

---

**LOCAL HISTORIC DISTRICT:** Wesley Heights

**PROPERTY ADDRESS:** 604 South Summit Avenue

**SUMMARY OF REQUEST:** Addition of more than 25% of original structure, mature tree removal

**APPLICANT:** Jason and Emily Clark

---

**Details of Proposed Request**

*Existing Conditions*

The existing structure is a one story Cottage style house constructed in 1937. It is listed as a contributing structure in the Wesley Heights National Register of Historic Places. Adjacent structures are a mix of one and two story homes.

*Proposal*

The proposal is a rear addition that is not visible from public right of way. The project requires the removal a small storage area and porch on the rear. Siding, windows and trim details with match the existing house in material and size. Two mature trees will be removed to accommodate the addition.

**Policy & Design Guidelines for Additions, page 36**

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

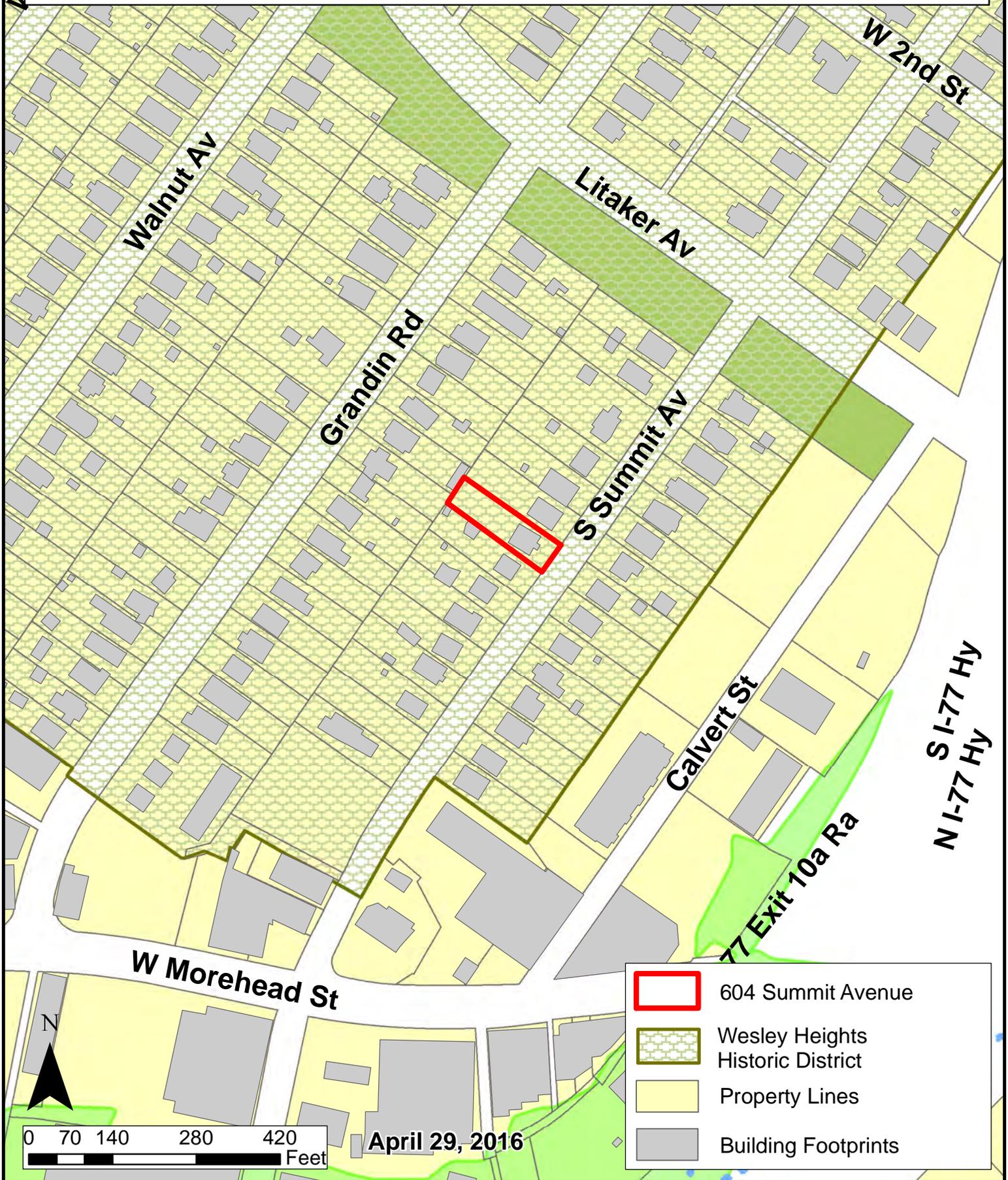
<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.

4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis:** The Commission will determine if the proposed improvements meet the design guidelines for size, scale, massing, fenestration, rhythm, materials and context.

*Charlotte Historic District Commission - Case 2016-086*  
**HISTORIC DISTRICT: WESLEY HEIGHTS**



-  604 Summit Avenue
-  Wesley Heights Historic District
-  Property Lines
-  Building Footprints

April 29, 2016

# HOME ADDITION for JASON & EMILY CLARK

CHARLOTTE, NORTH CAROLINA

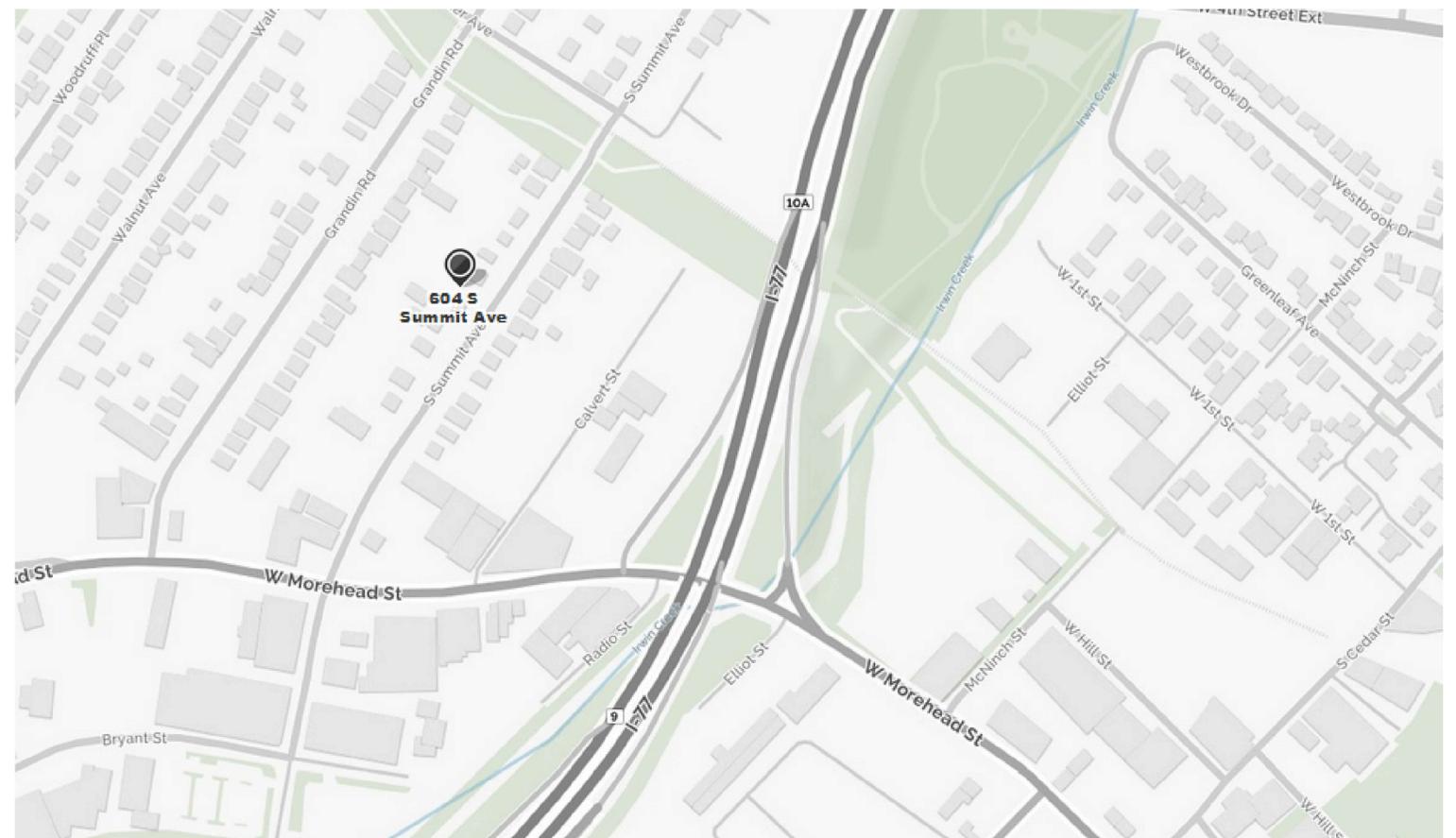
**OWNER:**

JASON & EMILY CLARK  
604 South Summit Avenue  
Charlotte, NC 28208  
704-806-3387

**DRAWING SCHEDULE:**

- IN0.0 COVER SHEET
- IN1.0 SITE PLAN, EXISTING & NEW
- IN2.0 DEMOLITION & NEW CONSTRUCTION
- IN3.0 NEW ROOF PLAN, DEMO & NEW
- IN4.0 SCHEDULES
- IN5.0 EXTERIOR ELEVATIONS, EXISTING
- IN6.0 EXTERIOR ELEVATIONS, NEW
- IN7.0 FURNITURE PLAN

