

**LOCAL HISTORIC DISTRICT:** Dilworth  
**PROPERTY ADDRESS:** 1912 Park Road  
**SUMMARY OF REQUEST:** Addition  
**APPLICANT:** John Phares

**Details of Proposed Request**

*Existing Conditions*

The existing structure is one-story Bungalow home constructed in 1925 and listed as a contributing structure in the Dilworth National Register of Historic Places.

*Proposal*

The project is a one story addition to the rear of the house, improvements to the side will be visible from the street. The proposed changes to the side include the removal of a secondary chimney, installation of a new window and a new cross gable roof. New windows and trim details will match existing.

**Policy & Design Guidelines – Additions, page 36**

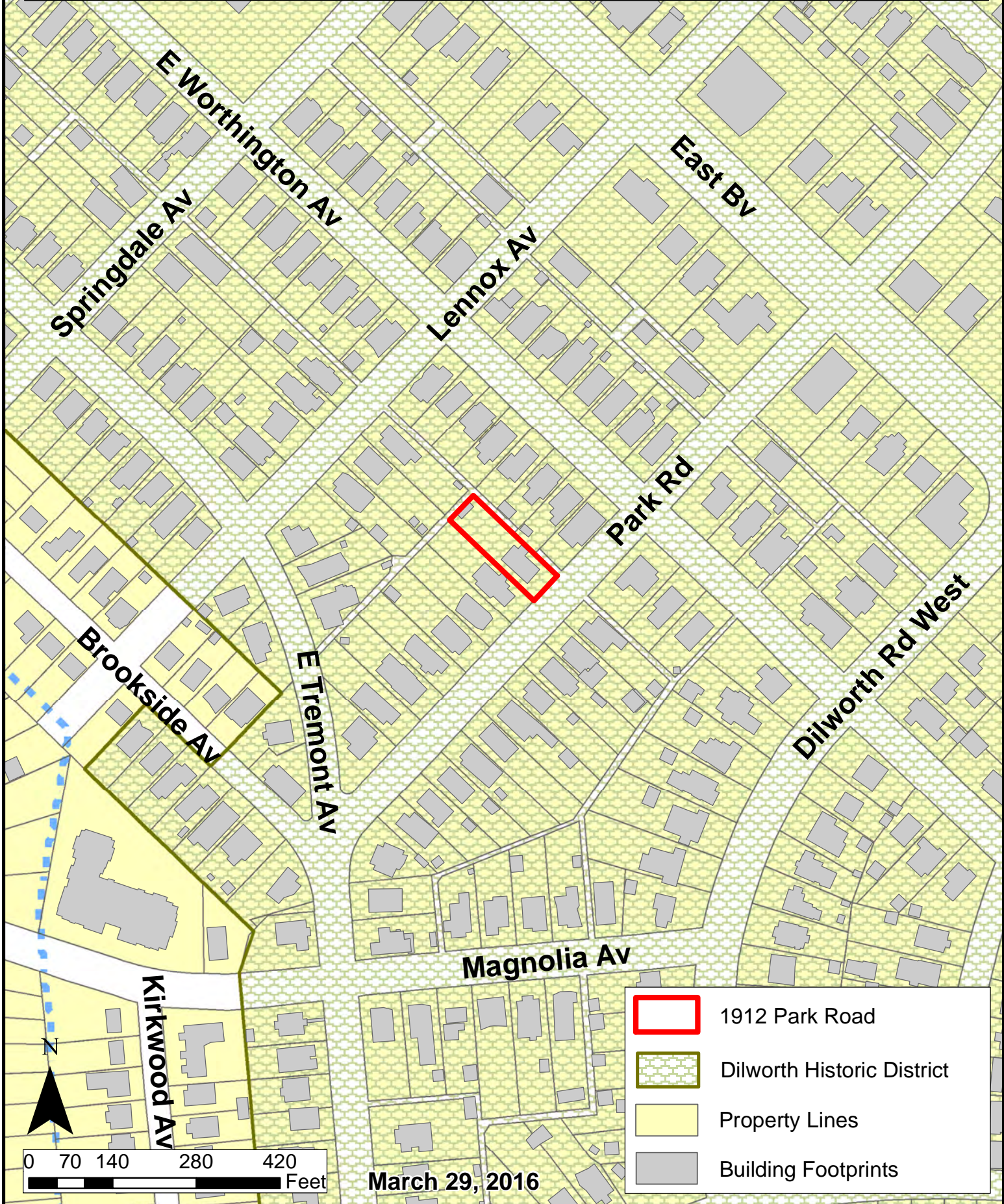
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<b>1. All additions will be reviewed for compatibility by the following criteria:</b>	
<b>a. Size</b>	<i>the relationship of the project to its site</i>
<b>b. Scale</b>	<i>the relationship of the building to those around it</i>
<b>c. Massing</b>	<i>the relationship of the building's various parts to each other</i>
<b>d. Fenestration</b>	<i>the placement, style and materials of windows and doors</i>
<b>e. Rhythm</b>	<i>the relationship of fenestration, recesses and projections</i>
<b>f. Setback</b>	<i>in relation to setback of immediate surroundings</i>
<b>g. Materials</b>	<i>proper historic materials or approved substitutes</i>
<b>h. Context</b>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis** - The Commission will determine if the proposal meets the guidelines for additions.

