
LOCAL HISTORIC DISTRICT: Dilworth

PROPERTY ADDRESS: 1914 Lennox Avenue

SUMMARY OF REQUEST: Addition, fenestration changes, repair

APPLICANT: Allen Brooks

The application was continued for size, scale, massing, fenestration and context.

Details of Proposed Request

Existing Conditions

The existing structure is a one story Bungalow house with a gable front porch roof and cross gable roof over the main structure. The house was constructed in 1925 and listed as a contributing structure in the Dilworth National Register of Historic Places (1987). A detached garage is located toward the middle of the rear yard. An application for a second story addition was denied by the HDC August 2015. A COA was issued by HDC staff for a one story addition on January 6, 2016. A stop work order was issued in March due to work being performed outside of the COA.

Proposal

The project is an addition that connects the garage to the principal structure. Plans indicate sections of the house to be demolished and restored or replaced. New materials, windows and trim details will match existing. Rear yard open space is calculated as approximately 67.6%.

Updated Proposal-May 11, 2016

The revised drawings include the following changes:

1. The size of the connection between the house and garage has been reduced by approximately 50%
2. An open courtyard assumes the remainder of the space between structures.
3. The front façade will not be changed.

Policy & Design Guidelines - Additions

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

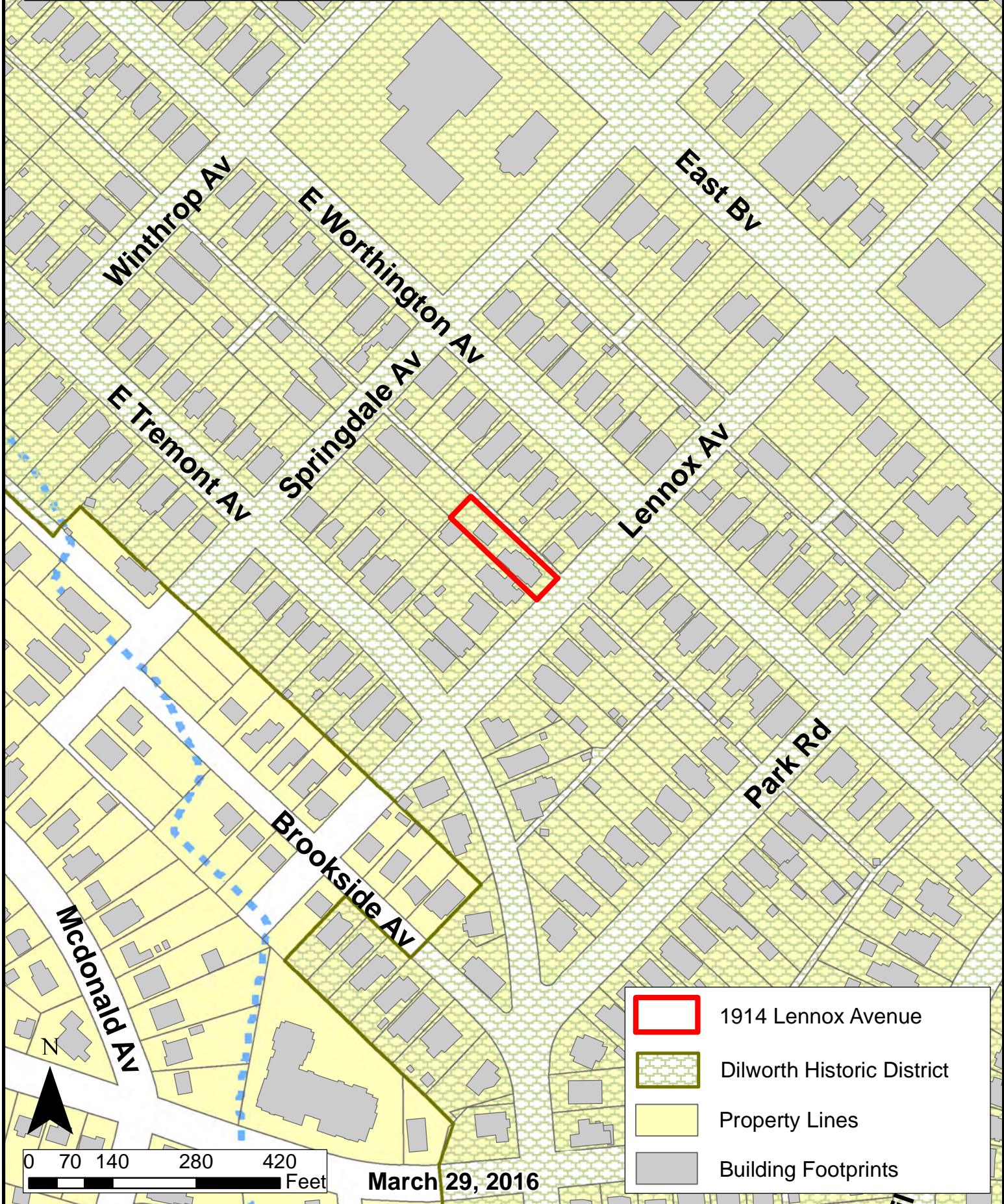
The HDC will determine if the project meets the guidelines for size, scale, massing, fenestration, rhythm, materials and context.





Based on the need for additional information, this application was continued for further design study.

The revised drawings will show:

1. The addition should not be attached to the garage
2. Size, Scale, Massing Fenestration and Context
3. Left and right elevation Fenestration
4. The overall length is out of context with the surrounding structures

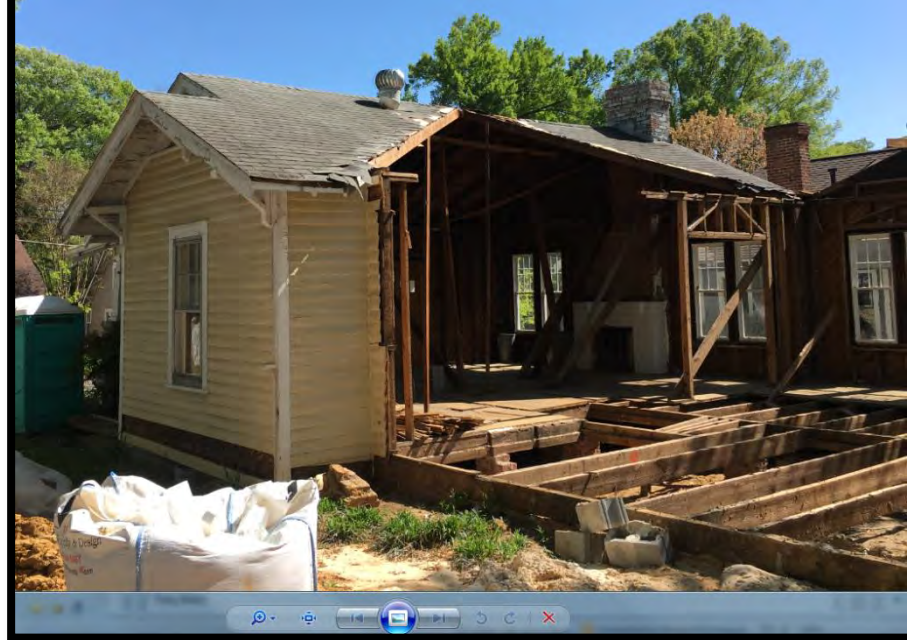
Charlotte Historic District Commission - Case 2016-057
HISTORIC DISTRICT: DILWORTH



-  1914 Lennox Avenue
-  Dilworth Historic District
-  Property Lines
-  Building Footprints