**SITE LOCATION**

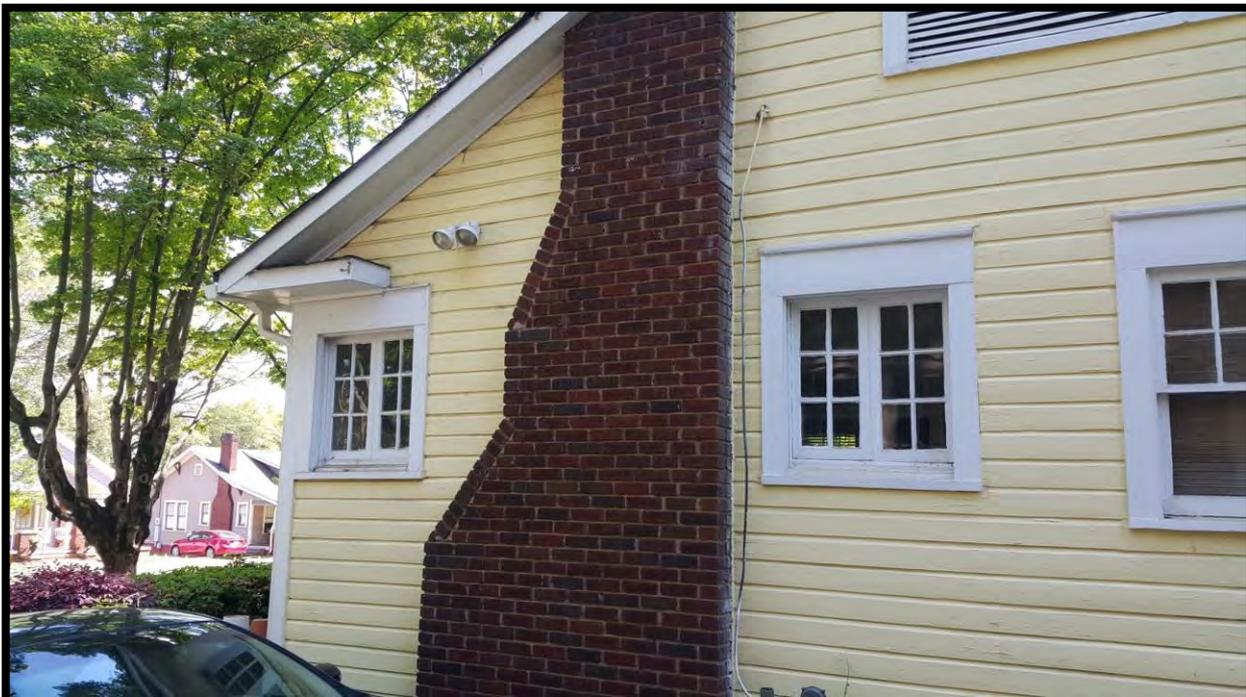


**PROJECT CONTACTS**

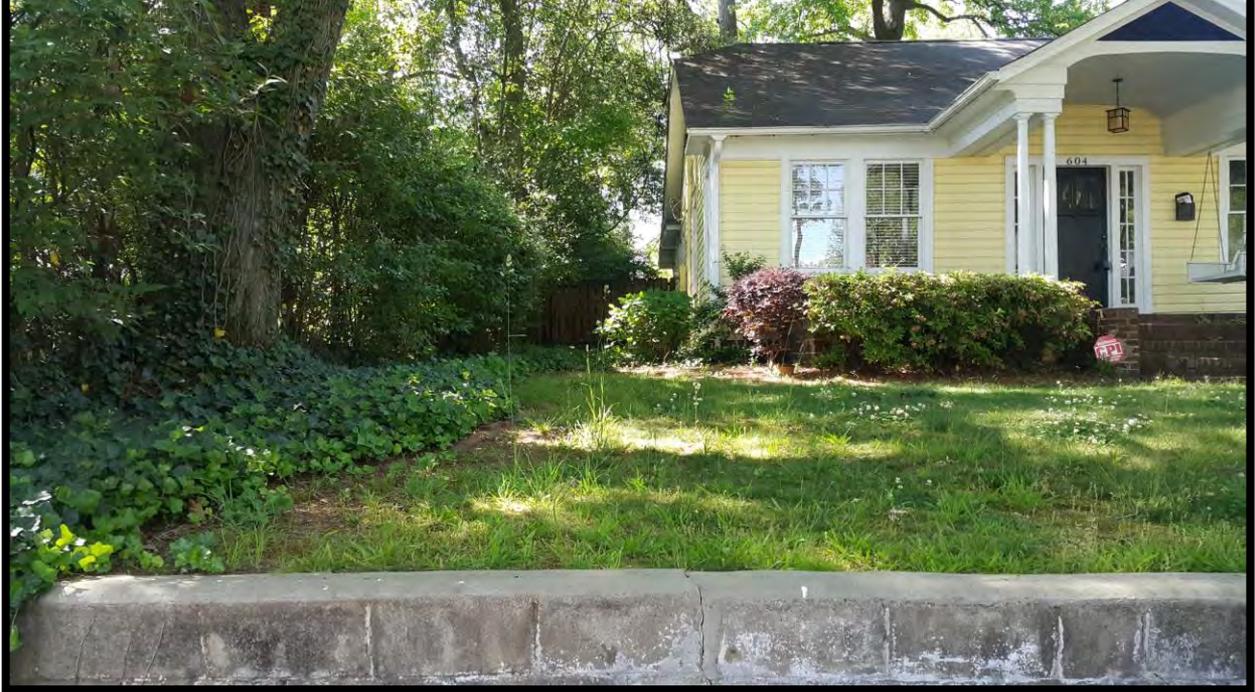
TRADE	NAME	CONTACT	LOCATION
Contractor	M. Pete, Inc. Pete Mangum	704-614-8017 Mpeteinc@aol.com	Charlotte, NC
Designer	LiveSmart Design, LLC Carolyn Cook	980-213-1911 carolyn@livesmartdesign.com	Charlotte, NC















M. Pete, Inc.

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

SITE PLAN, NEW  
& EXISTING

project number  
◦ 186  
◦ date  
◦ 4/11/16

scale  
◦ NTS  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED  
FOR ARCHITECTURAL OR ENGINEERING  
USE. IT IS THE RESPONSIBILITY OF THE  
RESPECTIVE TRADES TO VERIFY THAT ALL  
INFORMATION LISTED IS IN ACCORDANCE  
WITH EQUIPMENT USE, APPLICABLE CODES  
AND ACUTAL JOBSITE DIMENSIONS.

revisions  
◦  
◦  
◦

DESIGN PLANS ARE PROVIDED FOR THE  
FAIR USE BY THE CLIENT OR HIS AGENT IN  
COMPLETING THE PROJECT AS LISTED  
WITHIN THIS CONTRACT. DESIGN PLANS  
REMAIN THE PROPERTY OF THIS FIRM AND  
CANNOT BE USED OR REUSED WITHOUT  
PERMISSION.

FOR CONSTRUCTION

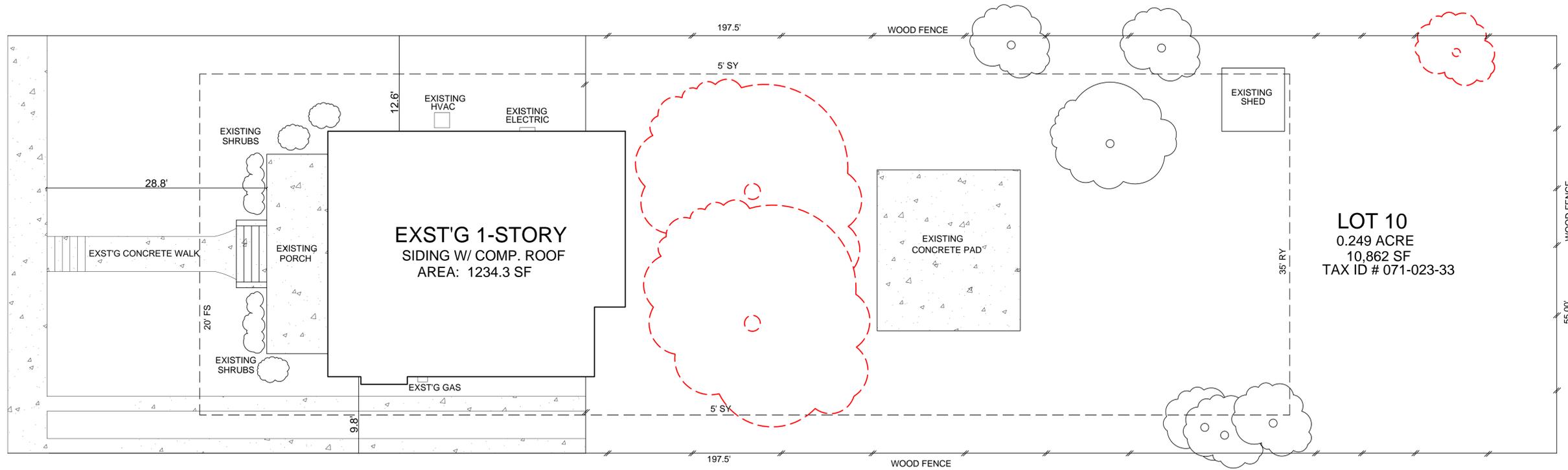
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

IN1.0

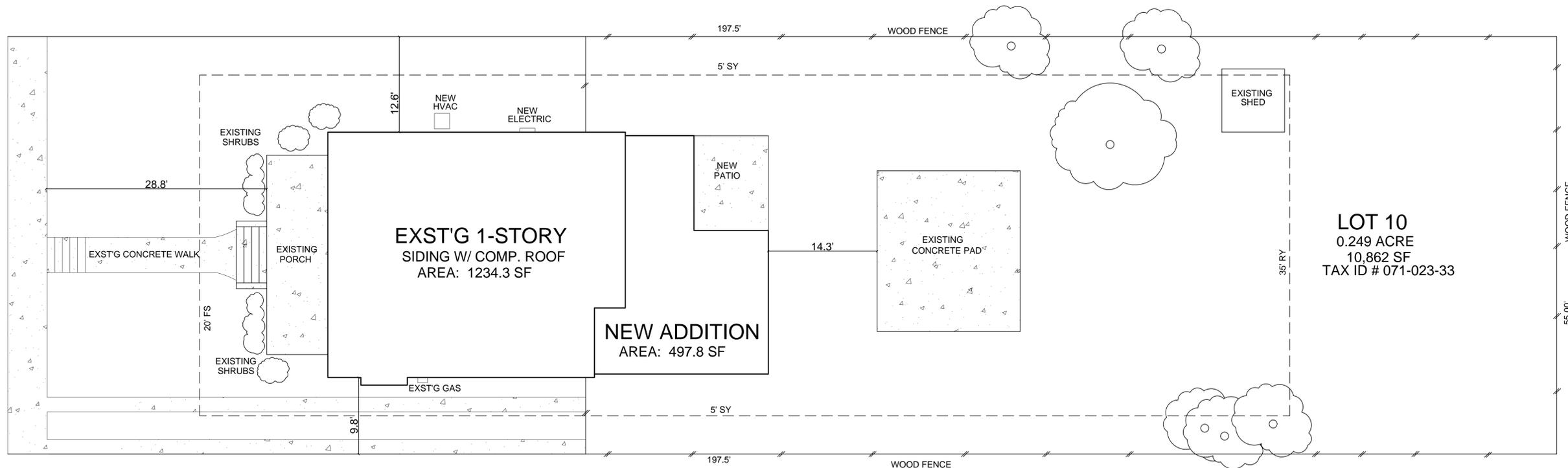
1 of 7



REMOVAL

### SITE PLAN, EXST'G

NTS



### SITE PLAN, NEW

NTS

M. Pete, Inc.

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

EXTERIOR ELEVATIONS  
EXISTING

project number  
◦ 186  
◦ date  
4/11/16

scale  
◦ 1/4"=1'-0"  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED  
FOR ARCHITECTURAL OR ENGINEERING  
USE. IT IS THE RESPONSIBILITY OF THE  
RESPECTIVE TRADES TO VERIFY THAT ALL  
INFORMATION LISTED IS IN ACCORDANCE  
WITH EQUIPMENT USE, APPLICABLE CODES  
AND ACUTAL JOBSITE DIMENSIONS.

revisions  
◦  
◦  
◦

DESIGN PLANS ARE PROVIDED FOR THE  
FAIR USE BY THE CLIENT OR HIS AGENT IN  
COMPLETING THE PROJECT AS LISTED  
WITHIN THIS CONTRACT. DESIGN PLANS  
REMAIN THE PROPERTY OF THIS FIRM AND  
CANNOT BE USED OR REUSED WITHOUT  
PERMISSION.

