

**LOCAL HISTORIC DISTRICT:** Wilmore

**PROPERTY ADDRESS:** 2112 Wilmore Drive

**SUMMARY OF REQUEST:** Addition

**APPLICANT:** Chris Goodwin

**Details of Proposed Request**

*Existing Context*

The existing structure is a one story ranch house constructed in 1940. Existing windows are 8 over 8 divided. The siding material is asbestos. Adjacent houses on the block are a variety of 1 and 1.5 story homes.

*Proposal*

The proposal is a second floor addition which includes the replacement of windows and removal of the asbestos siding. The addition includes a new porch roof and front shed dormer. New windows are wood with an 8 over 8 light pattern for full size windows. Roof trim and boxing will match existing. The second floor addition will extend from the existing roof line toward the rear. The building footprint will not change and no site features will be impacted.

**Policy & Design Guidelines - Additions**

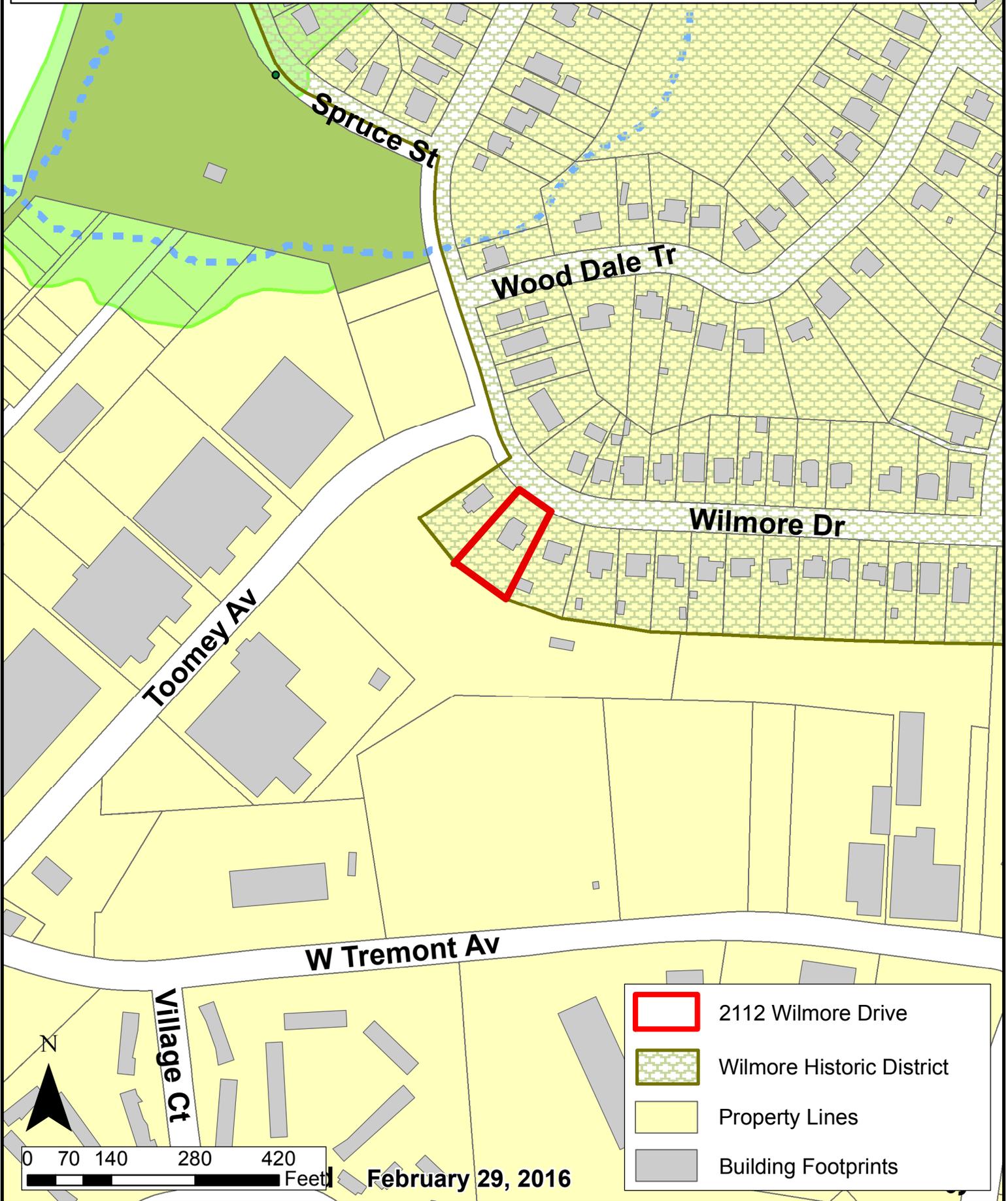
Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

<i>1. All additions will be reviewed for compatibility by the following criteria:</i>	
<i>a. Size</i>	<i>the relationship of the project to its site</i>
<i>b. Scale</i>	<i>the relationship of the building to those around it</i>
<i>c. Massing</i>	<i>the relationship of the building's various parts to each other</i>
<i>d. Fenestration</i>	<i>the placement, style and materials of windows and doors</i>
<i>e. Rhythm</i>	<i>the relationship of fenestration, recesses and projections</i>
<i>f. Setback</i>	<i>in relation to setback of immediate surroundings</i>
<i>g. Materials</i>	<i>proper historic materials or approved substitutes</i>
<i>h. Context</i>	<i>the overall relationship of the project to its surroundings</i>

2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

**Staff Analysis** - The HDC will determine if the revisions meet the guidelines for Size, Scale, Massing, Fenestration, Rhythm, Materials and Context.