0 70 140 280 420 Feet

March 29, 2016

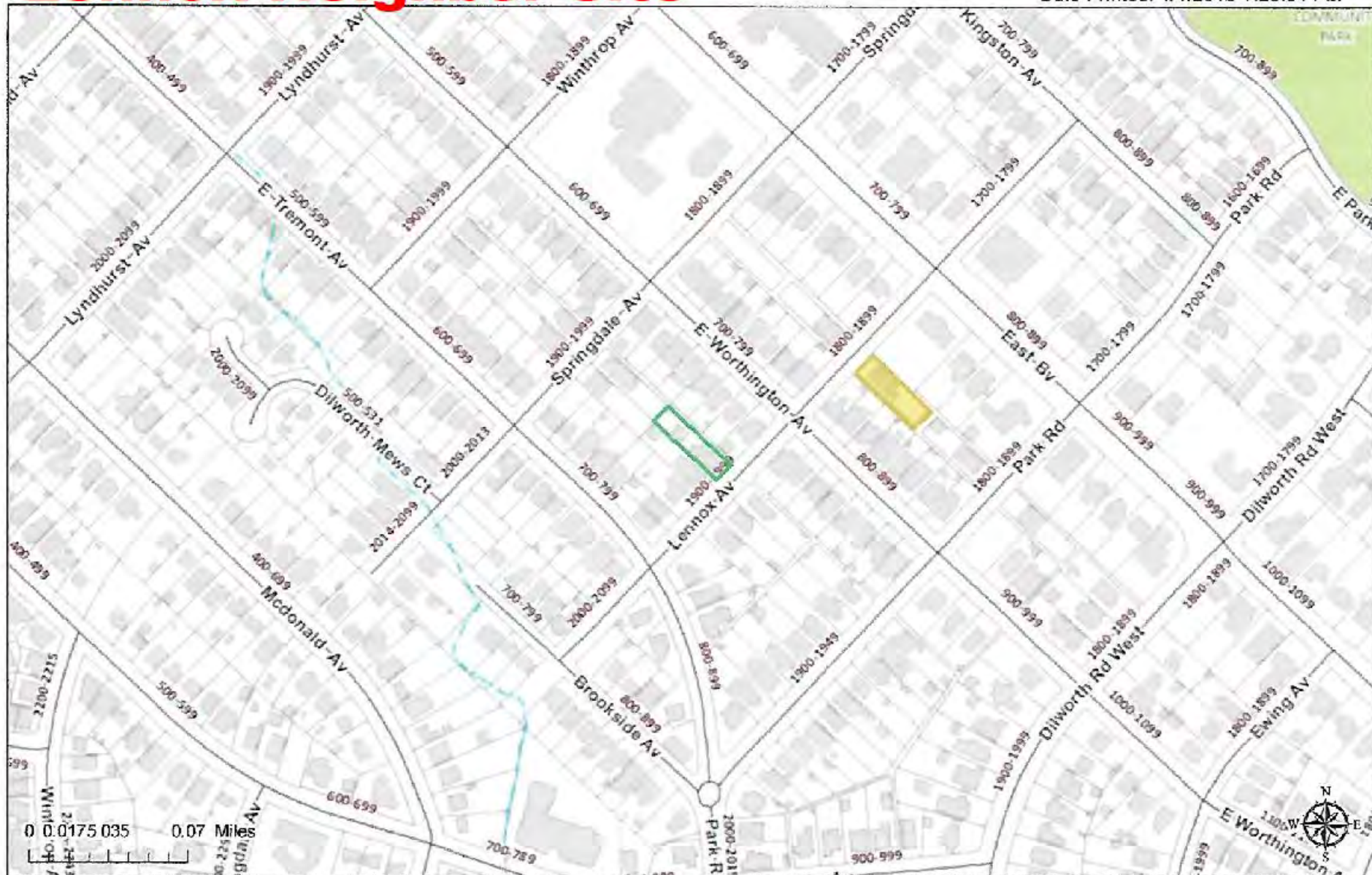






Lennox Neighbor Site

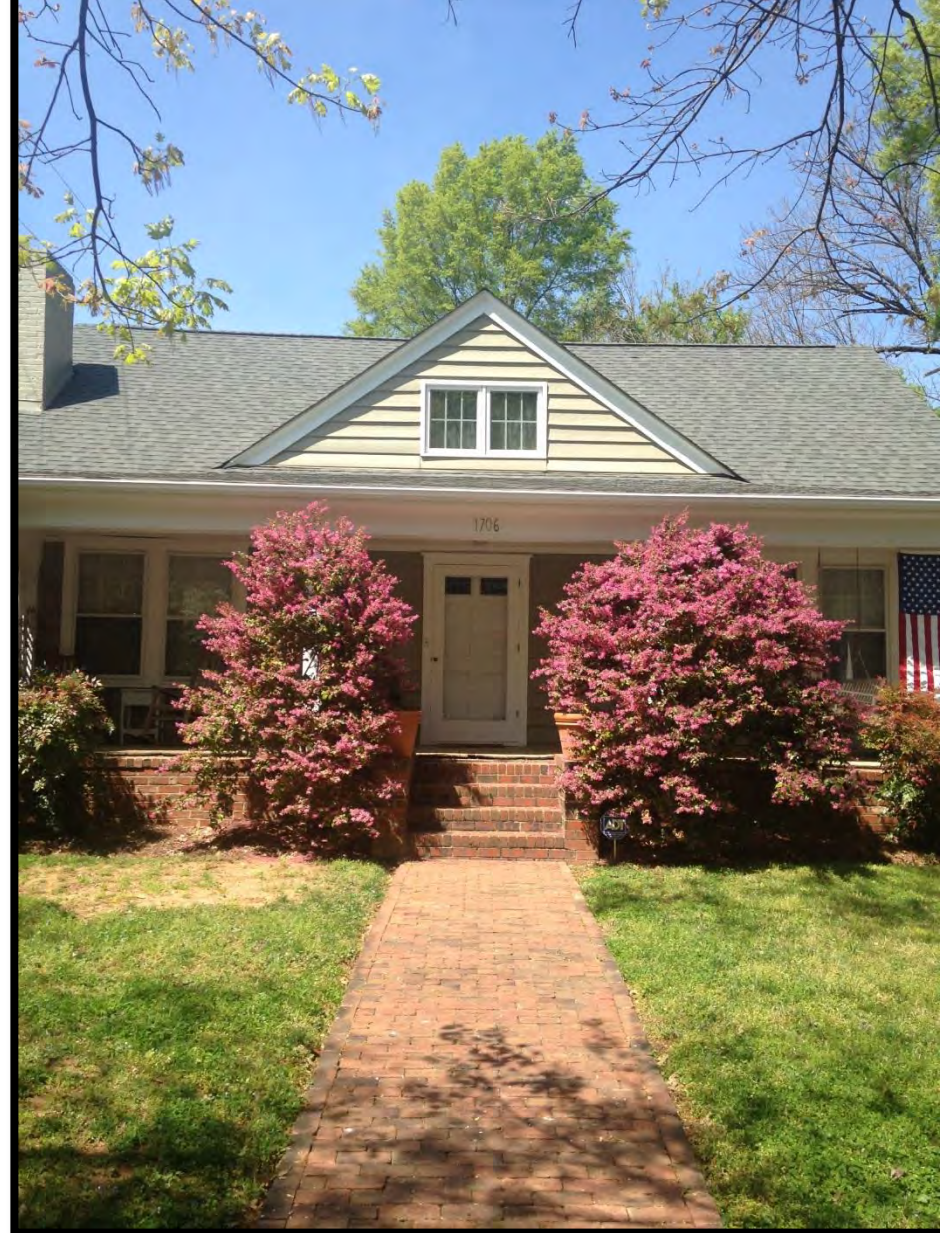
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Lennox Avenue Neighbor Side Elevation



Lennox Avenue Neighbor Front Elevation

Worthington and Springdale

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Worthington and Springdale Front Elevation



Worthington and Springdale Side Elevation

Worthington and Winthrop

Date Printed: 4/4/2016 12:10:25 PM



0 0.0125 0.025 0.05 Miles

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Worthington and Winthrop Front Elevation



Worthington and Winthrop Rear Elevation

Worthington and Euclid

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Worthington and Euclid Rear Elevation