FOR CONSTRUCTION

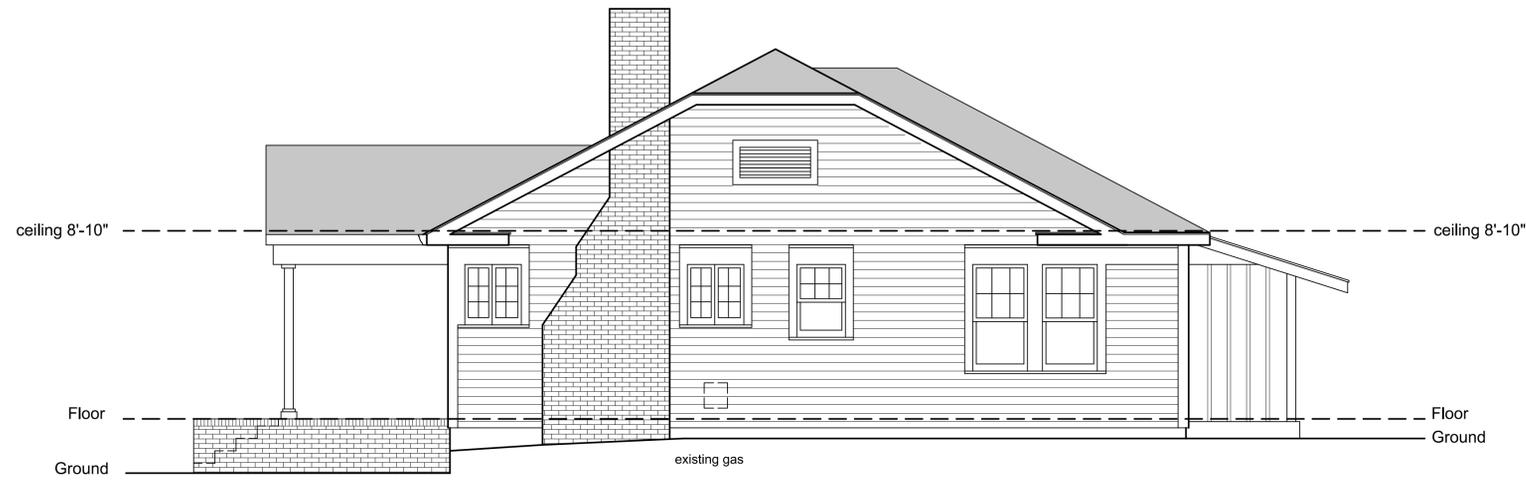
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

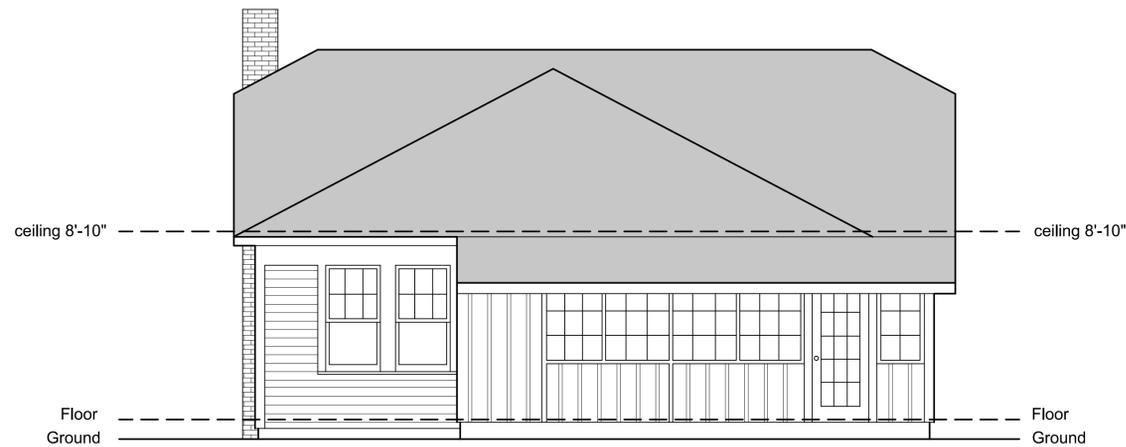
**IN5.0**

5 of 7



**DRIVEWAY SIDE ELEVATION, EXST'G**

SCALE: 1/4"=1'-0"



**REAR ELEVATION, EXST'G**

SCALE: 1/4"=1'-0"



**SIDE ELEVATION, EXST'G**

SCALE: 1/4"=1'-0"

**M. Pete, Inc.**

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

**JASON CLARK  
RESIDENCE**

**ADDITION &  
RENOVATION**

CHARLOTTE, NC

EXTERIOR ELEVATIONS  
NEW

project number  
o 186  
o date  
4/11/16

scale  
o 1/4"=1'-0"  
drawn by  
o Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED  
FOR ARCHITECTURAL OR ENGINEERING  
USE. IT IS THE RESPONSIBILITY OF THE  
RESPECTIVE TRADES TO VERIFY THAT ALL  
INFORMATION LISTED IS IN ACCORDANCE  
WITH EQUIPMENT USE, APPLICABLE CODES  
AND ACUTAL JOBSITE DIMENSIONS.

revisions  
o  
o  
o

DESIGN PLANS ARE PROVIDED FOR THE  
FAIR USE BY THE CLIENT OR HIS AGENT IN  
COMPLETING THE PROJECT AS LISTED  
WITHIN THIS CONTRACT. DESIGN PLANS  
REMAIN THE PROPERTY OF THIS FIRM AND  
CANNOT BE USED OR REUSED WITHOUT  
PERMISSION.

FOR CONSTRUCTION

FINAL PLAN ACCEPTED BY:

DATE:

sheet number

**IN6.0**

6 of 7



**DRIVEWAY SIDE ELEVATION, NEW**

SCALE: 1/4"=1'-0"



**REAR ELEVATION, NEW**

SCALE: 1/4"=1'-0"

**NOTES**

1. Windows and doors shall be trimmed to match original home.
2. Siding and cornerboard shall be matched to original home in style and dimension.
3. Soffit shall be open style.
4. Roof shall be matched to original home in style, material and color.
5. New electrical and new HVAC shall be located where existing is located utilizing natural shrub screening. New shrub screening shall be added if necessary to eliminate appliance visibility from the road.



**SIDE ELEVATION, NEW**

SCALE: 1/4"=1'-0"

**M. Pete, Inc.**

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

**JASON CLARK  
RESIDENCE**

**ADDITION &  
RENOVATION**

CHARLOTTE, NC

DEMOLITION PLAN &  
NEW CONSTRUCTION

project number  
◦ 186  
◦ date  
4/11/16

scale  
◦ 1/4"=1'-0"  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED FOR ARCHITECTURAL OR ENGINEERING USE. IT IS THE RESPONSIBILITY OF THE RESPECTIVE TRADES TO VERIFY THAT ALL INFORMATION LISTED IS IN ACCORDANCE WITH EQUIPMENT USE, APPLICABLE CODES AND ACUTAL JOBSITE DIMENSIONS.

revisions  
◦  
◦  
◦

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CANNOT BE USED OR REUSED WITHOUT PERMISSION.

FOR CONSTRUCTION

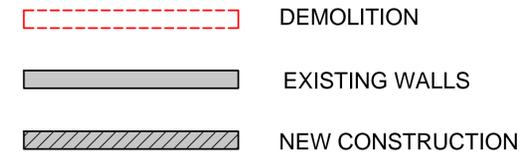
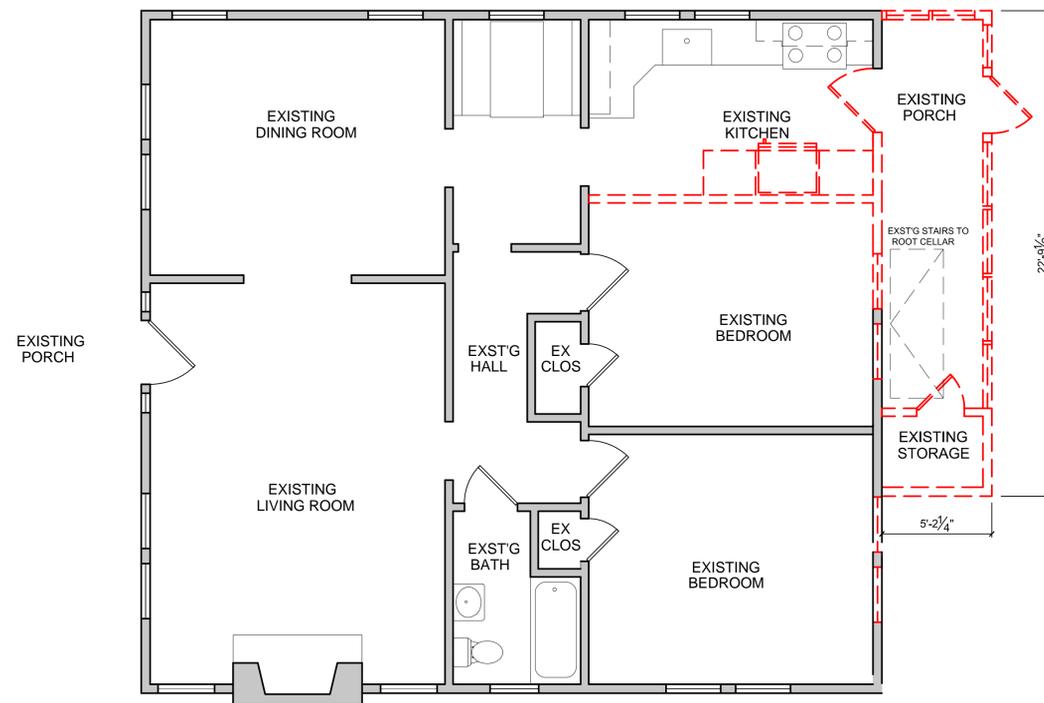
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