*Charlotte Historic District Commission - Case 2016-053*  
**HISTORIC DISTRICT: DILWORTH**





1920 Park Road



1918 Park Road



1912 Park Road (Subject Property)



828 Worthington Ave.



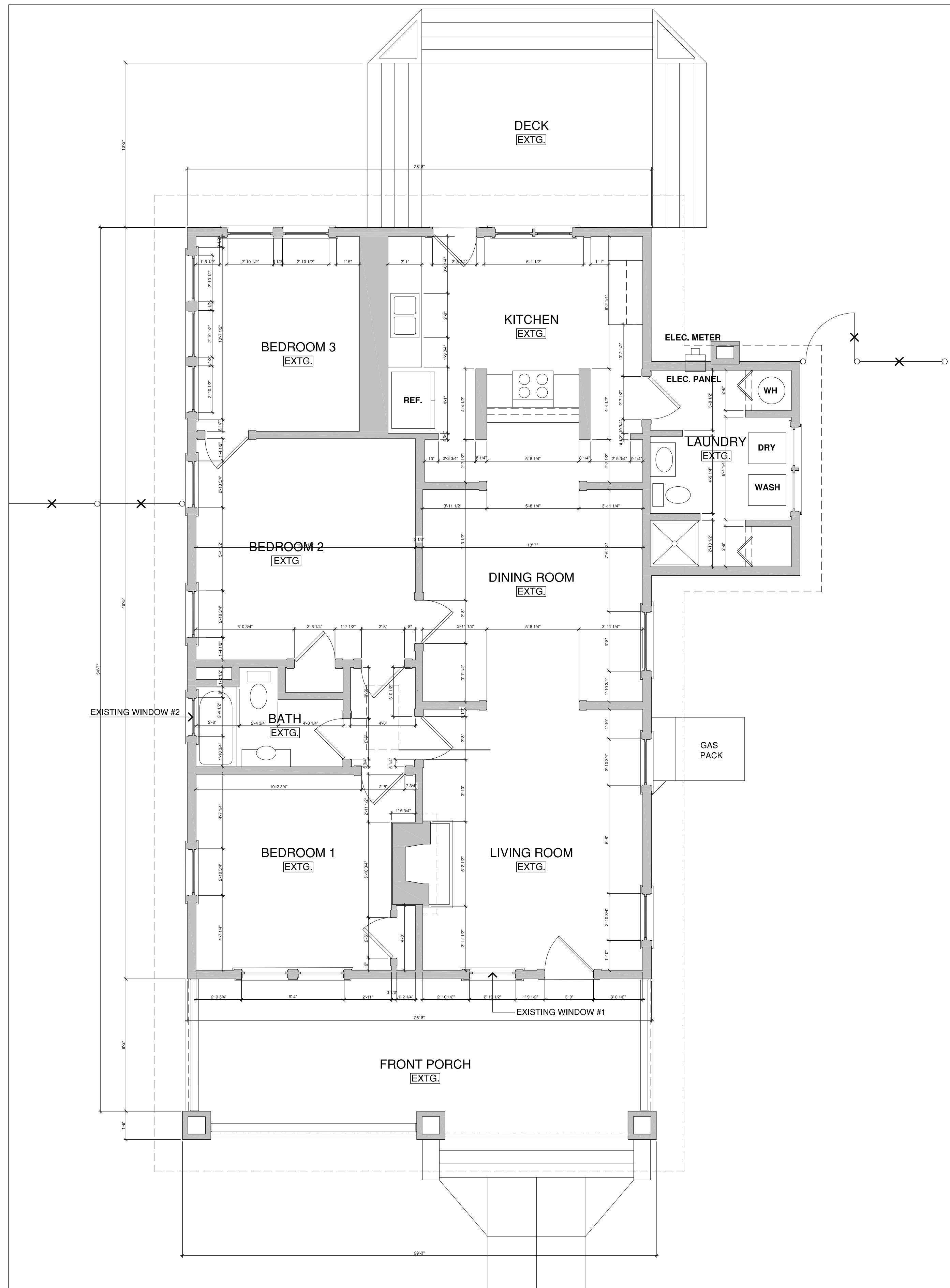
900 Park Worthington Ave.