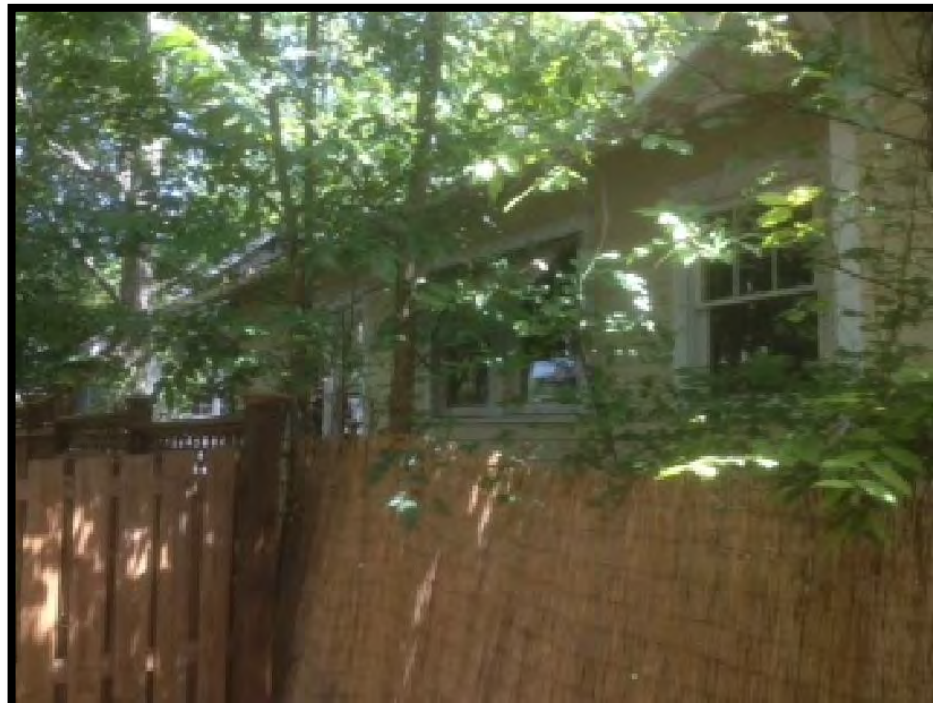


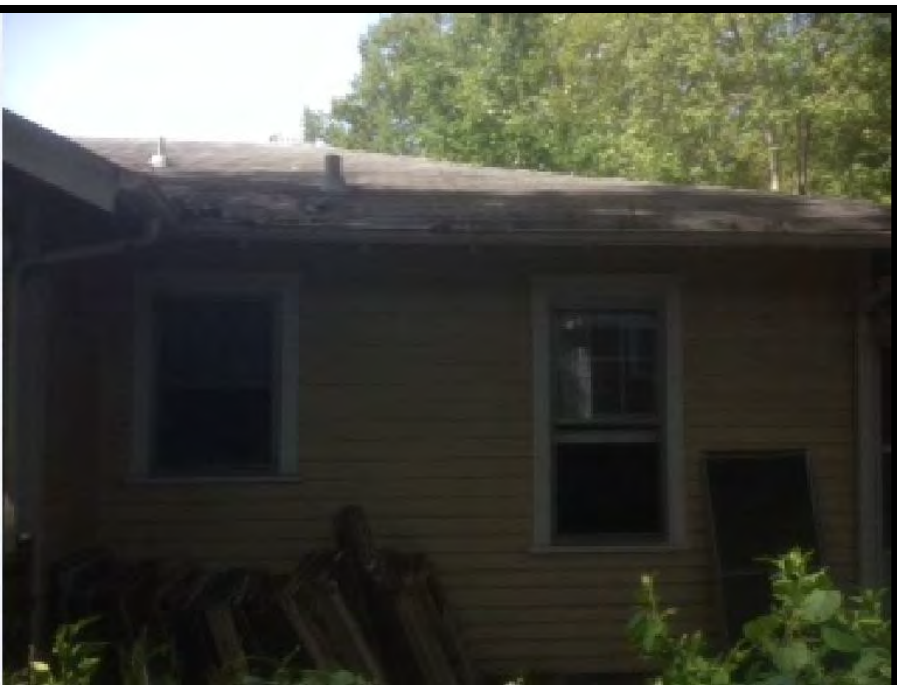
Worthington and Euclid Front Elevation

Worthington and
Euclid Side Elevation



ORIGINAL EXISTING STRUCTURE

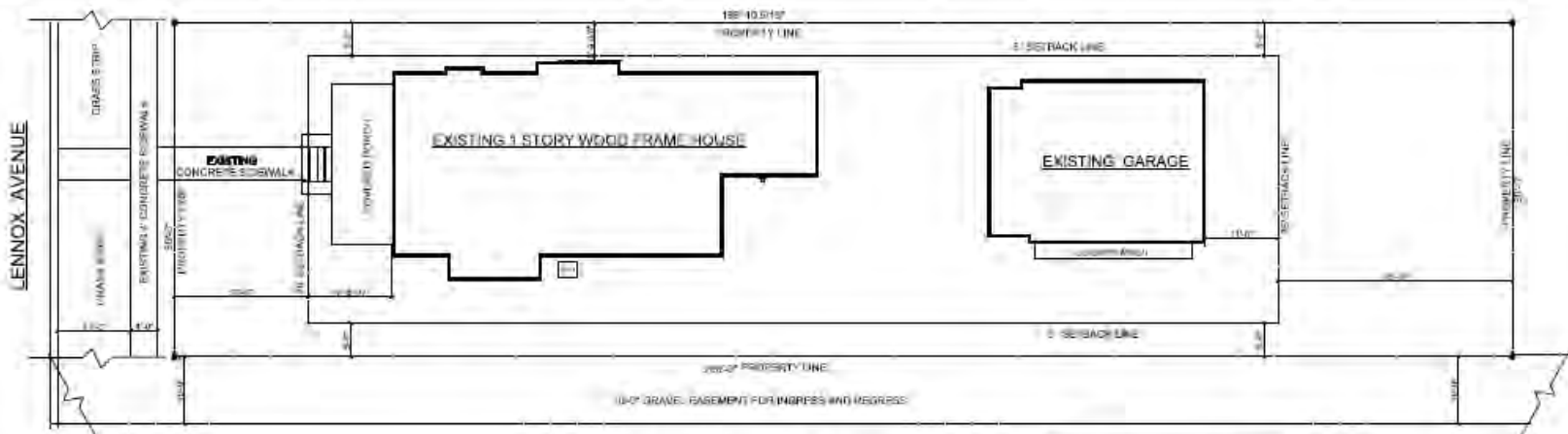








APRIL 2016

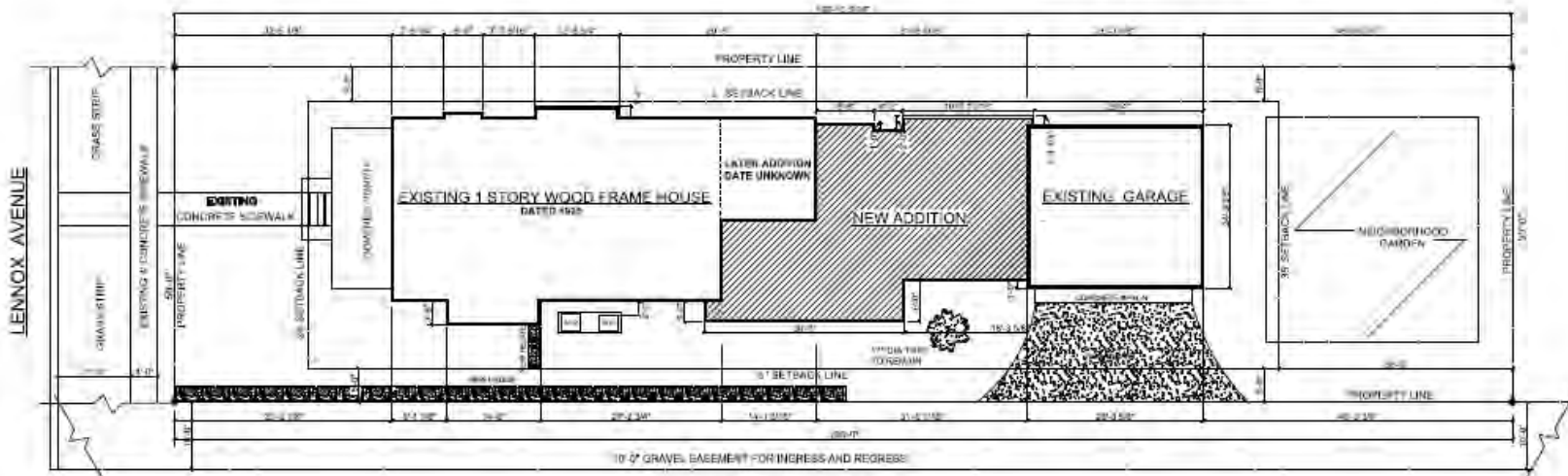
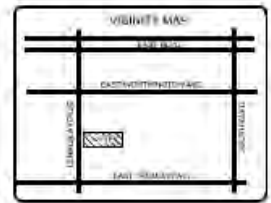


ZONING DATA (R-5)