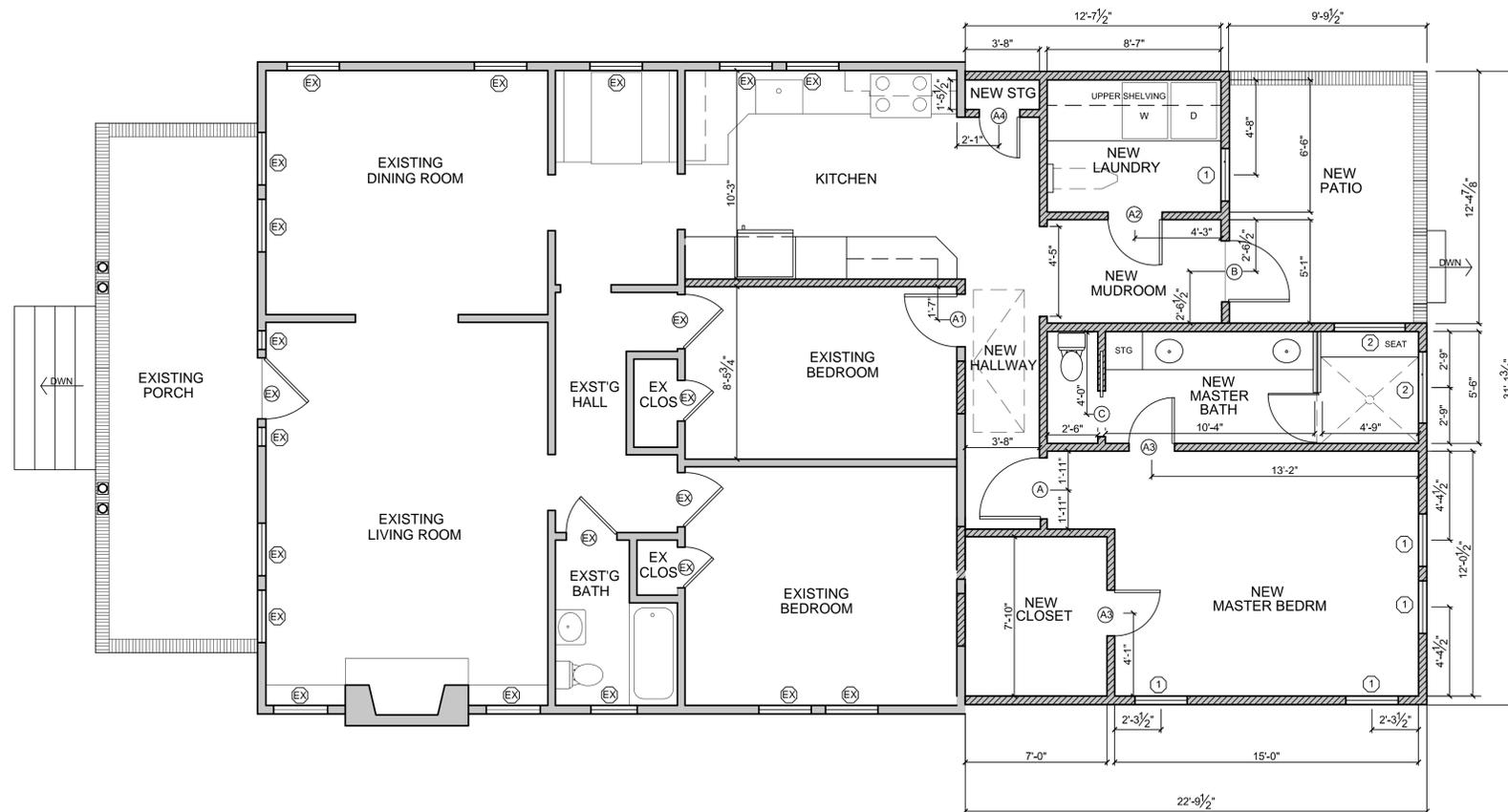
**IN2.0**

2 of 7



**DEMOLITION PLAN**

SCALE: 1/4"=1'-0"



**NEW CONSTRUCTION**

SCALE: 1/4"=1'-0"

**CONSTRUCTION NOTES**

- Interior design shall match the design original to the home. This includes door and window trim, crown and base molding, flooring and hardware.



1945 J N Pease Place # 204  
Charlotte, NC 28262  
P: 704-335-7200  
Corporate Lic. #: C-3118  
www.idecharlotte.com



JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

FOUNDATION PLAN

project number  
• 186  
• date  
4/5/16

scale  
• 1/4"=1'-0"  
drawn by  
• Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED FOR ARCHITECTURAL OR ENGINEERING USE. IT IS THE RESPONSIBILITY OF THE RESPECTIVE TRADES TO VERIFY THAT ALL INFORMATION LISTED IS IN ACCORDANCE WITH EQUIPMENT USE, APPLICABLE CODES AND ACUTAL JOBSITE DIMENSIONS.

revisions

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CANNOT BE USED OR REUSED WITHOUT PERMISSION.

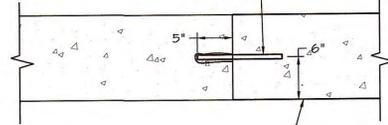
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

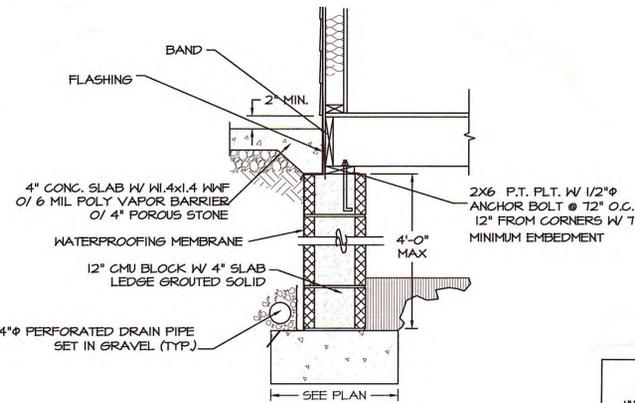
S1

TWO #4 X18" LONG (min.) REBAR SPACE 8" APART, 6" FROM ENDS OF FOOTING. EMBED 6" INTO EXISTING FOOTING. DRILL 3/8" DIAMETER HOLE, CLEAN AND EMBED DOWEL WITH SIMPSON "SET" EPOXY ADHESIVE OR EQUAL



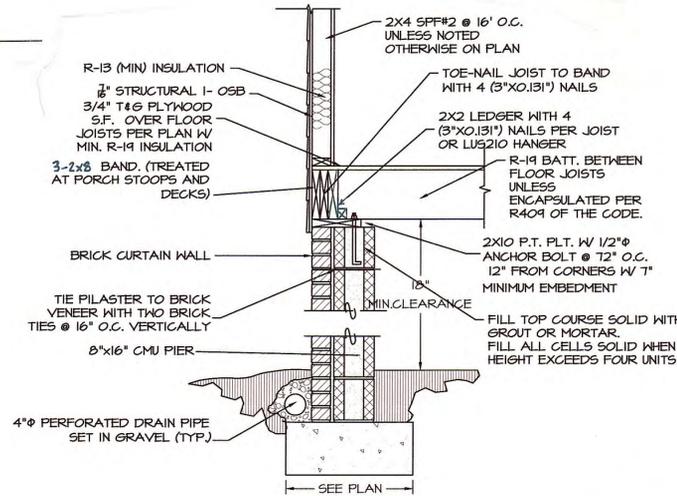
NEW FOOTING. SEE PLAN FOR SIZE. BOTTOM OF FOOTINGS SHALL BE AT SAME HEIGHT WHERE THEY MEET U.N.O.

1  
S1 FTG CONNECTION DETAIL  
SCALE: 1"=1'-0"

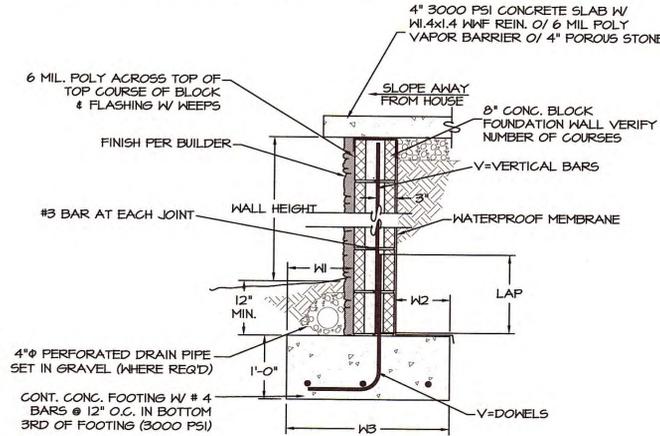


3  
S1 TYPICAL SLAB LEDGE DETAIL  
SCALE: 3/4"=1'-0"

WALL HEIGHT UNBALANCED FILL	FOOTING			V = VERTICAL BARS & DOWELS	H = HORIZONTAL TOP FOOTING BARS	LAP
	W1	W2	W3			
0' TO 2'	8"	8"	24"	SOLID GROUTED	N/A	N/A
2' TO 4'	12"	4"	24"	#4 @ 16" O.C.	#4 @ 16" O.C.	24"
4' TO 7'	16"	36"	60"	#5 @ 16" O.C.	#5 @ 16" O.C.	30"