*Charlotte Historic District Commission - Case 2016-032*  
**HISTORIC DISTRICT: WILMORE**



# 2112 Wilmore Drive



Current  
view of the  
rear of the  
home.



This is the view from the back of the house looking at the current mud room in this location a proposed wooden deck will be built





This is from  
the front  
left of the  
house  
looking at  
the mud  
room





Current  
View of  
the right  
side of the  
house



# Current front porch



This is  
the home  
across  
the street



This is  
the home  
to the left



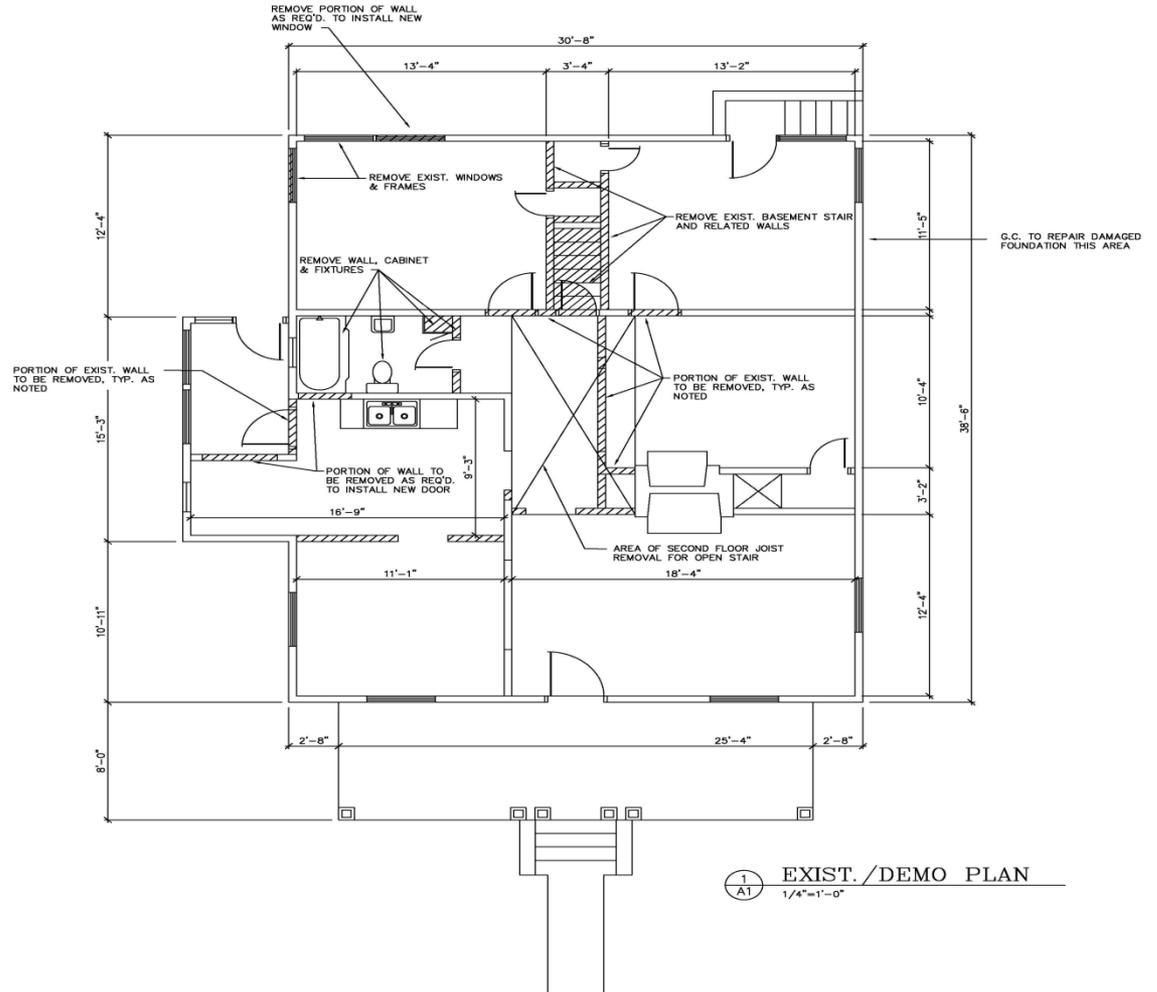
This is  
the home  
to the  
right



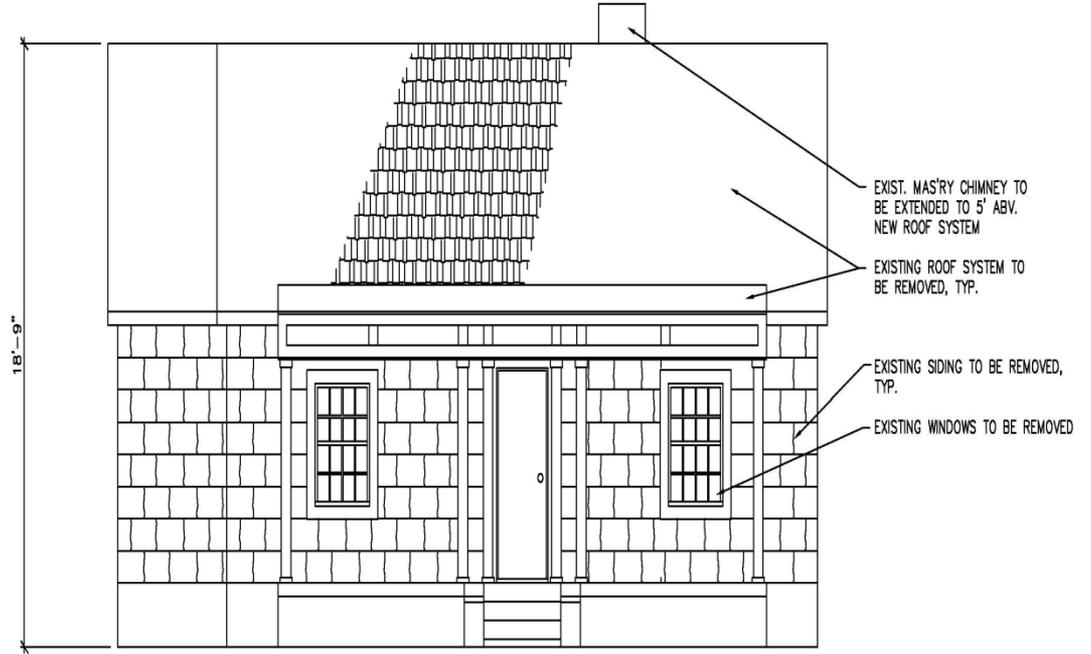
This is a  
street view  
of the  
home.



# Proposed demolition plan

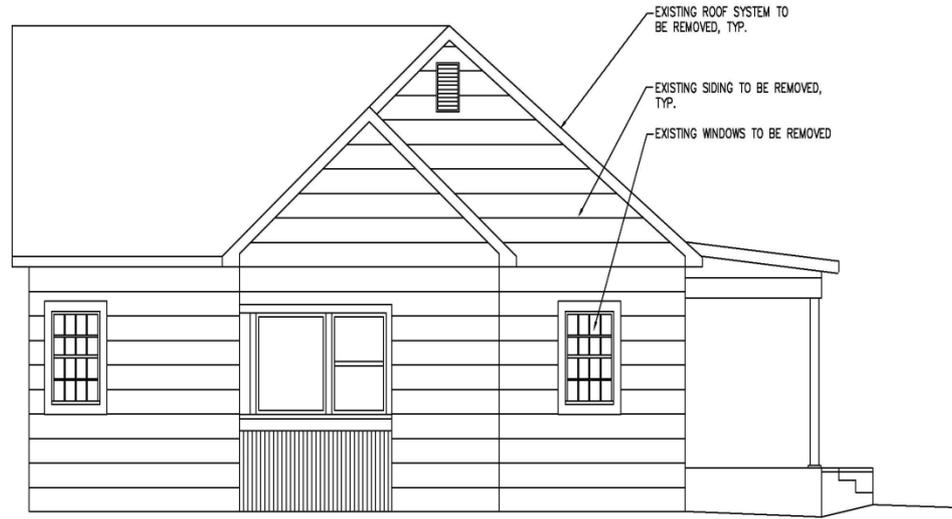


# Front exterior renderings - Current



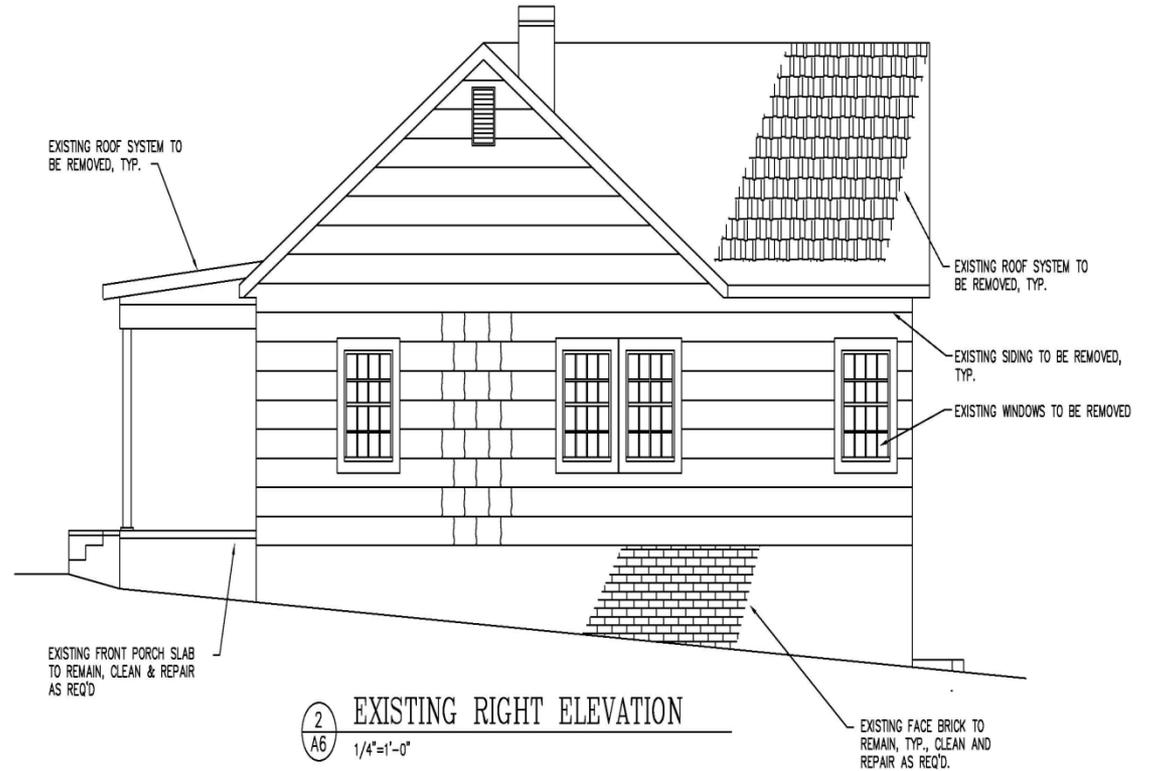
1 EXISTING FRONT ELEVATION  
A6 1/4"=1'-0"