1915 Park Road

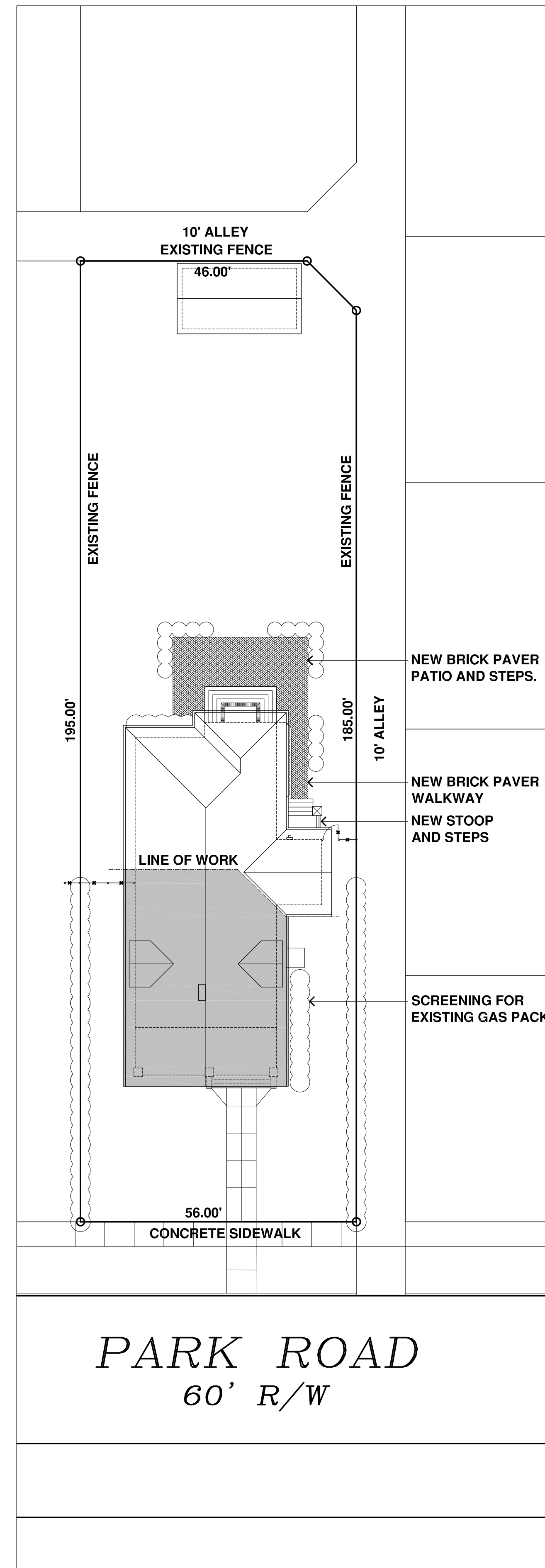
1917 Park Road

1921 Park Road

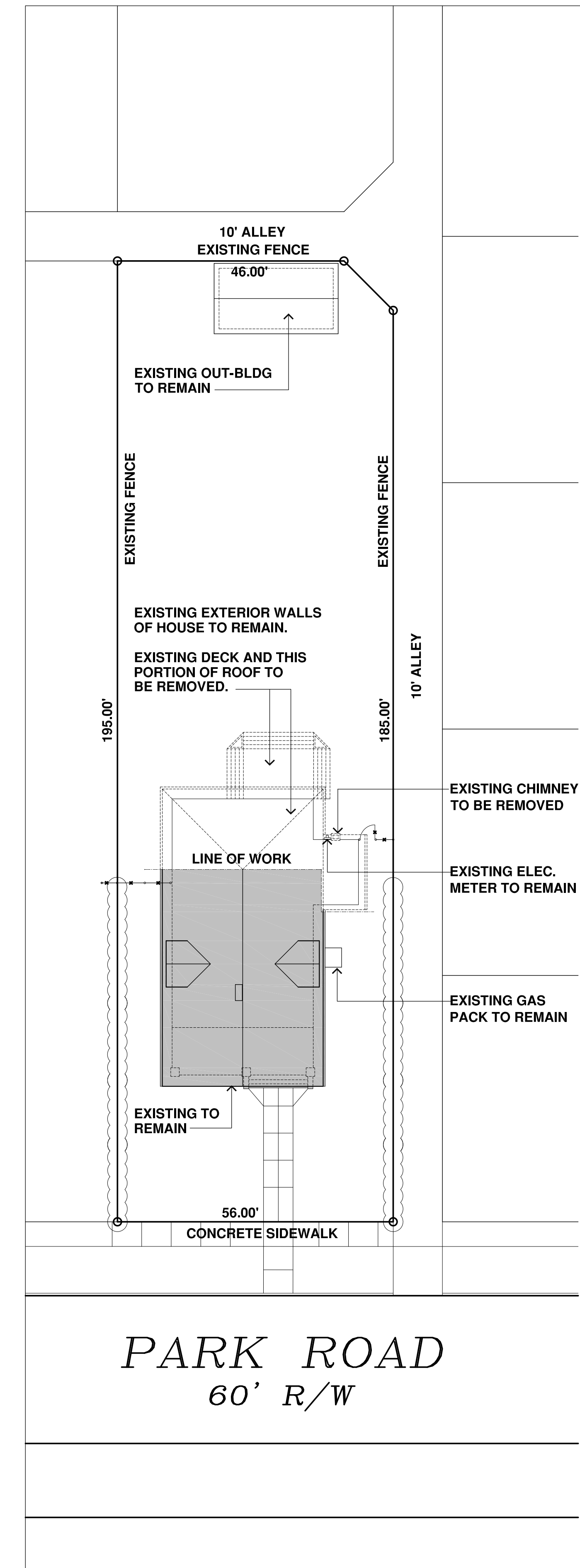




**C FLOOR PLAN EXISTING CONDITIONS**  NORTH



**B PROPOSED SITE PLAN**  NORTH



**A EXISTING / DEMO SITE PLAN**  NORTH

**PROPOSED RENOVATIONS TO JOHNSTON RESIDENCE**  
**1912 PARK ROAD, CHARLOTTE, NC 28203**

PROJECT: CA-16-01  
ISSUED: 2/19/16  
HDC  
SUBMITTAL SET