LOT SIZE	5,927.0 S.F.
OPEN SPACE REMAINING	6,510 S.F.
PERCENTAGE OF OPEN SPACE	65%
REAR YARD SIDE OF EXISTING 100-SH HOUSE	5,838 S.F.
EXISTING COVERAGE ON REAR YARD (LATER ADDITION & GARAGE)	304 S.F.
PROPOSED NEW ADDITION	316 S.F.
TOTAL OF PROPOSED & EXISTING COVERAGE	3,112 S.F.
PERCENT OF REAR YARD COVERAGE	32.4%

EXISTING SITE PLAN

LOT 11 - BLOCK 70
.229 ACRES



TONY WARD
REGISTERED ARCHITECT
WARD DESIGN

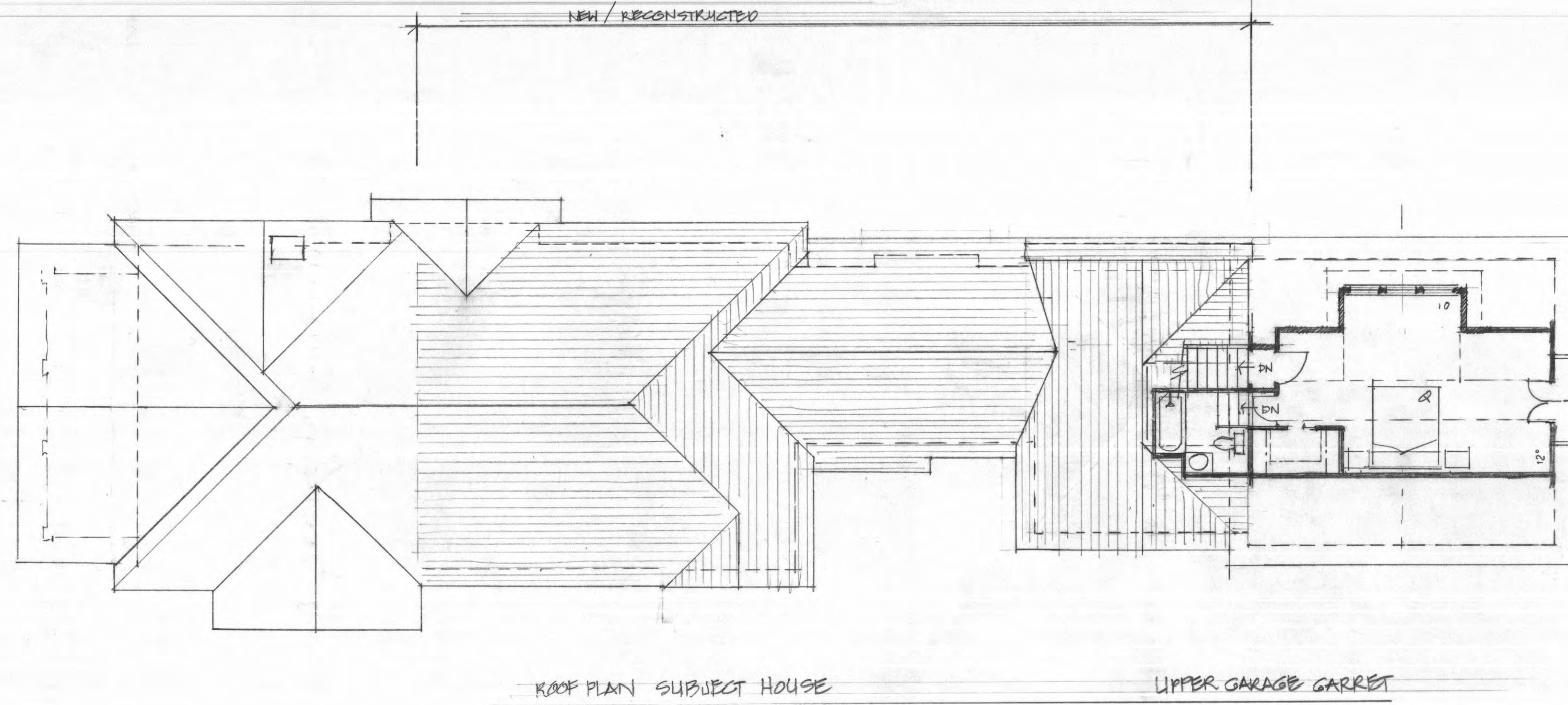
ADDITION & REMODEL
1015 LENNOX AVENUE, CHARLOTTE, N.C. 28203
EXISTING & NEW SITE PLAN

LENNOX HOUSE

REVISED

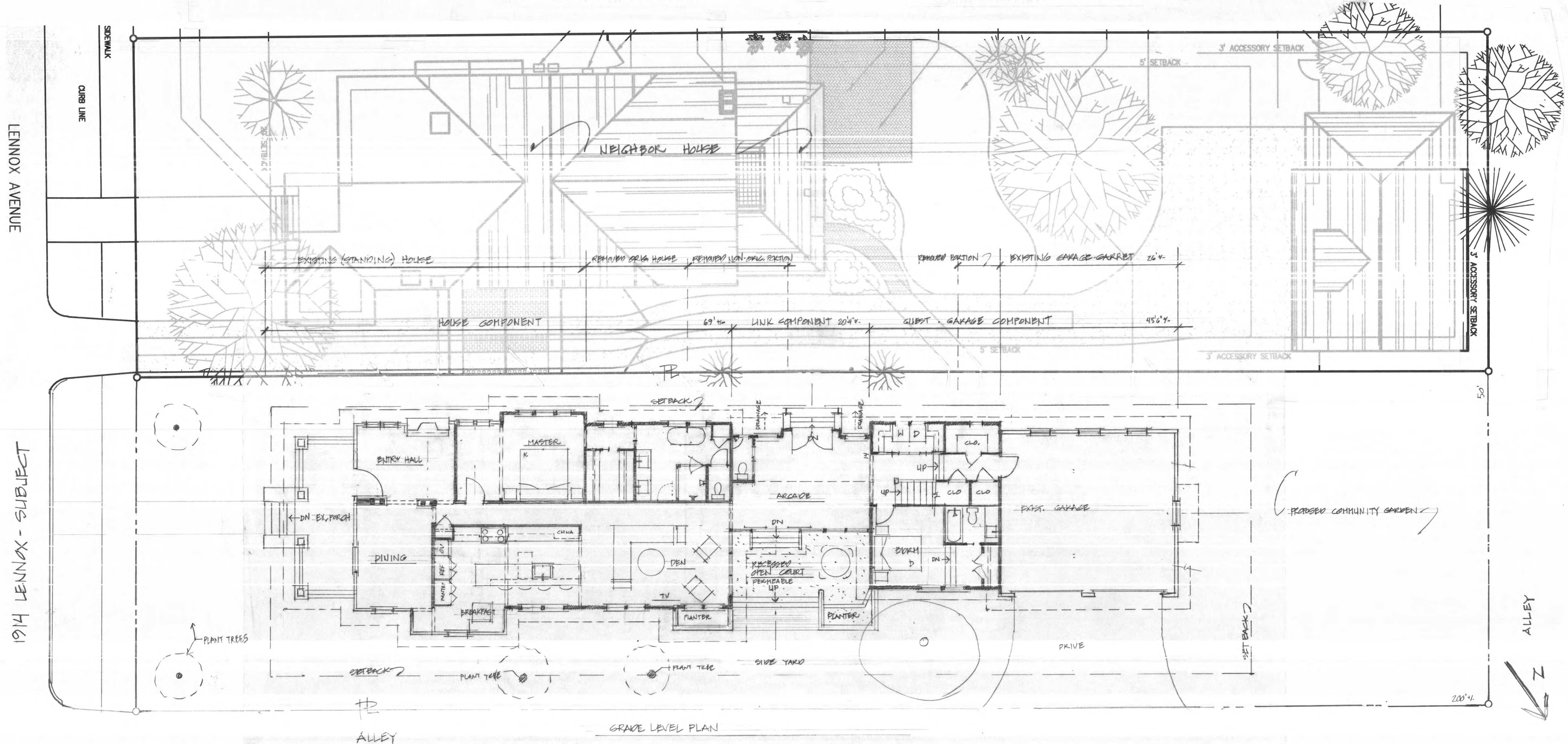
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BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
SP-1