# Left side exterior renderings - Current

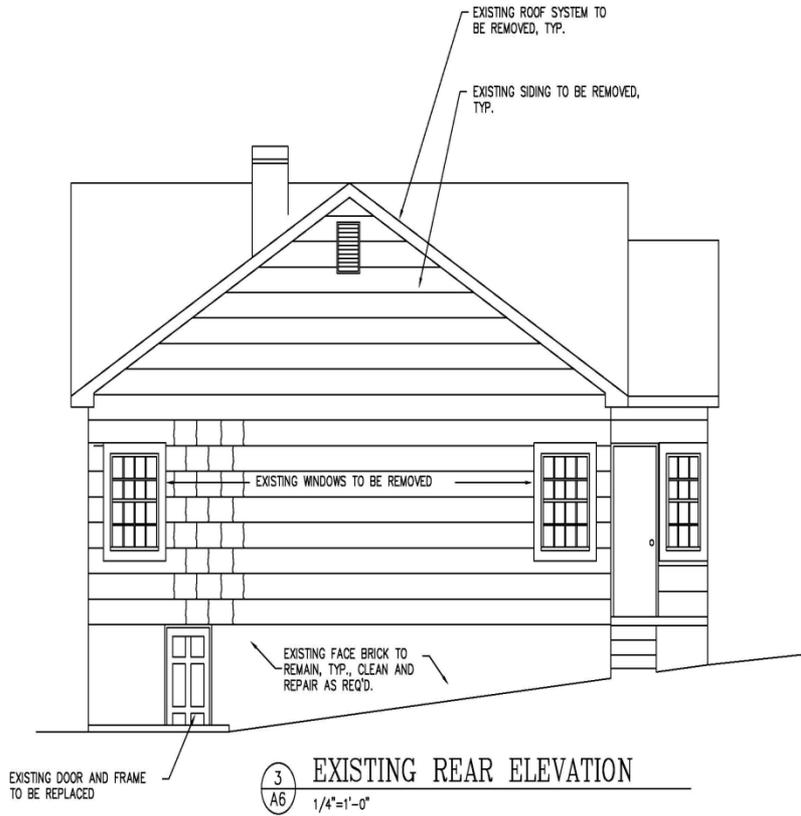


4 EXISTING LEFT ELEVATION  
A6 1/4"=1'-0"

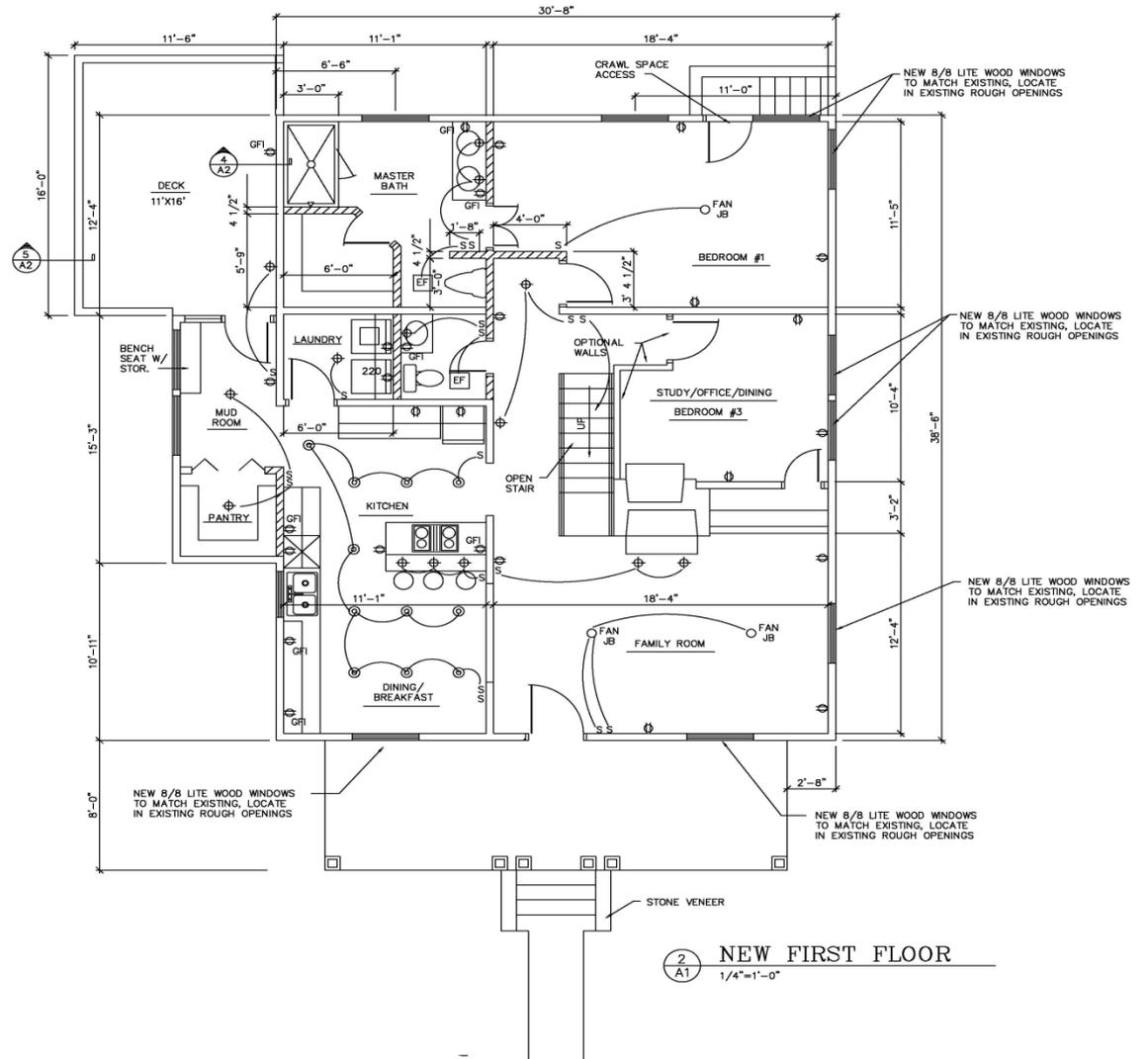
# Right side exterior renderings - Current