REVISIONS:  
HDC 4/4/16

SITE:  
EXISTING / DEMO PLAN  
and PROPOSED PLAN  
FIRST FLOOR: EXISTING





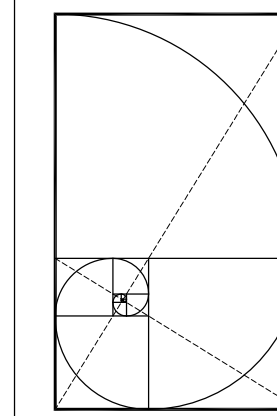
1912











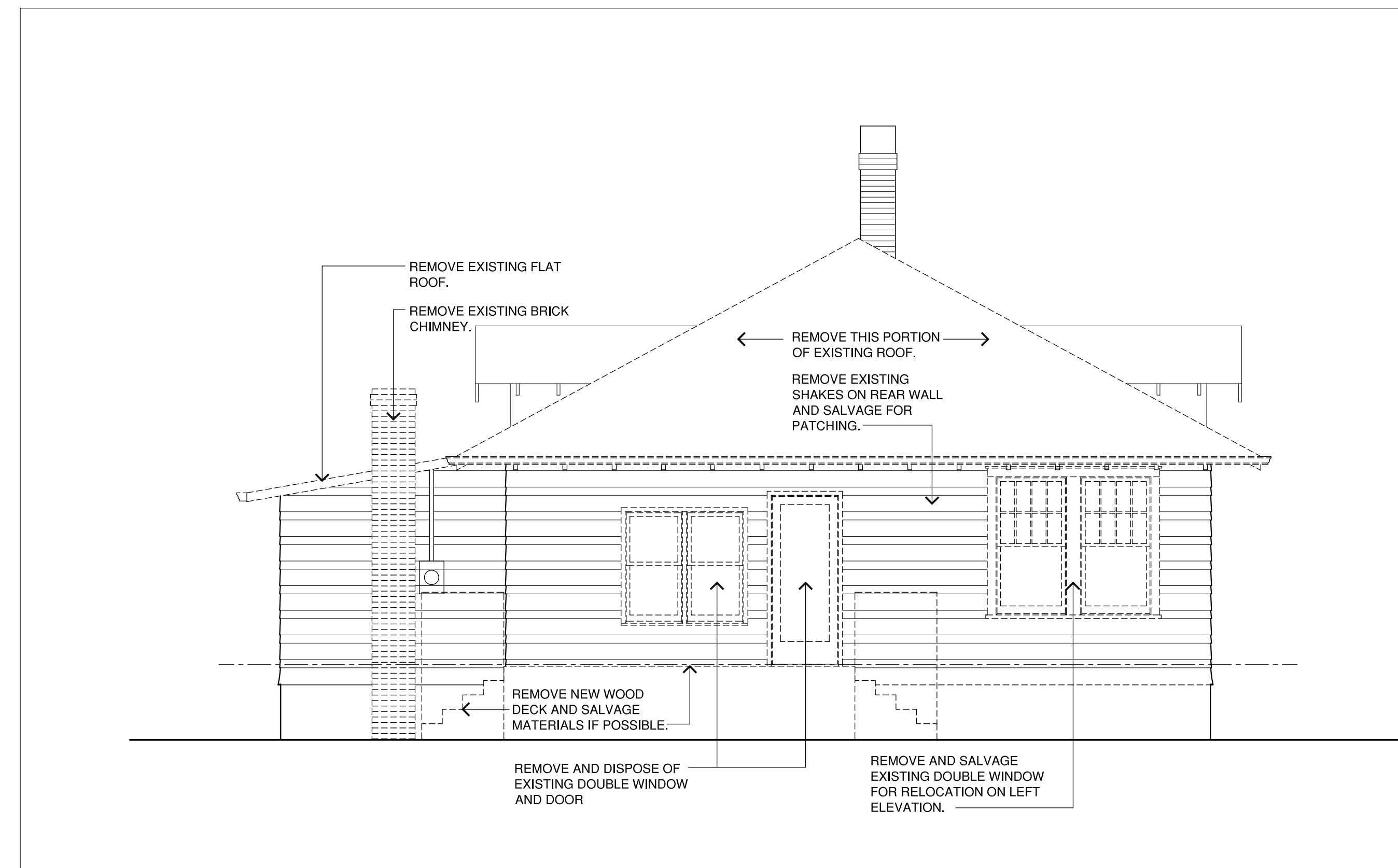
**CIRCA**  
ARCHITECTURE  
115 East Park Avenue, Suite E  
Charlotte, NC 28203  
704.996.5512  
john.phares@circaarch.com

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1912 PARK ROAD, CHARLOTTE, NC 28203