May 2016/Allen Brooks

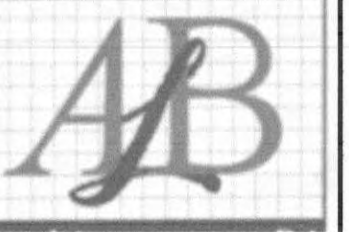


ROOF PLAN SUBJECT HOUSE

UPPER GARAGE GARRET

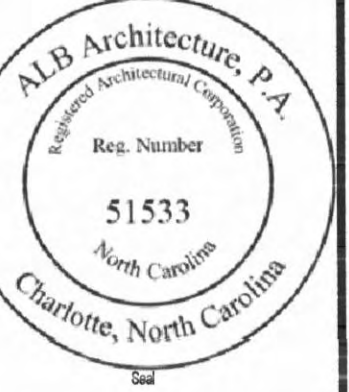
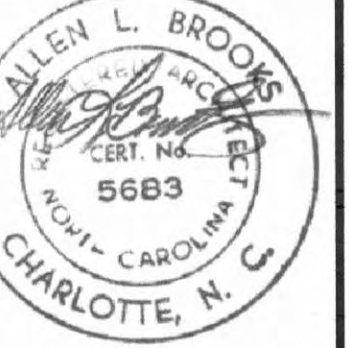


GRADE LEVEL PLAN



ALB Architecture
1200 E. Morehead St.
Suite 240
Charlotte, NC 28204
Phone: 704.503.9595

E-mail:
brooks.alb@cloud.com
lauerarch@aol.com



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Historic Dilworth Reconstruction & Addition of:
1914 Lennox Avenue
Charlotte, NC 28203

PROJECT # 16034
ISSUED: 04 MAY 2016
REVISIONS:

PROPOSED
PLANS
1/8" = 1'



Garage Detailing



Garage Drain

Garage Floor Makeup

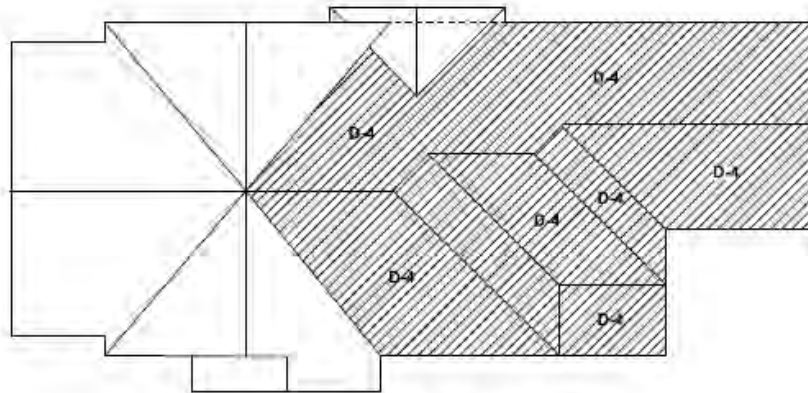




Neighborhood Garden



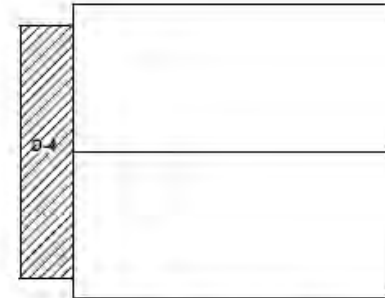
Neighborhood Garden



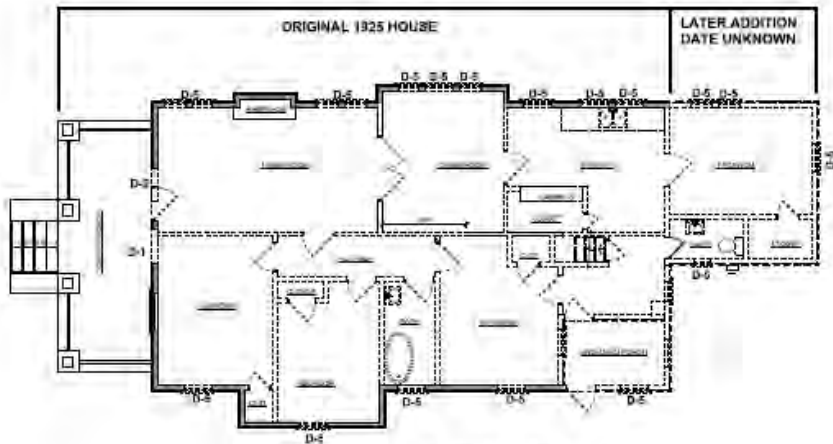
DEMOLITION HOUSE ROOF PLAN

DEMOLITION NOTES

- D-1 DEMOLITION CONTRACTOR SHALL PROVIDE DUMPSTER FOR DEMO MATERIALS AND SITE IS TO BE CLEANED DAILY.
- REMOVE ROOF FRAMING & CEILING AS REQUIRED AND PROTECT EXISTING HOUSE FROM DAMAGE.
- REMOVE EXTERIOR AND INTERIOR WALLS PER PLAN AND WALL LEGEND.
- D-2 OPEN WALL TO ACCOMMODATE NEW INTERIOR CENTER IN ENTRY STEPS.
- D-3 OPEN WALL TO ACCOMMODATE NEW WINDOW TO MATCH EXISTING & 24" IN GLENDON OPENING AS REQUIRED.
- D-4 REMOVE EXISTING STAIRS & LOSE FRAMING.
- D-5 REMOVE EXISTING DOOR.
- D-6 REMOVE EXISTING WINDOW.



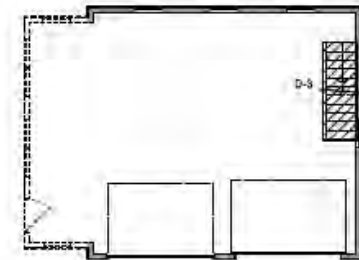
DEMOLITION GARAGE ROOF PLAN



DEMOLITION HOUSE FLOOR PLAN

WALL SYMBOL LEGEND

- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- EXTERIOR WALL TO BE REMOVED
- INTERIOR WALL TO BE REMOVED



DEMOLITION GARAGE FLOOR PLAN


TONY WARD
 REGISTERED ARCHITECT
WARD DESIGN
ARCHITECTURAL FIRM • CHARLOTTE, N.C.

ADDITION & REMODEL
1924 LENNOX AVENUE, CHARLOTTE, N.C. 28203
DEMOLITION FLOOR & ROOF PLANS

LENNOX HOUSE

DATE	1/14/24
DRAWN BY	A. WARD
CHECKED BY	TW
SCALE	AS NOTED
REVISION:	
DATE	1/14/24

DEMOLITION LEGEND

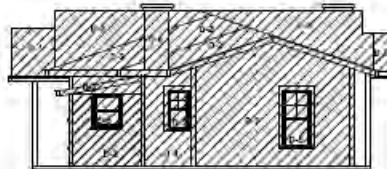
- 3-1 REMOVE & REPLACE ASPHALT SHINGLES
- 3-2 REMOVE ROOF FRAMING
- 3-3 REMOVE EXTERIOR WALLS
- 3-4 REMOVE ELECTRICAL SERVICE
- 3-5 REMOVE WINDOW OR DOOR
- 3-6 REMOVE BRICK CHIMNEY
- 3-7 OPEN WALL FOR NEW DOOR