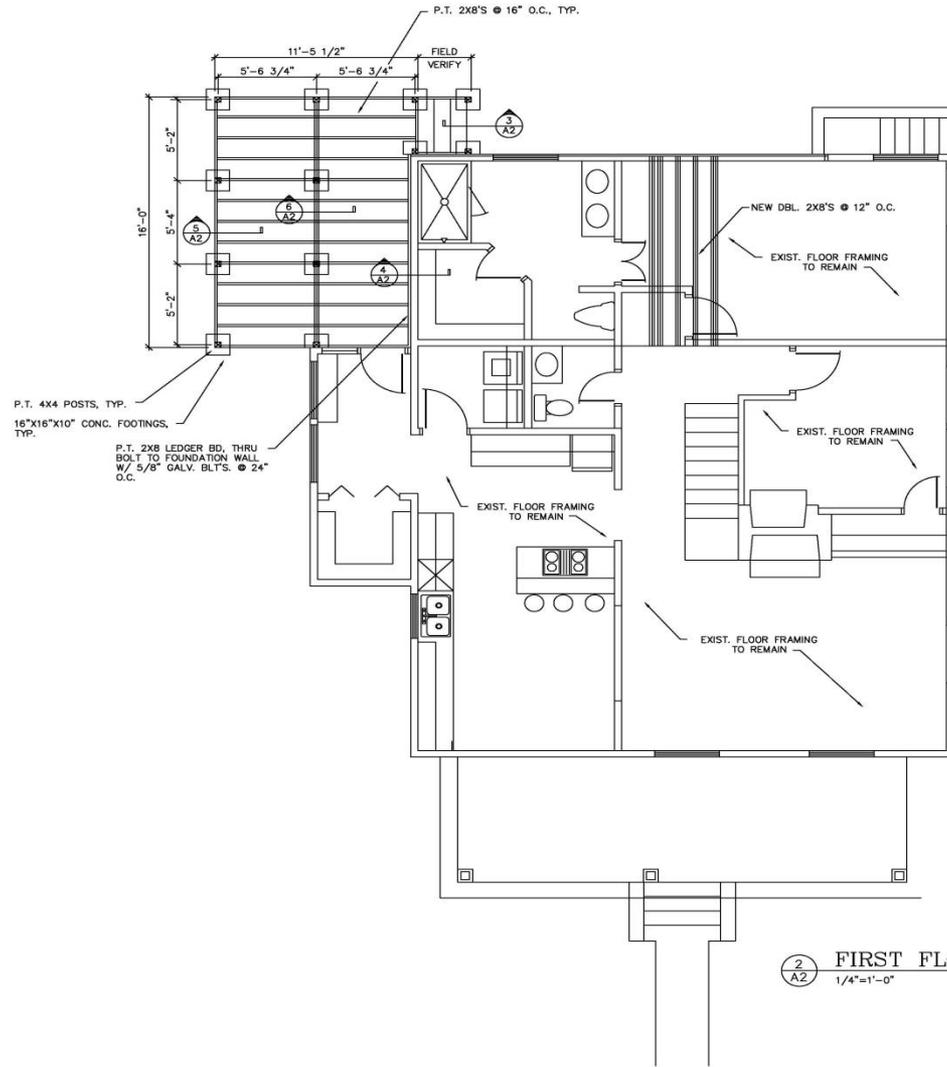
# Rear exterior renderings - Current



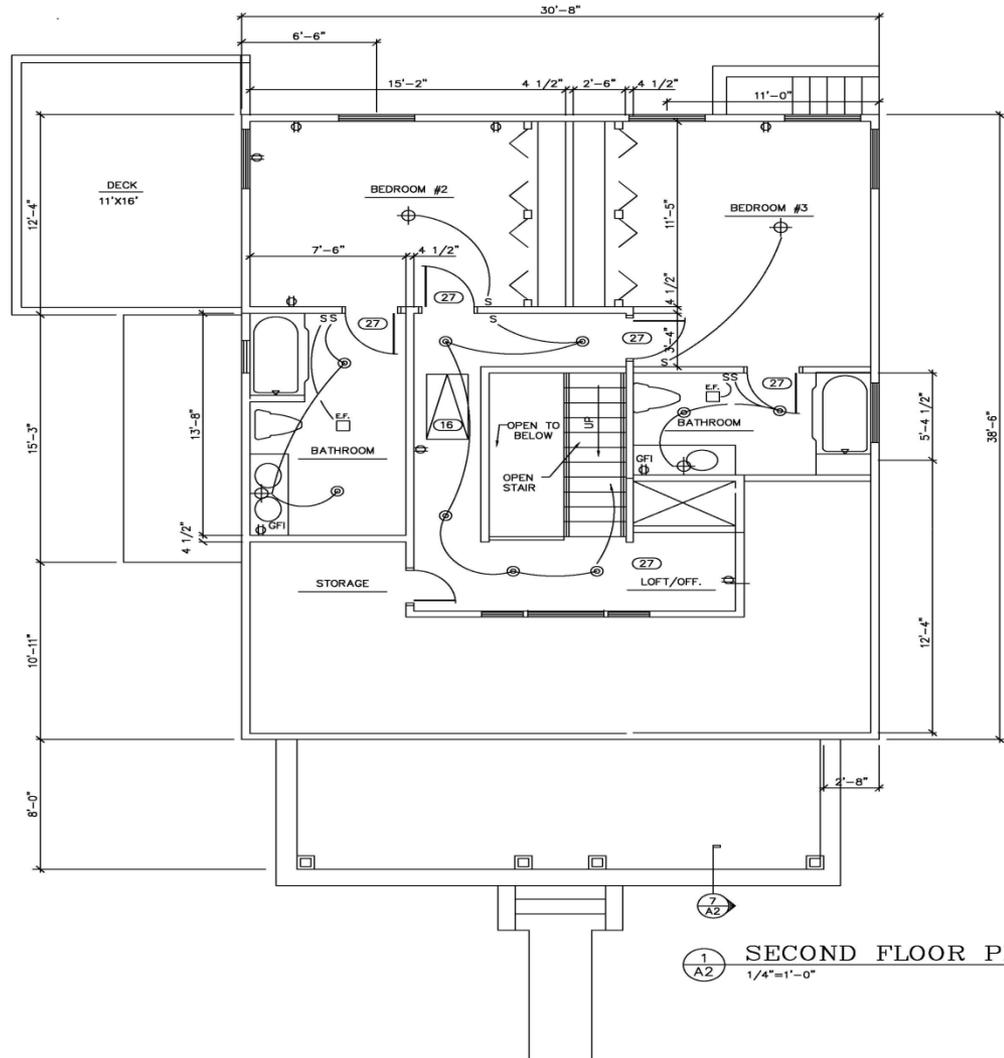
# First Floor Plan



# New first floor plan – framing

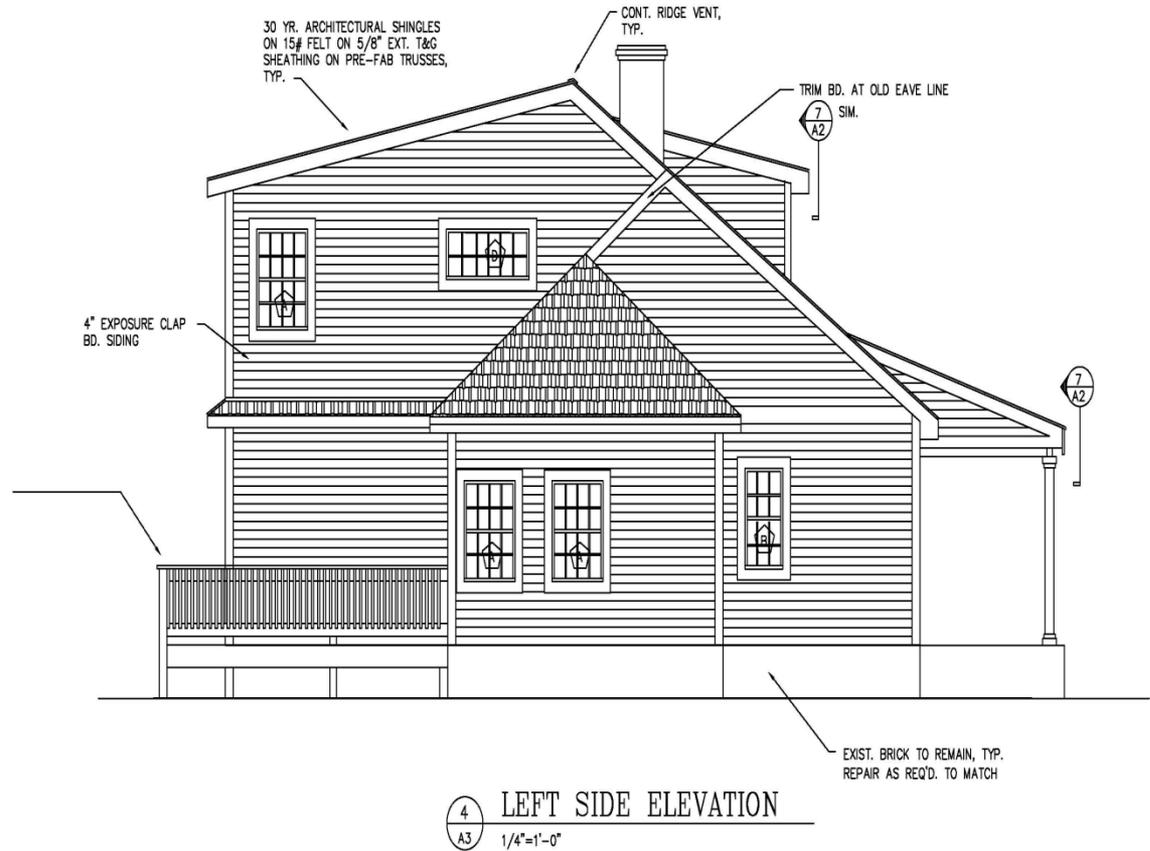


# The new floor plan for the second floor

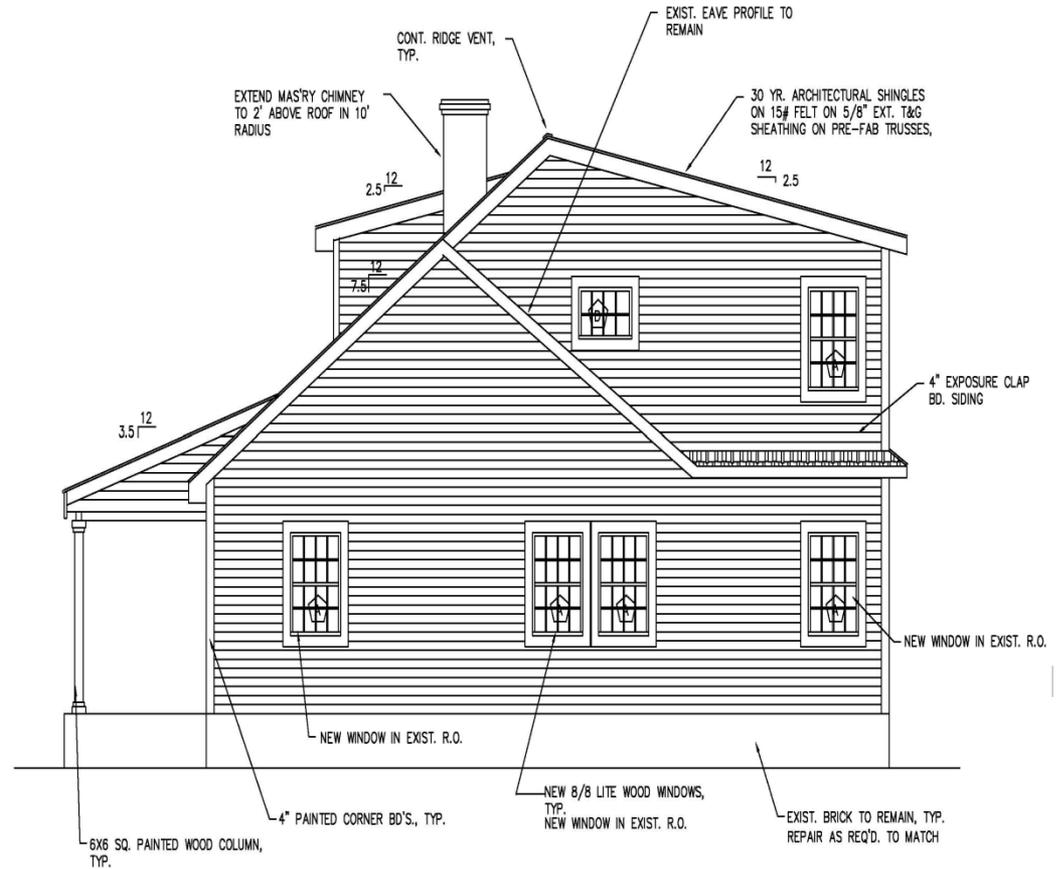