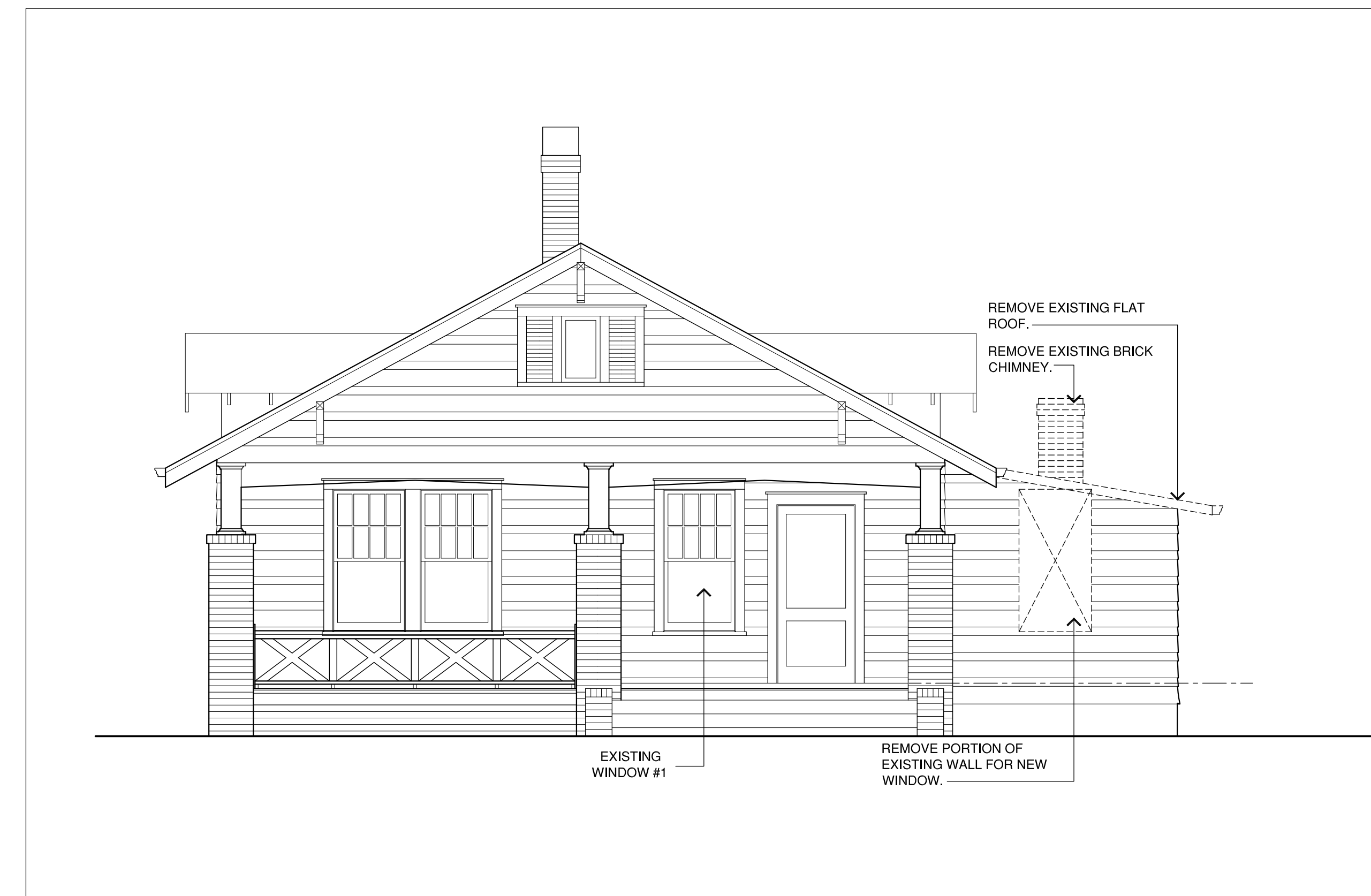
PROJECT: CA-16-01  
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HDC  
SUBMITTAL SET  
REVISIONS:  
HDC 4/4/16