EXISTING EXTERIOR FINISHES

FOUNDATION - BRICK
 WALLS - WOOD SIDING
 ROOF - ASPHALT SHINGLES



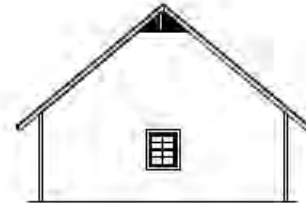
HOUSE FRONT ELEVATION



HOUSE REAR ELEVATION



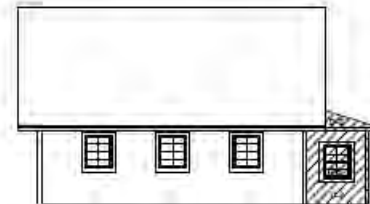
GARAGE FRONT ELEVATION



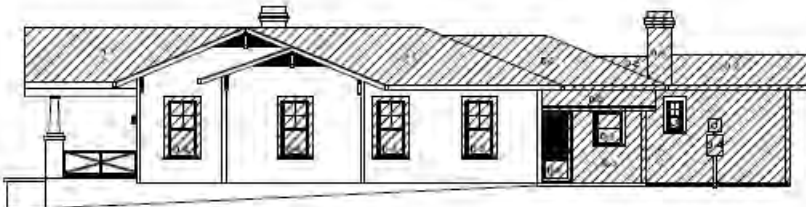
GARAGE REAR ELEVATION



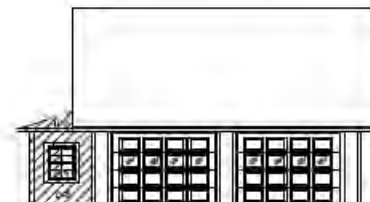
HOUSE LEFT SIDE ELEVATION



GARAGE LEFT SIDE ELEVATION



HOUSE RIGHT SIDE ELEVATION



GARAGE RIGHT SIDE ELEVATION

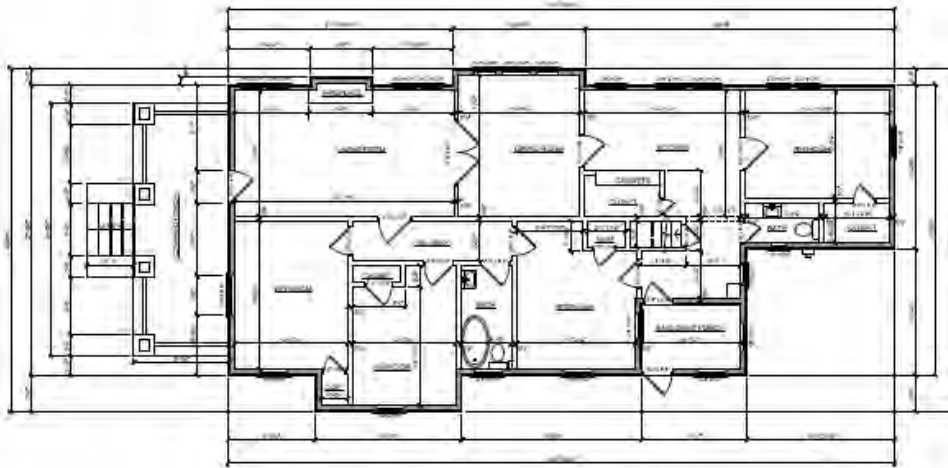


TONY WARD
 REGISTERED ARCHITECT
WARD DESIGN
 ARCHITECTURE AND INTERIOR DESIGN

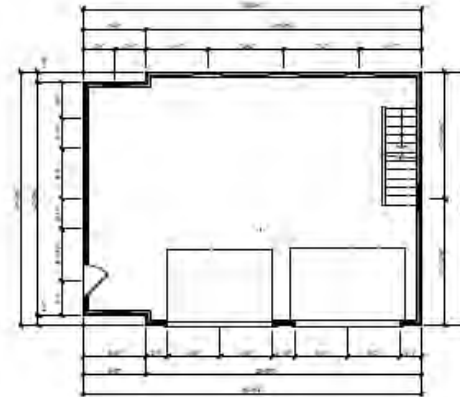
ADDITION & REMODEL
 1874 LENNOX AVENUE, CHARLOTTE, N.C. 28203
DEMOLITION ELEVATIONS

LENNOX HOUSE

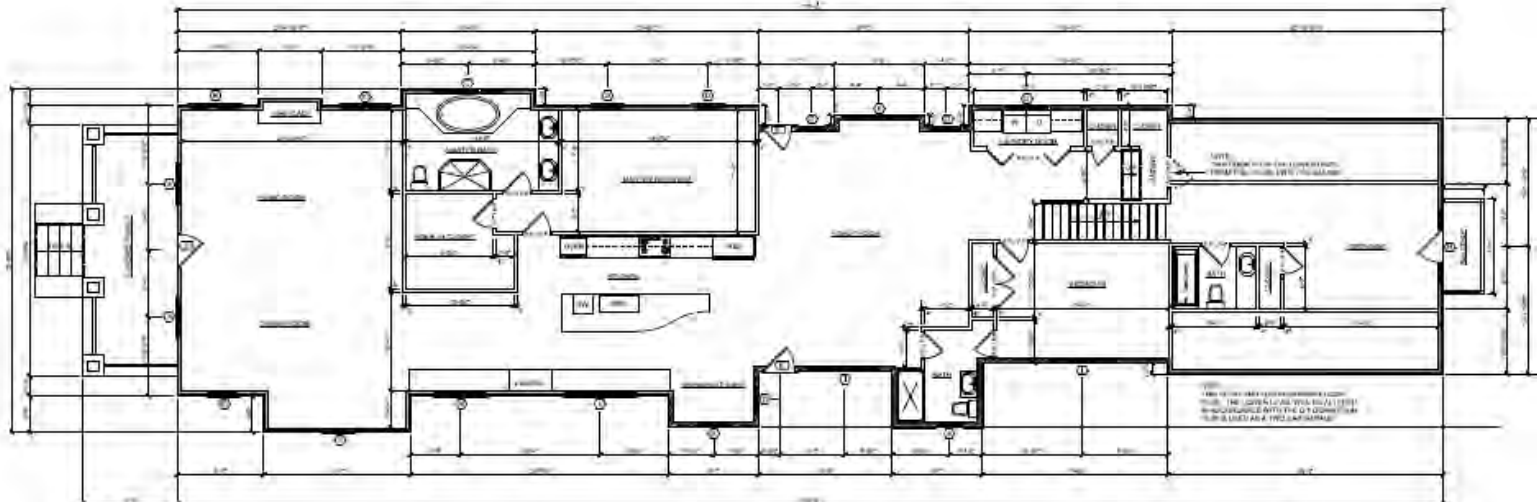
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DRAWN BY	WJ
CHECKED BY	WJ
SCALE	AS NOTED
REVISIONS	
DATE	01/20/18



EXISTING HOUSE FLOOR PLAN

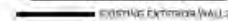



EXISTING GARAGE FLOOR PLAN



NEW FLOOR PLAN

WALL SYMBOL LEGEND

-  EXISTING EXTERIOR WALLS
-  NEW EXTERIOR WALLS
-  NEW INTERIOR WALLS



TONY WARD
REGISTERED ARCHITECT
WARD DESIGN
1914 LENNOX AVENUE, CHARLOTTE, N.C. 28203
TEL: 704.375.1111 FAX: 704.375.1112

ADDITION & REMODEL
1914 LENNOX AVENUE, CHARLOTTE, N.C. 28203
EXISTING & NEW FLOOR PLANS

LENNOX HOUSE

REVISED	
DATE	REVISION

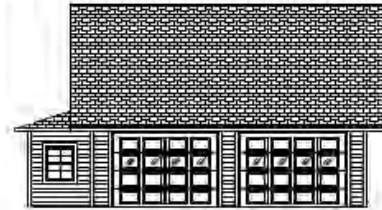
APRIL 2016



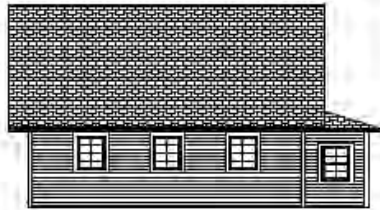
EXISTING RIGHT SIDE ELEVATION

NOTES

1. See Working Drawing Set for all details.
2. All exterior walls to be finished with brick.
3. All windows to be double-hung with decorative lintels.
4. All doors to be six-panel with transoms.
5. All exterior trim to be painted.