# New left side exterior renderings

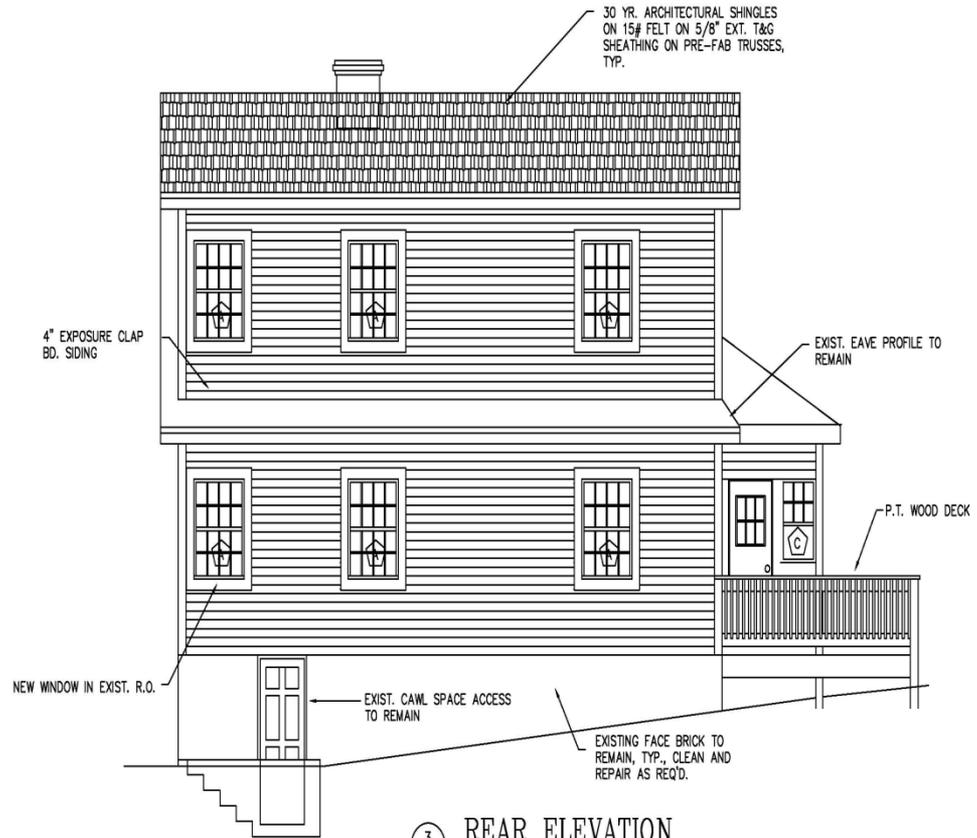


# New right side exterior renderings



2 RIGHT SIDE ELEVATION  
A3 1/4"=1'-0"

# New rear side exterior renderings



3 REAR ELEVATION  
A3 1/4"=1'-0"



## Polaris 3G Map – Mecklenburg County, North Carolina 2112 Wilmore

Date Printed: 12/15/2015 4:33:26 PM