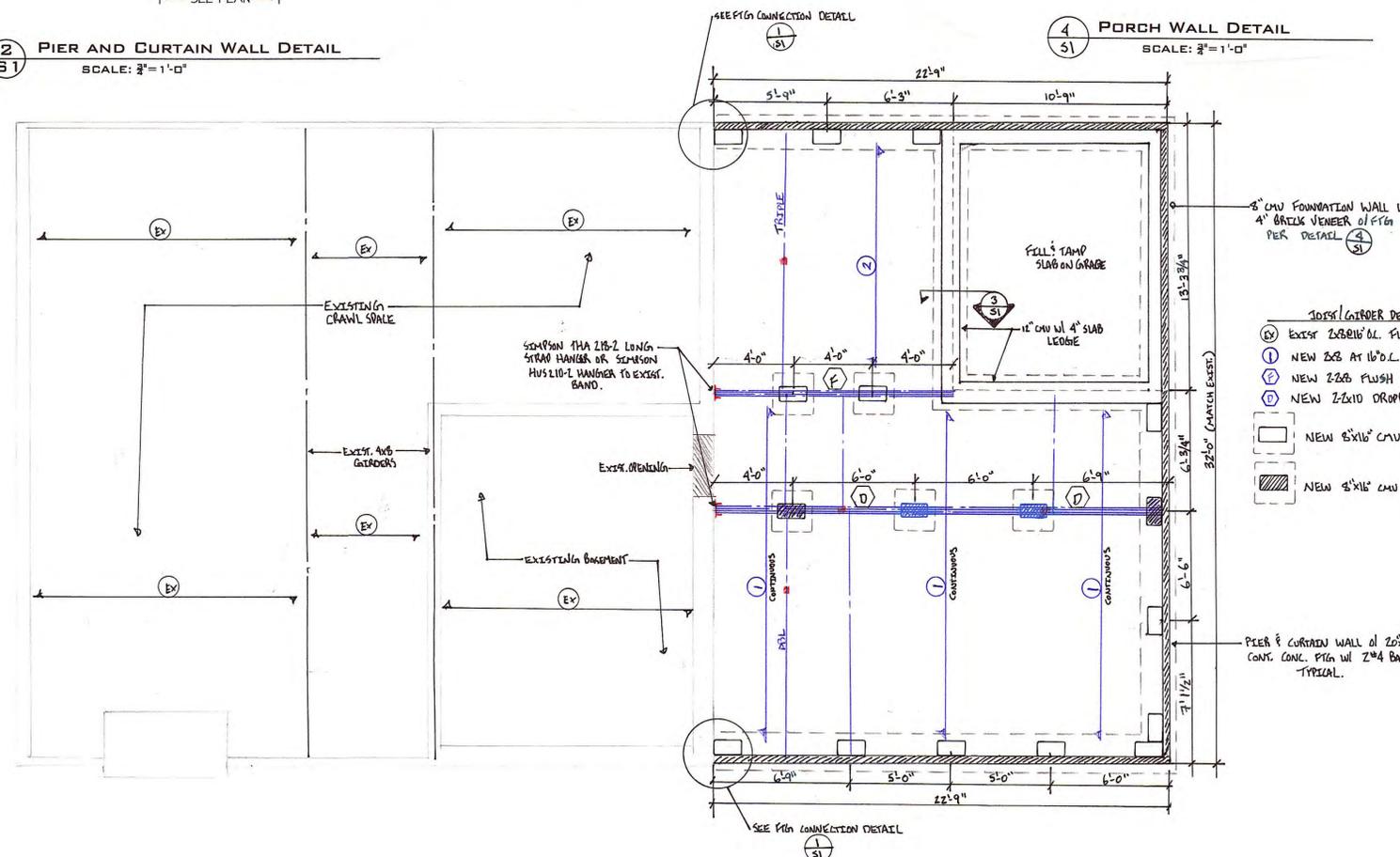
2  
S1 PIER AND CURTAIN WALL DETAIL  
SCALE: 3/4"=1'-0"



4  
S1 PORCH WALL DETAIL  
SCALE: 3/4"=1'-0"

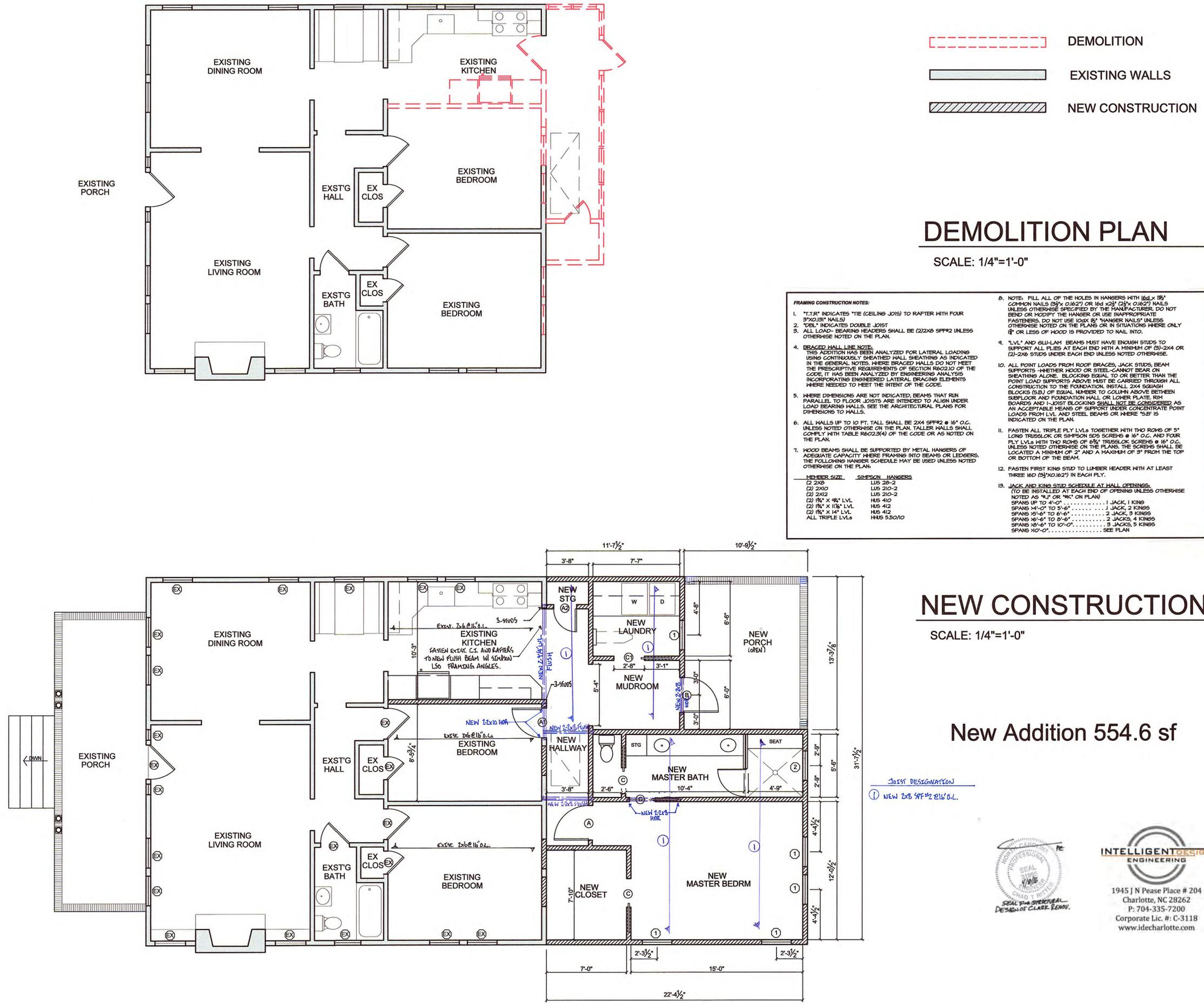
- CRAWLSPACE FRAMING NOTES:**
- "DBL" INDICATES DOUBLE JOIST
  - ALL RIM BANDS TO BE 3-2x8 SFF#2 U.N.O.
  - WHERE DIMENSIONS ARE NOT INDICATED, BEAMS THAT RUN PARALLEL TO FLOOR JOISTS ARE INTENDED TO ALIGN UNDER LOAD BEARING WALLS. SEE THE ARCHITECTURAL PLANS FOR DIMENSIONS TO WALLS.
  - WOOD BEAMS SHALL BE SUPPORTED BY METAL HANGERS OF ADEQUATE CAPACITY WHERE FRAMING INTO BEAMS OR LEDGERS. THE FOLLOWING HANGER SCHEDULE MAY BE USED UNLESS NOTED OTHERWISE ON THE PLAN.
 