EXISTING / DEMO  
and PROPOSED  
ELEVATIONS

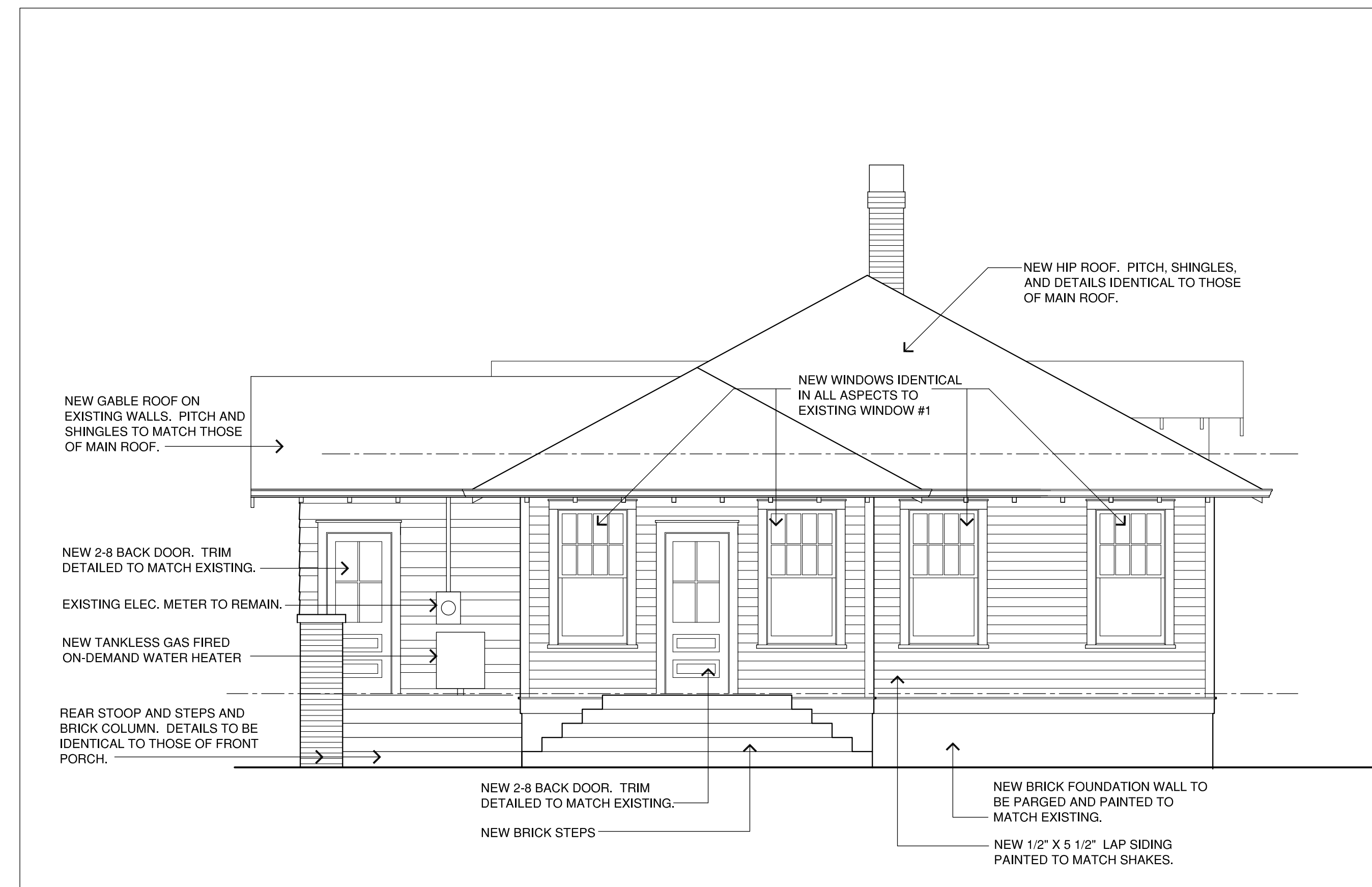
**A3**



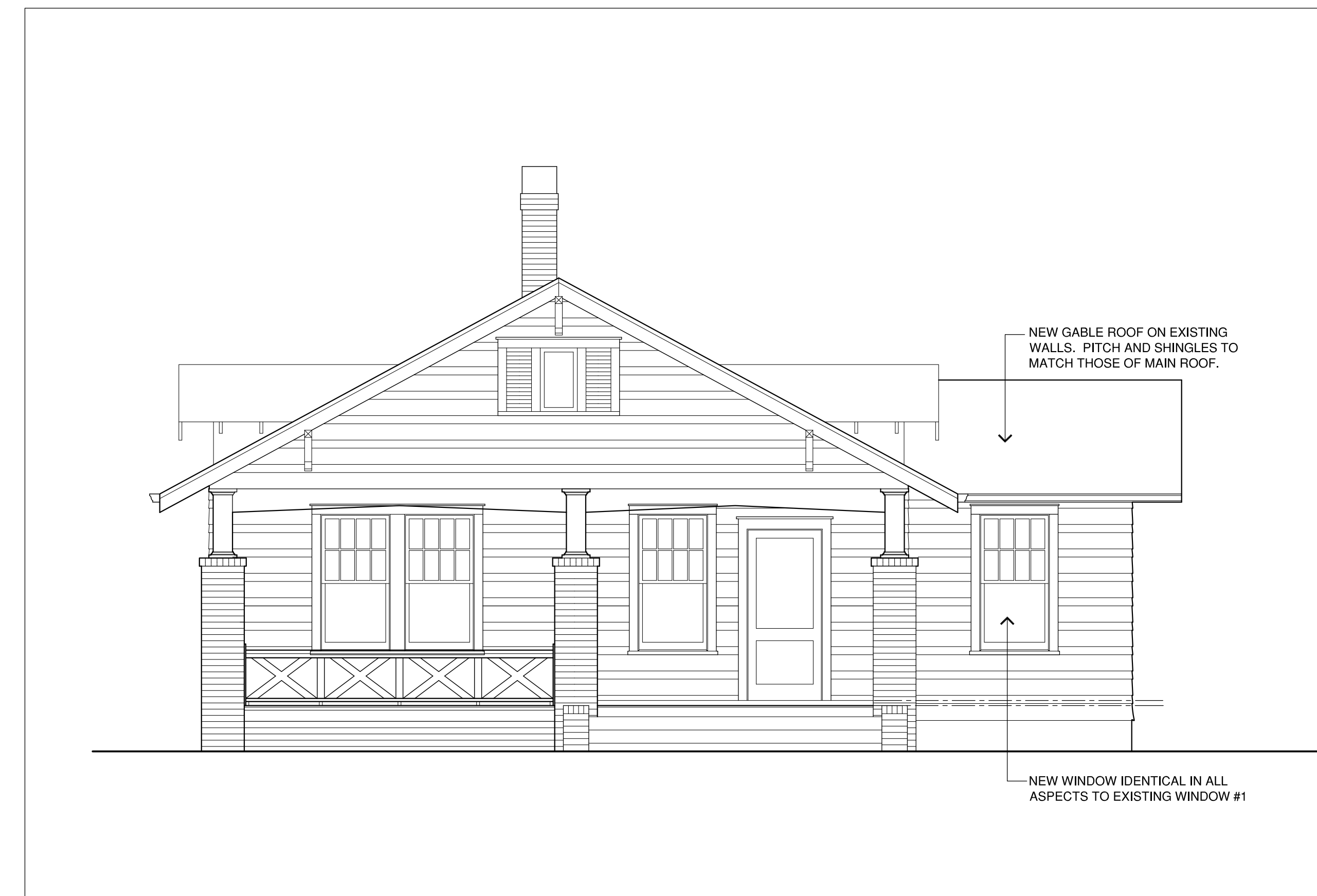
**C** EXISTING / DEMO REAR ELEVATION  
SCALE: 1/4" = 1'-0"



