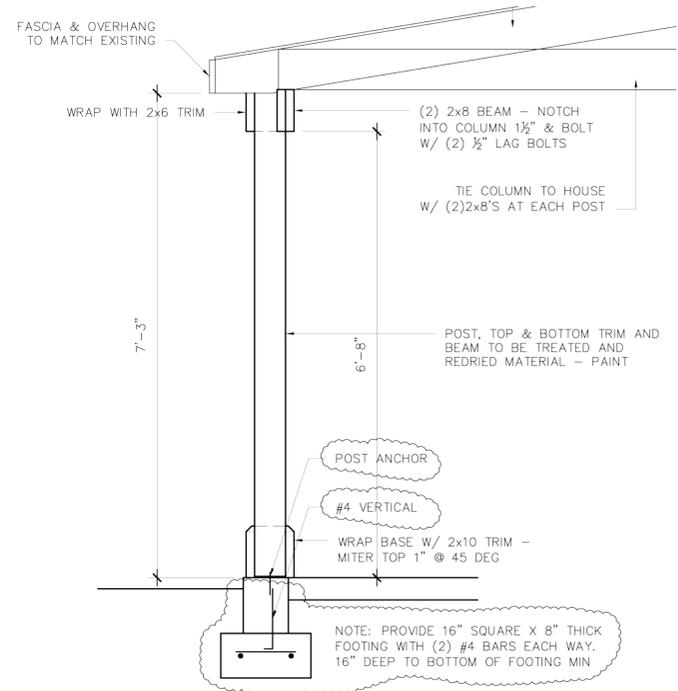
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**E** CASEMENT

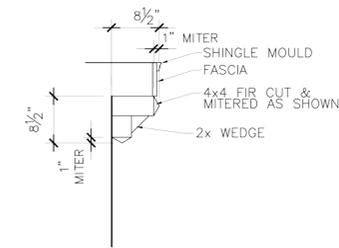


NOTE: WINDOW SIZE IS APPROXIMATE - MATCH AS CLOSE AS POSSIBLE WITH STANDARD WINDOW SIZES

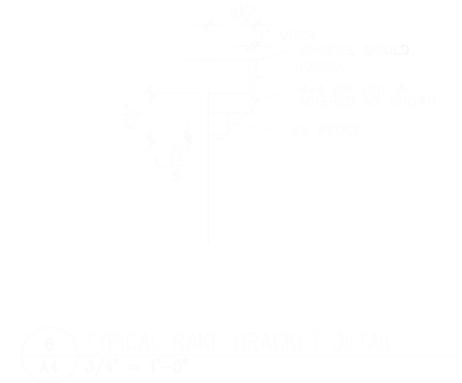
**F** DOUBLE-HUNG



**1** REAR PORCH COLUMN DETAIL  
A6 3/4" = 1'-0"



**6** TYPICAL RAKE BRACKET DETAIL  
A4 3/4" = 1'-0"



**6** TYPICAL RAKE BRACKET DETAIL  
A4 3/4" = 1'-0"