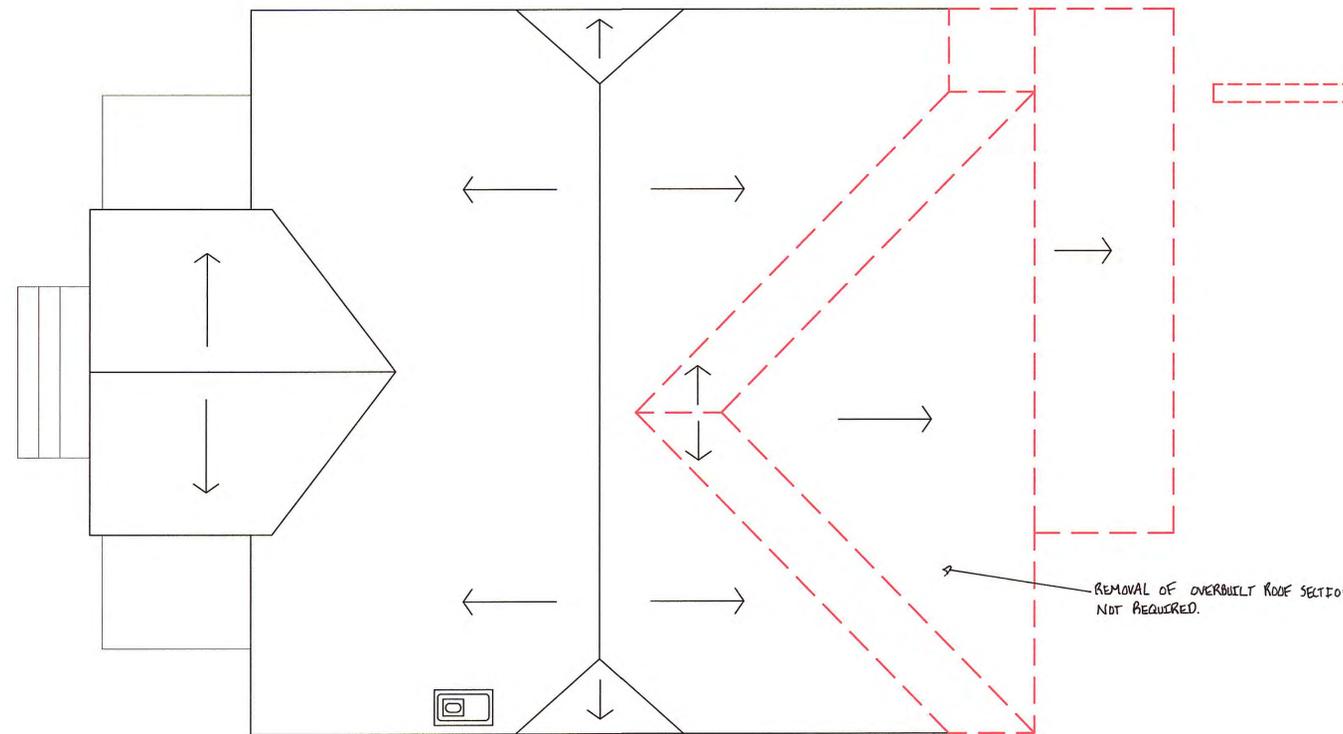
MEMBER SIZE	SIMPSON HANGERS
(2) 2x8	LUS 28-2
(2) 2x10	LUS 210-2
(2) 2x12	LUS 210-2
(2) 1 1/2" x 4 1/2" LVL	HUS 410
(2) 1 1/2" x 1 1/2" LVL	HUS 412
(2) 1 1/2" x 1 1/2" LVL	HUS 412
ALL TRIPLE LVLs	HUS 530/10
  - NOTE: FILL ALL OF THE HOLES IN HANGERS WITH 16d x 3 1/2" COMMON NAILS (2 1/2" x 0.162") OR 16d x 3 1/2" (2 1/2" x 0.162") NAILS UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. DO NOT BEND OR HOODY THE HANGER OR USE INAPPROPRIATE FASTENERS. DO NOT USE 102X 10" HANGER NAILS UNLESS OTHERWISE NOTED ON THE PLANS OR IN SITUATIONS WHERE ONLY 10" OR LESS OF WOOD IS PROVIDED TO NAIL INTO.
  - "LVL" AND GLU-LAM BEAMS MUST HAVE ENOUGH STUDS TO SUPPORT ALL PILES AT EACH END WITH A MINIMUM OF (3)-2x4 OR (2)-2x6 SQUASH BLOCKS UNDER EACH END UNLESS NOTED OTHERWISE.
  - ALL POINT LOADS FROM ROOF BRACES, JACK STUDS, BEAM SUPPORTS (WHETHER WOOD OR STEEL) CANNOT BEAR ON SHEATHING ALONE. BLOCKING EQUAL TO OR BETTER THAN THE POINT LOAD SUPPORTS ABOVE MUST BE CARRIED THROUGH ALL CONSTRUCTION TO THE FOUNDATION. INSTALL 2x4 SQUASH BLOCKS (S.B.) OF EQUAL NUMBER TO COLUMN ABOVE BETWEEN SUBFLOOR AND FOUNDATION WALL OR LOWER PLATE. RIM BOARDS AND JOIST BLOCKING SHALL NOT BE CONSIDERED AS AN ACCEPTABLE MEANS OF SUPPORT UNDER CONCENTRATE POINT LOADS FROM LVL AND STEEL BEAMS OR WHERE "S.B." IS INDICATED ON THE PLAN.
  - FASTEN ALL TRIPLE FLY FLUSH GIRDERS TOGETHER WITH TWO ROWS OF 4" LONG TRUSSELOK OR SIMPSON SDS SCREENS @ 16" O.C. AND FOUR FLY FLUSH GIRDERS WITH TWO ROWS OF 6" TRUSSELOK SCREENS @ 16" O.C. UNLESS NOTED OTHERWISE ON THE PLANS. THE SCREENS SHALL BE LOCATED A MINIMUM OF 2" AND A MAXIMUM OF 3" FROM THE TOP OR BOTTOM OF THE BEAM.
  - FRAMER SHOULD MAKE EVERY EFFORT TO STAGGER BEAMS OF FLYWOOD SUBFLOOR A MINIMUM OF 18" AWAY FROM JOIST SPLICES AT FLUSH AND DROPPED GIRDERS IN AREAS WHERE HARDWOOD FLOORING IS TO BE USED.



- JOIST/GIRDER DESIGNATION**
- (EX) EXIST 2x8/10/12 FLOOR JOISTS
  - (1) NEW 2x8 AT 16" O.C. FLOOR JOISTS
  - (2) NEW 2x8 AT 12" O.C. FLOOR JOISTS
  - (3) NEW 2x8 FLUSH GIRDER
  - (D) NEW 2x10 DROPPED GIRDER
- (P) NEW 8"x16" CMU PIER @ 24"x24"x8" CONC. FTG.
  - (W) NEW 8"x16" CMU PIER @ 24"x24"x8" CONC. FTG. DROPPED 7'-11"

- FOUNDATION NOTES:**
- ALL PERIMETER WALL FOOTINGS SHALL BE CONTINUOUS 20"x20" MINIMUM WITH (2) #4 REBAR, 3000 PSI CONCRETE U.N.O.
  - ALL INTERIOR PIERS TO BE 8"x16" CMU @ 20"x20"x10" CONCRETE FOOTINGS U.N.O. DROP SOLID SHADED PIERS 4" FROM TYPICAL HEIGHT.
  - "SLAB ON GRADE" SHALL CONSIST OF 4" THICK, 3000 PSI CONCRETE WITH FIBERMESH REINFORCEMENT OR 6x6 #14@14" W/F OVER 4" CLEAN STONE OVER 6 MIL VAPOR BARRIER OVER COMPACTED FILL. IN GARAGES AND DRIVEWAYS INSTALL TOOTHED CONTROL JOINTS NO GREATER THAN 15 FEET IN EACH DIRECTION.
  - ALL SOILS AND FILL UNDER FLOORS WITHIN AND/OR UNDER BUILDINGS SHALL HAVE PRECONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES. CERTIFICATION OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.





**EXISTING ROOF PLAN**

SCALE: 1/4"=1'-0"

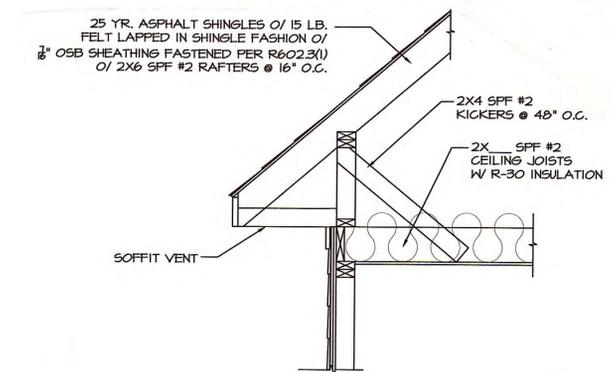
**DEMOLITION**

**ROOF FRAMING NOTES @ NEW FRAMING:**

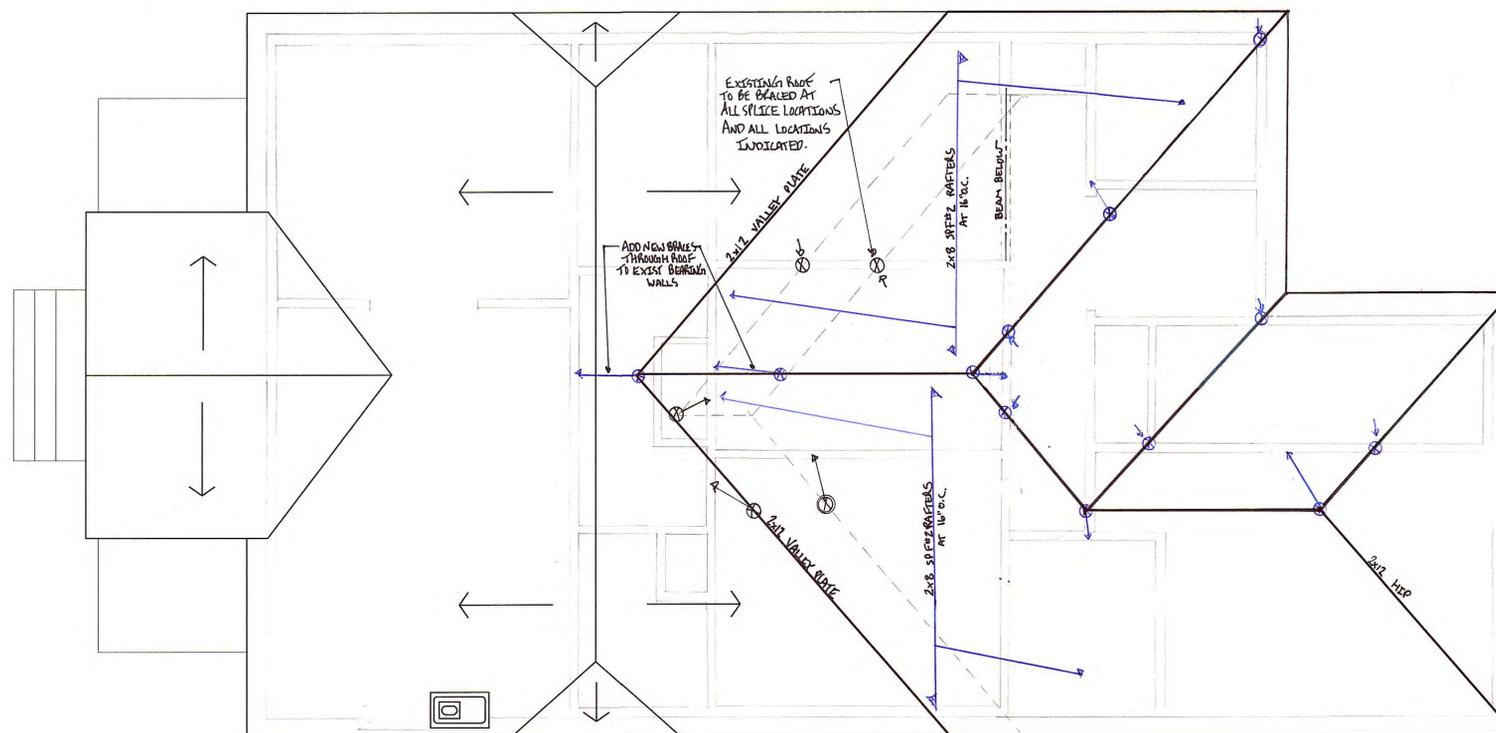
- IN ADDITION TO THE CODE'S FASTENER SCHEDULE, UNLESS NOTED OTHERWISE ON THE PLAN, INSTALL SIMPSON HI OR H25A HURRICANE CLIPS AT THE ENDS OF THE RAFTERS WHERE THEY BEAR ON THE WALL PLATE @ 48" O.C. FASTEN TO THE OUTSIDE OF THE WALL PLATE WITH 8d COMMON NAILS AND TO THE RAFTER OR TRUSS WITH 8dX1 1/2" NAILS. INSTALLING OVER WALL SHEATHING IS ACCEPTABLE.
- RAFTERS SHALL BE 2X6 SPF#2 @ 16" O.C. FOR SHINGLES WITH 3/4" OSB SHEATHING WITH ONE LAYER OF 1/2" FELT UNLESS NOTED OTHERWISE. THEY ARE TO BE CUT INTO HIP, RIDGES, ETC., UNLESS NOTED OTHERWISE.
- ALL RAFTERS FRAMING INTO STRUCTURAL RIDGE BEAMS (RIDGES WITHOUT CEILING TIES) SHALL BE CONNECTED WITH THREE 3"X 0.81" TOE-NAILS FOR SPANS UP TO 8 FT. AND A SIMPSON LR225 HANGER OR L50 BRACKET FOR SPANS GREATER THAN 8 FT.
- ALL HIP, VALLEYS, AND RIDGES ARE 2X10 SPF#2 UNLESS NOTED OTHERWISE.
- ALL 'HOSS' SHALL BE COMPOSED OF TWO 2X6'S OR TWO 2X8'S, AS INDICATED ON THE PLAN. THE BOARDS SHALL BE FASTENED TOGETHER AT THEIR ENDS WITH 3"X0.81" NAILS AT 4" ON CENTER TO FORM AN 'L' SHAPE.
- RAFTERS MAY BE SPLICED OVER HOSS. SPLICE RAFTER HOSS ONLY AT A ROOF BRACE.
- ALL ROOF BRACES MUST HAVE A STUD FROM PLATE THROUGH ALL FLOORS TO THE FOUNDATION OR SUPPORTING BEAM BELOW. NO BRACES SHALL BE ATTACHED TO TOP WALL PLATE WITHOUT STUDS DIRECTLY UNDER THEM.