NEW RIGHT SIDE ELEVATION



EXISTING LEFT SIDE ELEVATION



NEW LEFT SIDE ELEVATION

TONY WARD
REGISTERED ARCHITECT
WARD DESIGN
No. 10000, State of North Carolina

ADDITION & REMODEL
1814 LENNOX AVENUE CHARLOTTE, N.C. 28203
EXISTING & NEW ELEVATIONS

LENNOX HOUSE

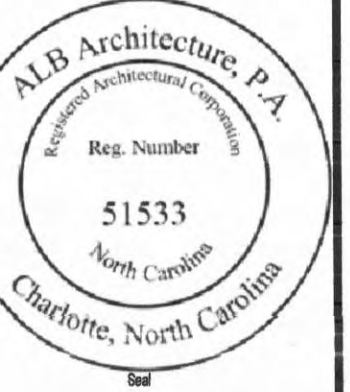
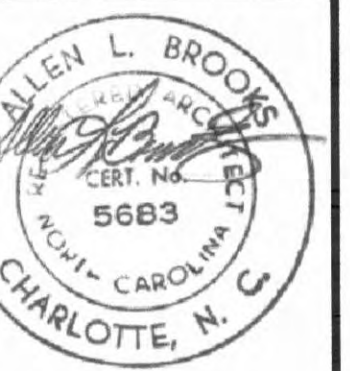
DATE	ISSUED
REVISION	BY
REVISION	BY
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REVISION	BY
REVISION	BY
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REVISION	BY
REVISION	BY

May 2016/Allen Brooks

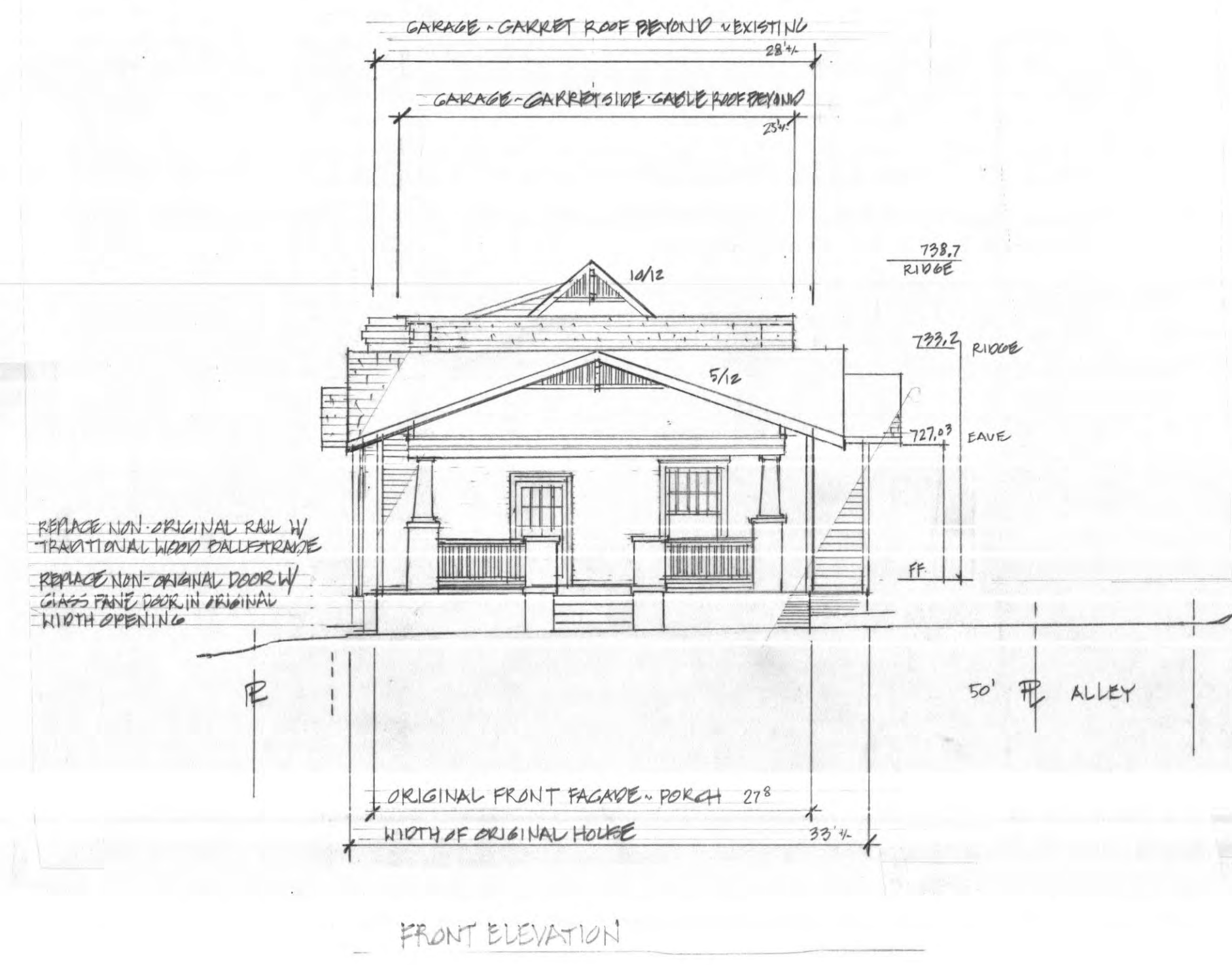
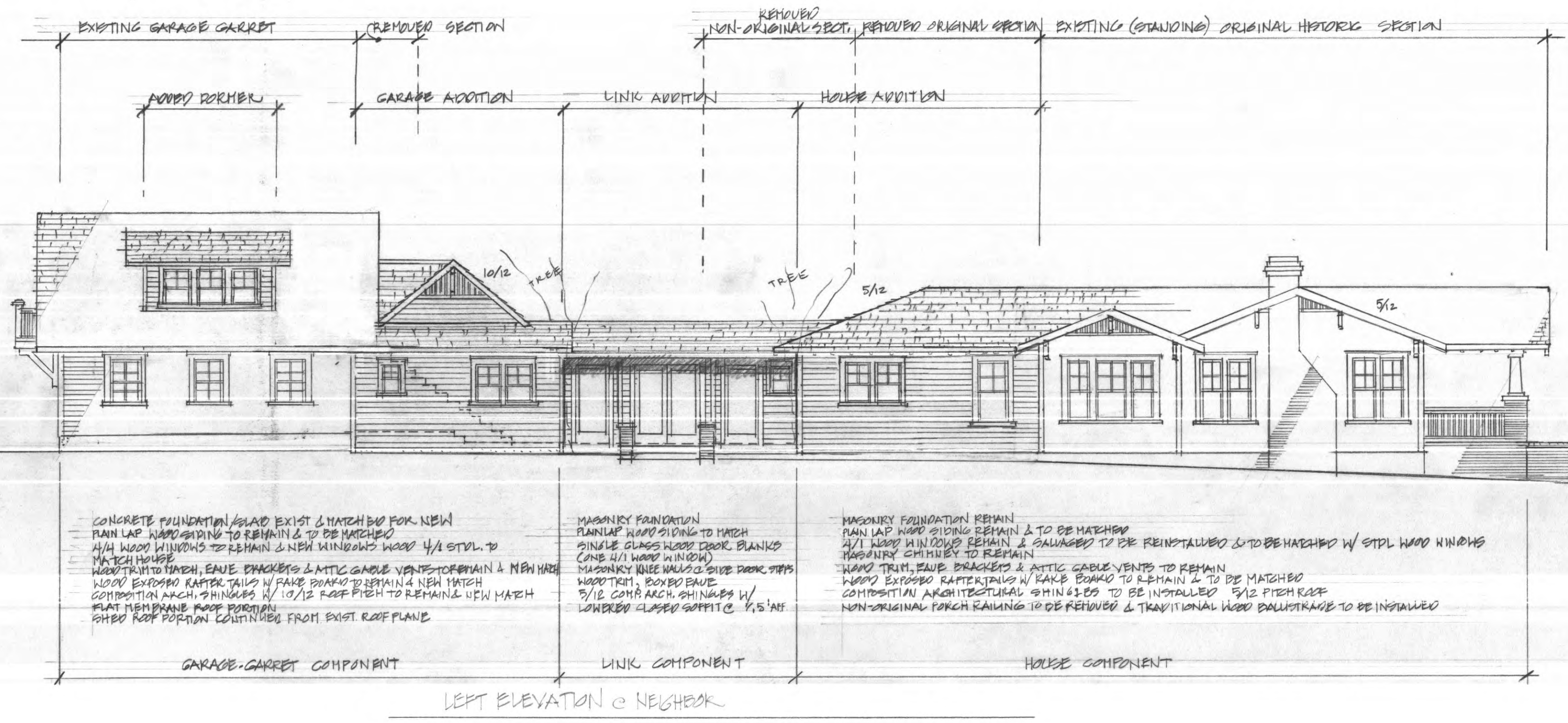
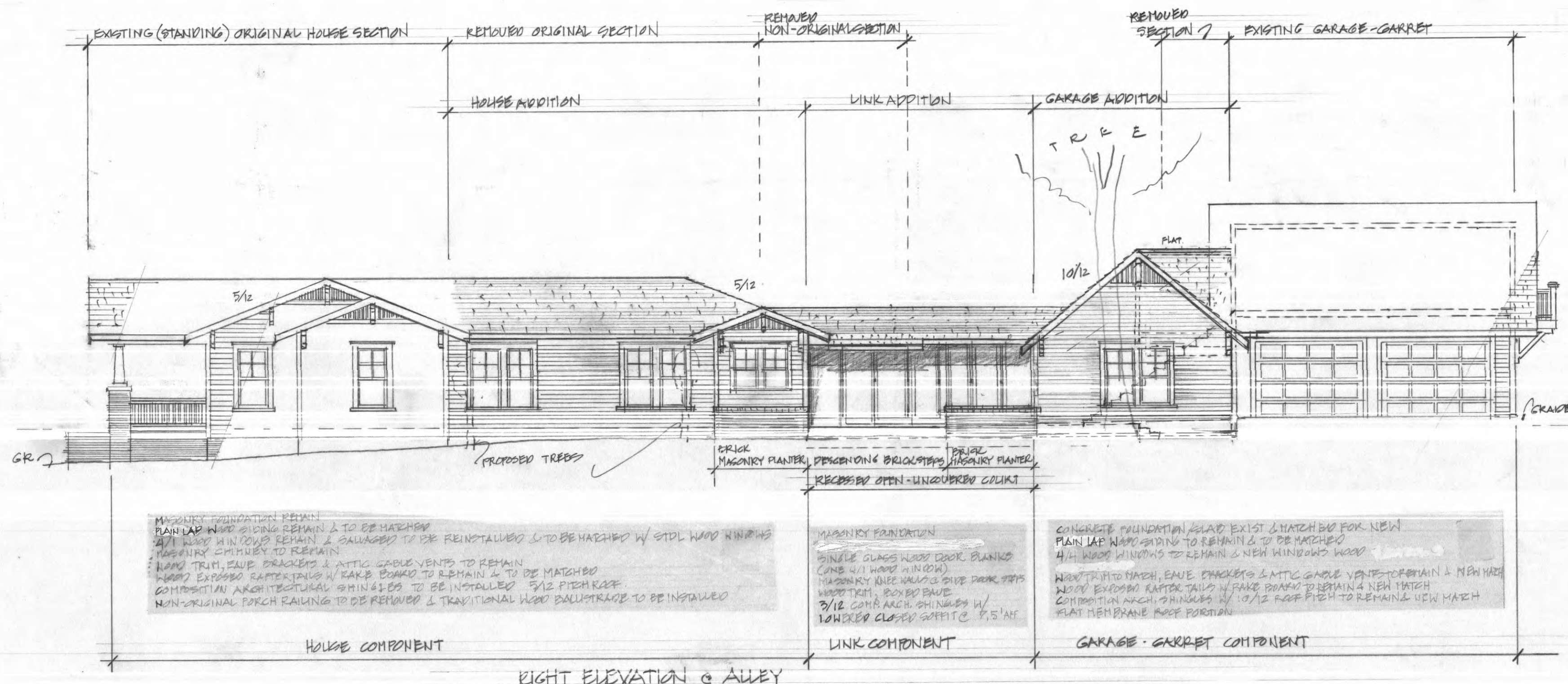
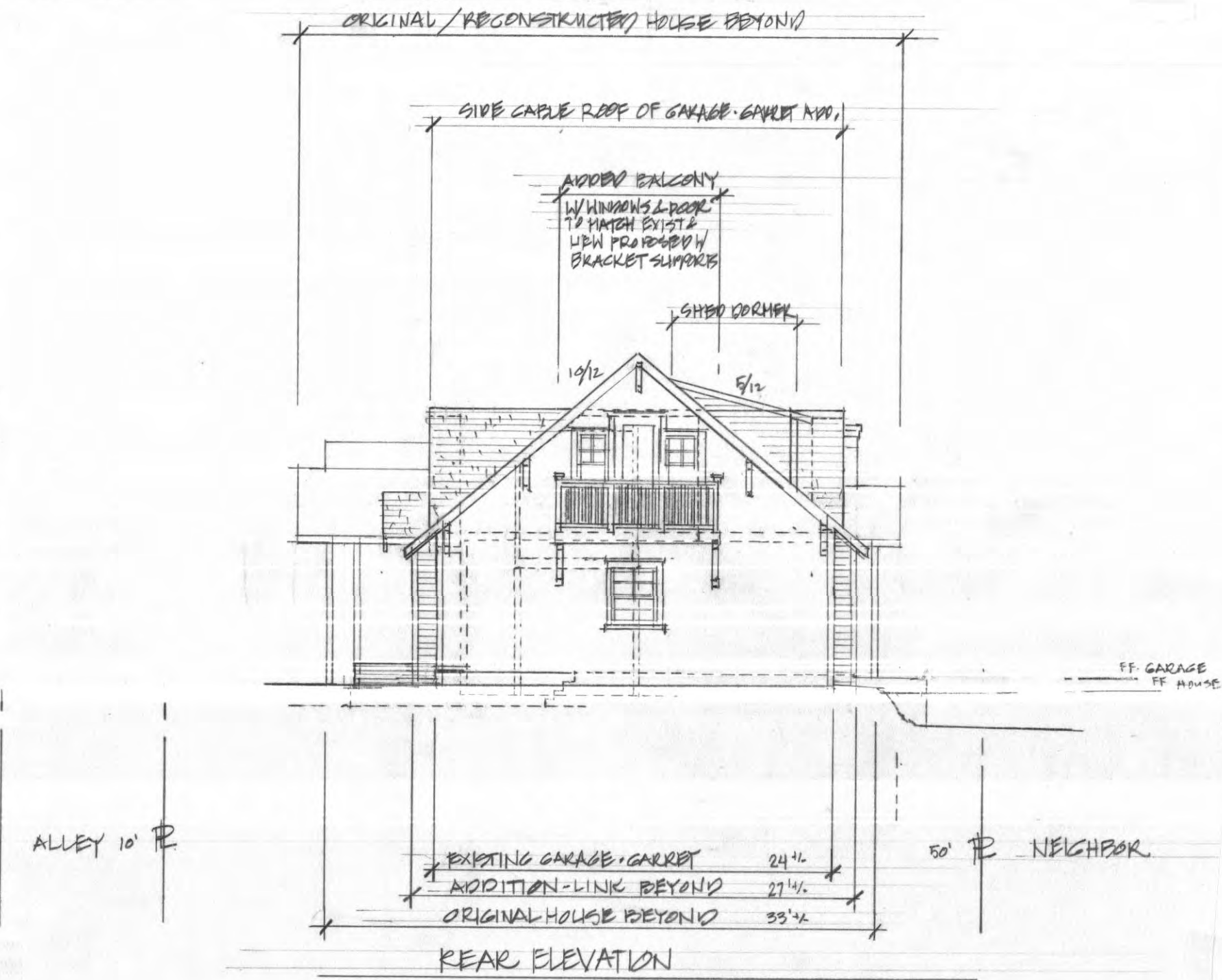