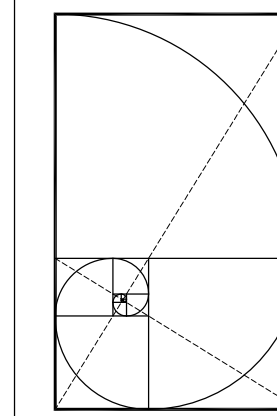
**A** EXISTING / DEMO FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



**D** PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"



**B** PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



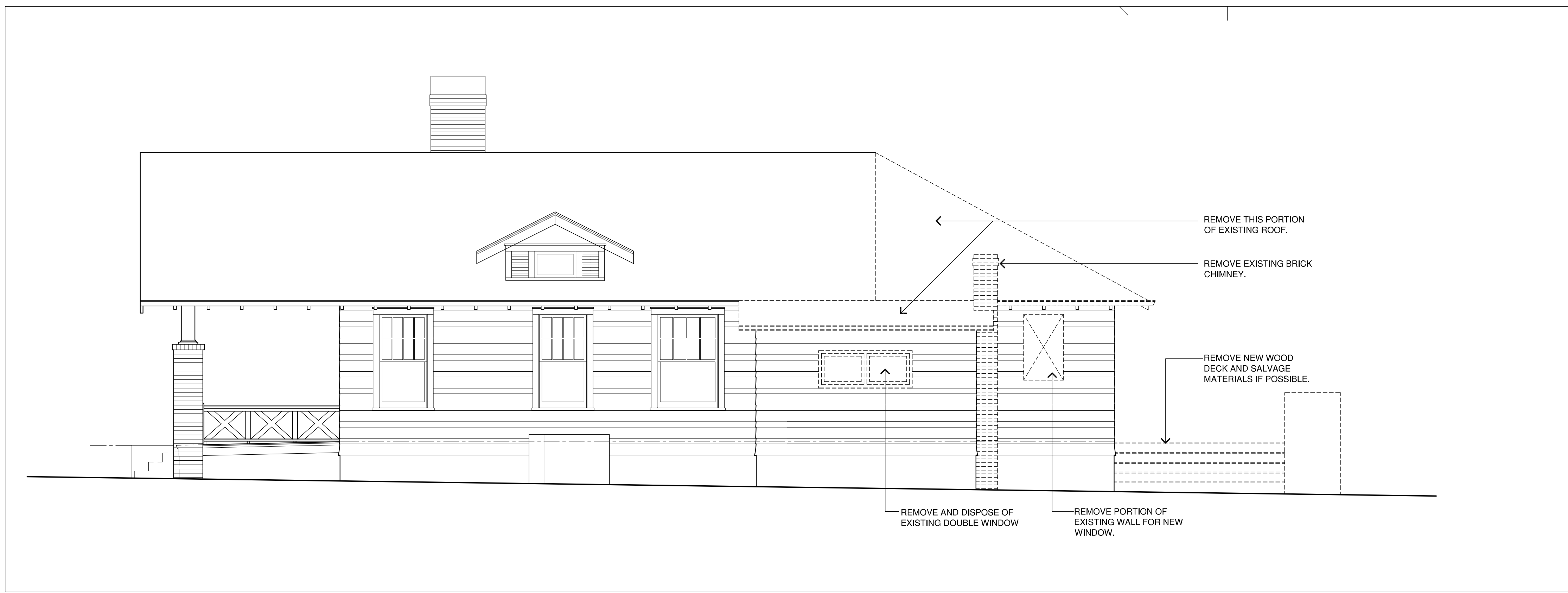
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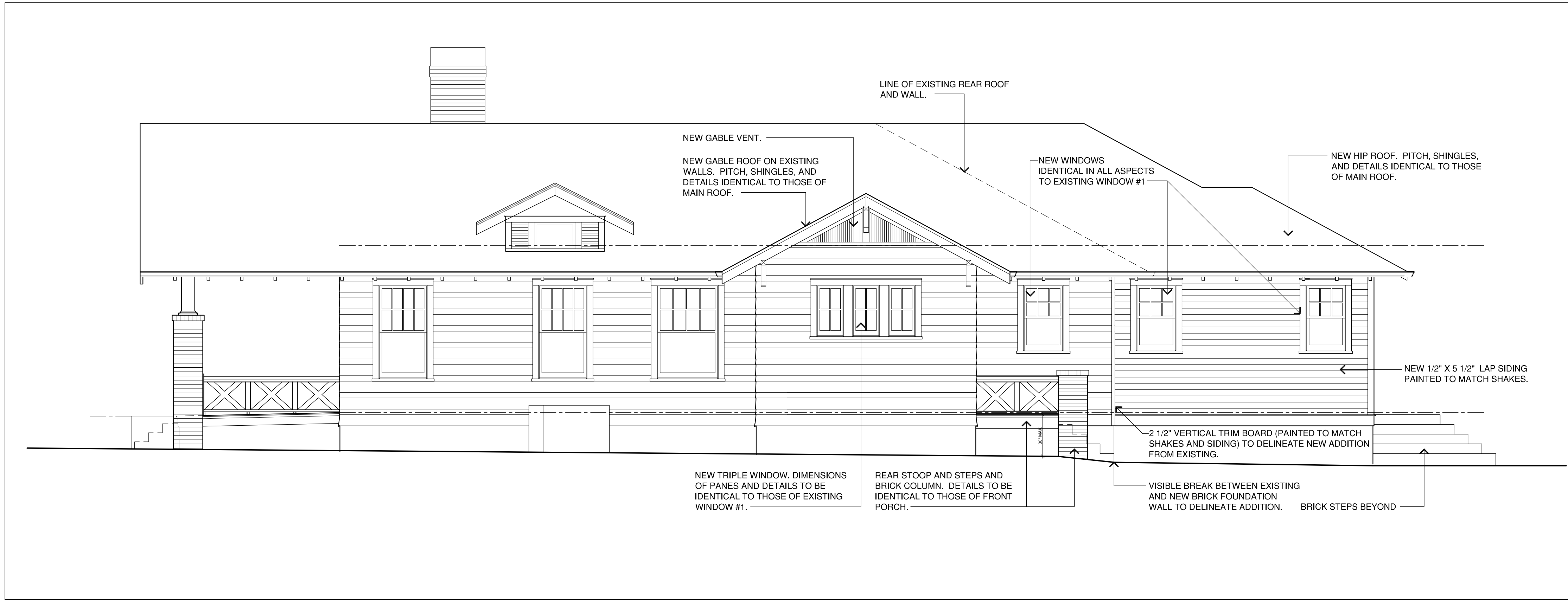
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SUBMITTAL SET  
REVISIONS:  
HDC 4/4/16