**ROOF PLAN LEGEND:**

- ⊙ INDICATES LOCATION OF ROOF BRACE POINT AT RAFTER LEVEL.
- ARROW AWAY FROM THE BRACE POINT INDICATES DIRECTION OF ROOF BRACE TO PARTITION, BEAM, OR OTHER BRACE POINT BELOW.
- ⊙- ARROW INTO BRACE POINT INDICATES A VERTICAL OR ALMOST VERTICAL ROOF BRACE TO PARTITION, BEAM, OR OTHER BRACE POINT BELOW.
- ROOF BRACES UNDER T-0° ARE 2-2X4 NAILED WITH 3"X 0.81" NAILS @ 6" O.C. VERTICALLY FROM TOP TO BOTTOM. BRACES LONGER THAN 12 FT. MUST BE BRACED HORIZONTALLY IN TWO DIRECTIONS AT MID-HEIGHT.
- CONNECT BOTTOMS OF ALL BRACES THAT ARE NOT WITHIN 26" FROM VERTICAL TO BEAMS OR WALLS WITH ONE SIMPSON A34 BRACKET.
- BB- INDICATES BEAM BELOW.
- 'HOS' INDICATES (2)2X6 HOS INSTALLED AGAINST RAFTERS.
- 'RB' INDICATES RAFTERS BEAR ON WALL.
- ALL SHADED OR HATCHED AREAS INDICATE ROOF OVERBUILDS.

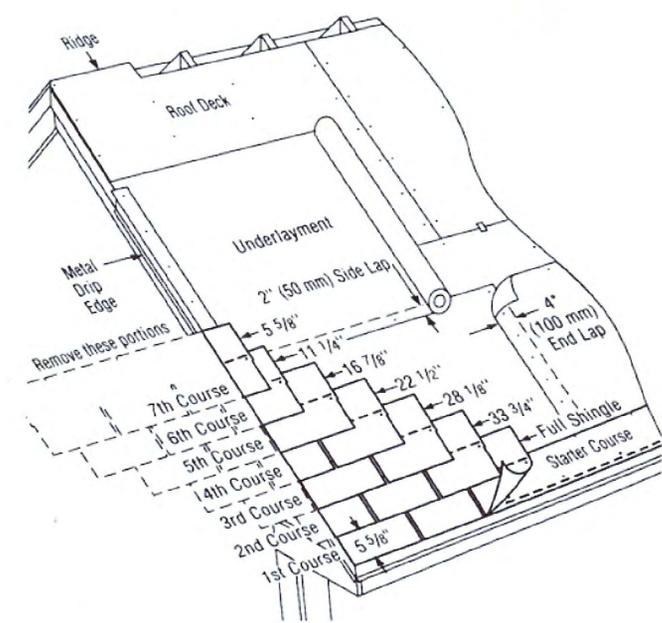


**1 TYPICAL CORNICE DETAIL**  
SCALE: 3/8"=1'-0"



**NEW ROOF PLAN**

SCALE: 1/4"=1'-0"



**ASPHALT ROOF DETAIL**

NTS

**M. Pete, Inc.**

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

**JASON CLARK RESIDENCE**

**ADDITION & RENOVATION**

CHARLOTTE, NC

ROOF PLAN, DEMO & NEW

project number  
◦ 186  
◦ date  
◦ 4/11/16

scale  
◦ AS NOTED  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED FOR ARCHITECTURAL OR ENGINEERING USE. IT IS THE RESPONSIBILITY OF THE RESPECTIVE TRADES TO VERIFY THAT ALL INFORMATION LISTED IS IN ACCORDANCE WITH EQUIPMENT USE, APPLICABLE CODES AND ACUTAL JOBSITE DIMENSIONS.

revisions  
◦  
◦  
◦

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CANNOT BE USED OR REUSED WITHOUT PERMISSION.

FOR CONSTRUCTION

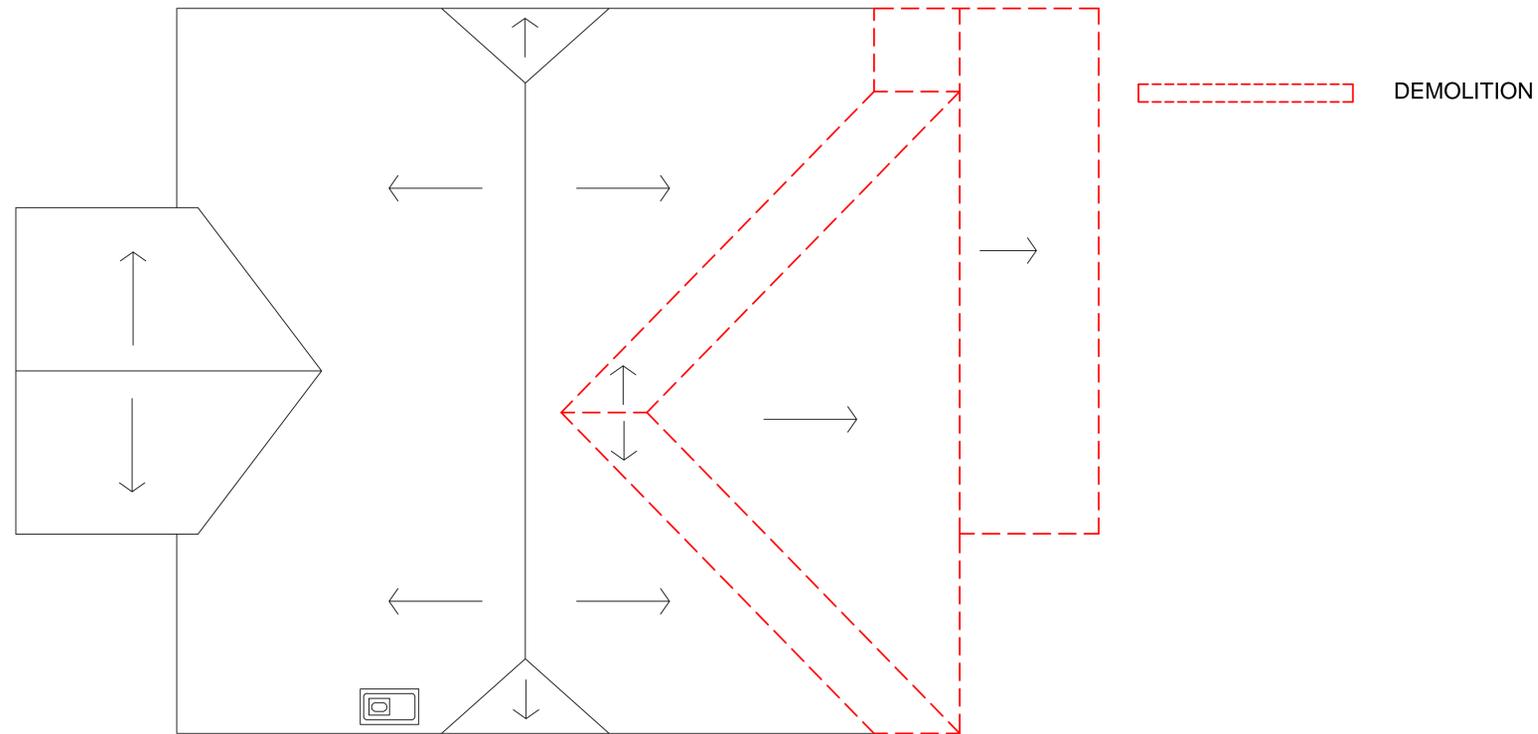
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