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brooks.ab@icloud.com
lauerarch@aol.com



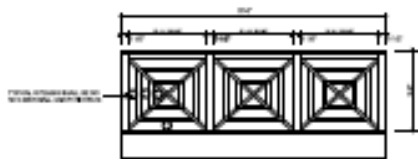
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Historic Dilworth Reconstruction & Addition of:
1914 Lennox Avenue
Charlotte, NC 28203

PROJECT #: 18034
ISSUED: 04 MAY 2016
REVISIONS:

PROPOSED ELEVATIONS
1/8" = 1'



- NOTES**
1. ALL EXISTING ROOF SHINGLES TO BE REMOVED AND REPLACED WITH NEW.
 2. ALL NEW SIDING, TRIM AND ROOF BOARDS TO MATCH EXISTING.
 3. ALL WINDOWS ARE TO BE REPLACED WITH WOOD FRAMES, LOW E GLASS AND INSULATED CORED PANELS TO MAINTAIN ORIGINAL APPEARANCE.
 4. SHADY AREAS INDICATE EXISTING.

TONY WARD
REGISTERED ARCHITECT
WARD DESIGN
ARCHITECTS
1014 LENOX AVENUE, CHARLOTTE, N.C. 28203
TEL: 704.375.1111 FAX: 704.375.1112

ADDITION & REMODEL
1014 LENOX AVENUE, CHARLOTTE, N.C. 28203
ELEVATIONS EXISTING & NEW

LENOX HOUSE

DATE	12/19/14
BY	AWD/ML
CHECKED BY	ML
SCALE	1/2" = 1'-0"
REVISED	
DATE	02/02/15