EXISTING / DEMO  
and PROPOSED  
ELEVATIONS

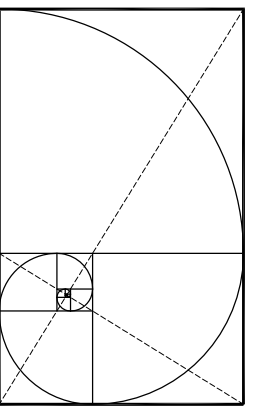
**A4**



**A** EXISTING / DEMO RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



**B** PROPOSED RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



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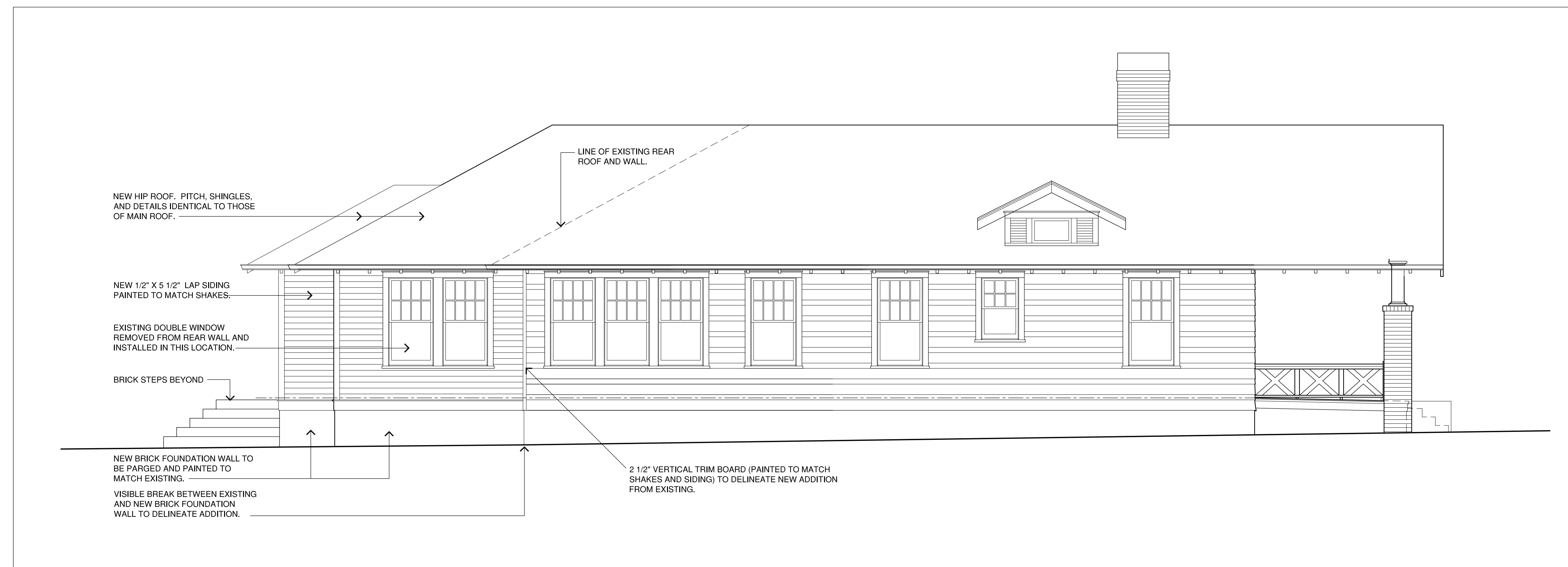
REVISIONS:  
HDC 4/4/16

EXISTING / DEMO  
and PROPOSED  
ELEVATIONS

**A5**



**A** EXISTING / DEMO LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



**B** PROPOSED LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