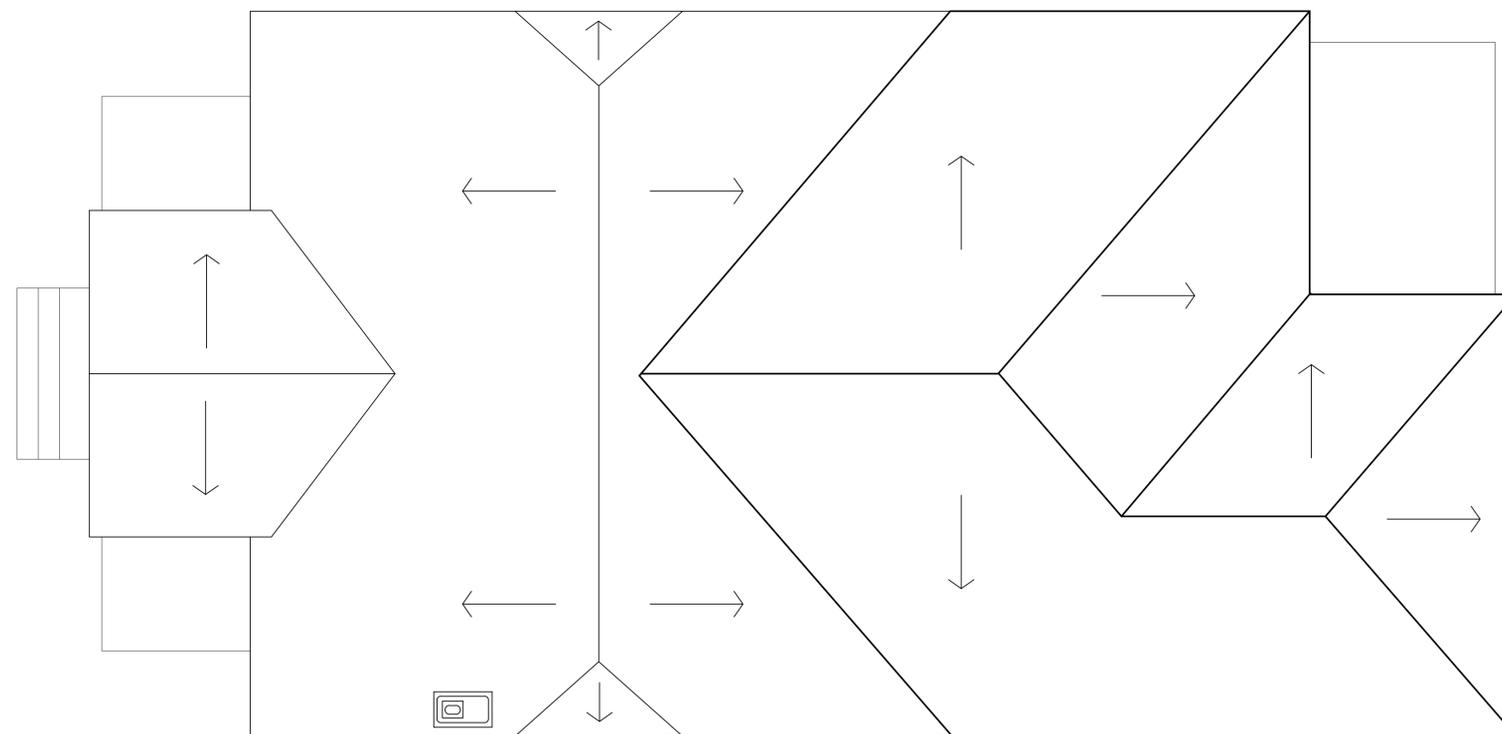
**IN3.0**

3 of 7



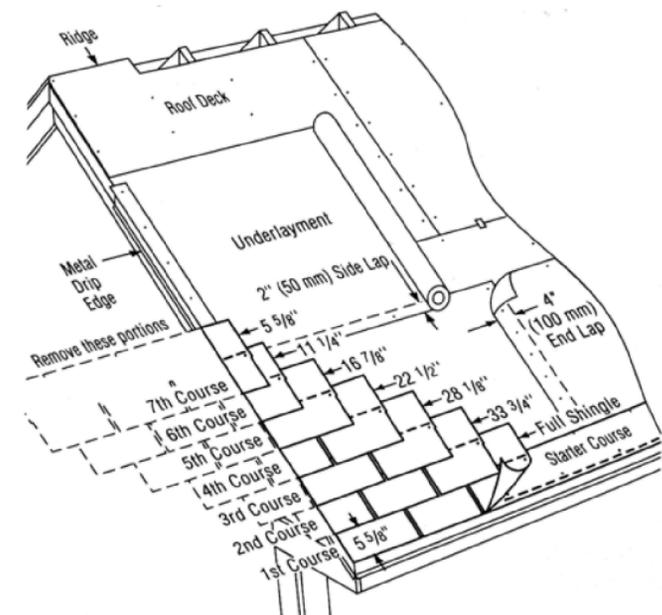
**EXISTING ROOF PLAN**

SCALE: 1/4"=1'-0"



**NEW ROOF PLAN**

SCALE: 1/4"=1'-0"



**ASPHALT ROOF DETAIL**

NTS

M. Pete, Inc.

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

JASON CLARK  
RESIDENCE

ADDITION &  
RENOVATION

CHARLOTTE, NC

FURNITURE PLAN

project number  
◦ 186  
◦ date  
◦ 4/11/16

scale  
◦ 1/4"=1'-0"  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED FOR ARCHITECTURAL OR ENGINEERING USE. IT IS THE RESPONSIBILITY OF THE RESPECTIVE TRADES TO VERIFY THAT ALL INFORMATION LISTED IS IN ACCORDANCE WITH EQUIPMENT USE, APPLICABLE CODES AND ACUTAL JOBSITE DIMENSIONS.

revisions  
◦  
◦  
◦

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CANNOT BE USED OR REUSED WITHOUT PERMISSION.

FOR CONSTRUCTION

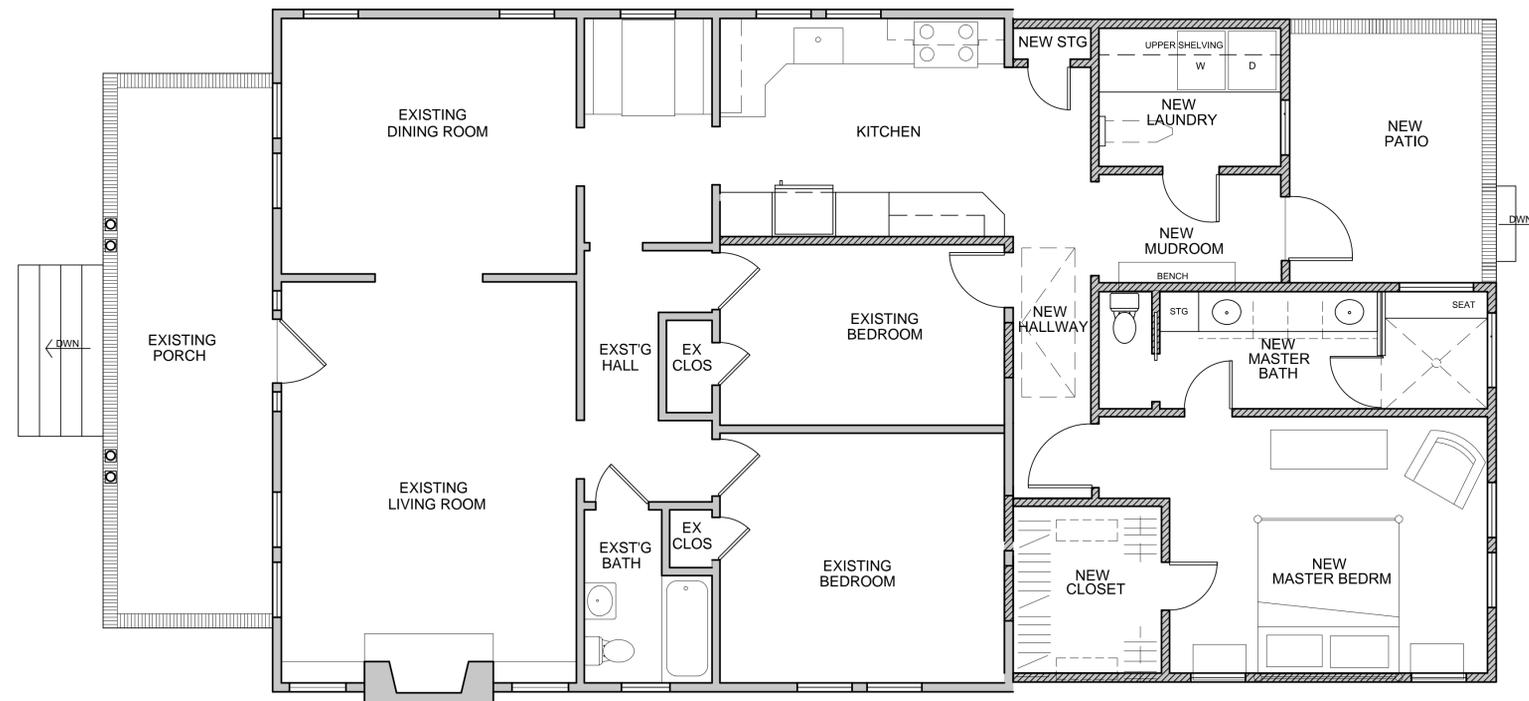
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

**IN7.0**

7 of 7



## FURNITURE PLAN

SCALE: 1/4"=1'-0"

**M. Pete, Inc.**

Suite D, 1200 The Plaza  
Charlotte, NC 28205  
P: 704-614-8017

**JASON CLARK  
RESIDENCE**

**ADDITION &  
RENOVATION**

CHARLOTTE, NC

**DOOR & WINDOW  
SCHEDULES**

project number  
◦ 186  
◦ date  
◦ 4/11/16

scale  
◦ AS NOTED  
drawn by  
◦ Carolyn Cook

INTENDED USE OF PLANS DISCLAIMER:  
THESE DESIGN PLANS ARE NOT PROVIDED FOR ARCHITECTURAL OR ENGINEERING USE. IT IS THE RESPONSIBILITY OF THE RESPECTIVE TRADES TO VERIFY THAT ALL INFORMATION LISTED IS IN ACCORDANCE WITH EQUIPMENT USE, APPLICABLE CODES AND ACUTAL JOBSITE DIMENSIONS.

revisions  
◦  
◦  
◦

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CANNOT BE USED OR REUSED WITHOUT PERMISSION.

FOR CONSTRUCTION

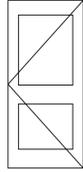
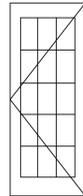
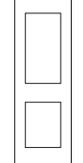
FINAL PLAN ACCEPTED BY:

DATE:

sheet number

**IN4.0**

4 of 7

DOOR LEGEND			
Door	Room	Qty	Description
	(A) New Master Bedroom	1	Hinged, 2-Panel Wood Interior Door 36"W
	(A1) New Office	1	Hinged, 2-Panel Wood Interior Door 30"W
	(A2) New Laundry	1	Hinged, 2-Panel Wood Interior Door 32"W
	(A3) New Master Closet New Master Bathroom	1 2	Hinged, 2-Panel Wood Interior Door 27"W
	(A4) New Storage, Kitchen	1	Hinged, 2-Panel Wood Interior Door 24"W
	(B) New Mudroom	1	Hinged 36" x 84" Primed Wood Exterior, Painted, Tempered Glass, exposed exterior grid
	(C) New Master Bathroom	1	Pocket Door, 2-Panel Wood Interior Door 24"W
<p>NOTE: New doors to match existing. Confirm existing door heights. Door hardware to match existing hardware original to home.</p> <p>Existing doors to remain, are indicated as (ex)</p>			

WINDOW LEGEND			
Window	Room	Qty	Description
	(1) New Laundry	1	Double-Hung, 6 over 1 pre-primed wood w/ exposed exterior grid to match original home construction. Window hardware will match exst'g. 2'-7" x 5'-0"
	New Master Bedroom	4	
	(2) New Master Bathroom	2	Transom Window, 4 lites, fixed, w/ exposed exterior grid to match original home construction, window hardware will match exst'g, frosted privacy glass, 3'-6"w X 1'-9"h
<p>NOTE: Double-hung windows to match existing.</p> <p>Existing windows to remain, are indicated as (ex)</p>			