“The footprint will not change with the proposed addition. No trees will be removed to add the secondary story addition.”



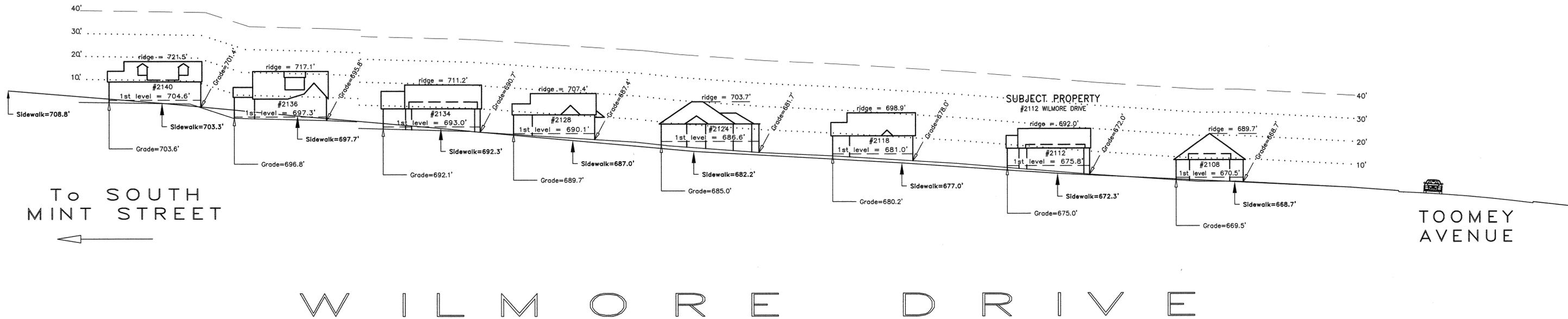
This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 29<sup>th</sup> day of June, 2015.

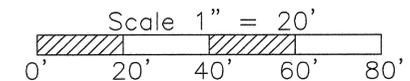


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Copyright 2015  
Building Heights Sketch of  
**2108-2140 WILMORE DRIVE**  
FACING SOUTH-SOUTHWEST  
CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for Charlotte-Mecklenburg Planning Department  
June 24, 2015

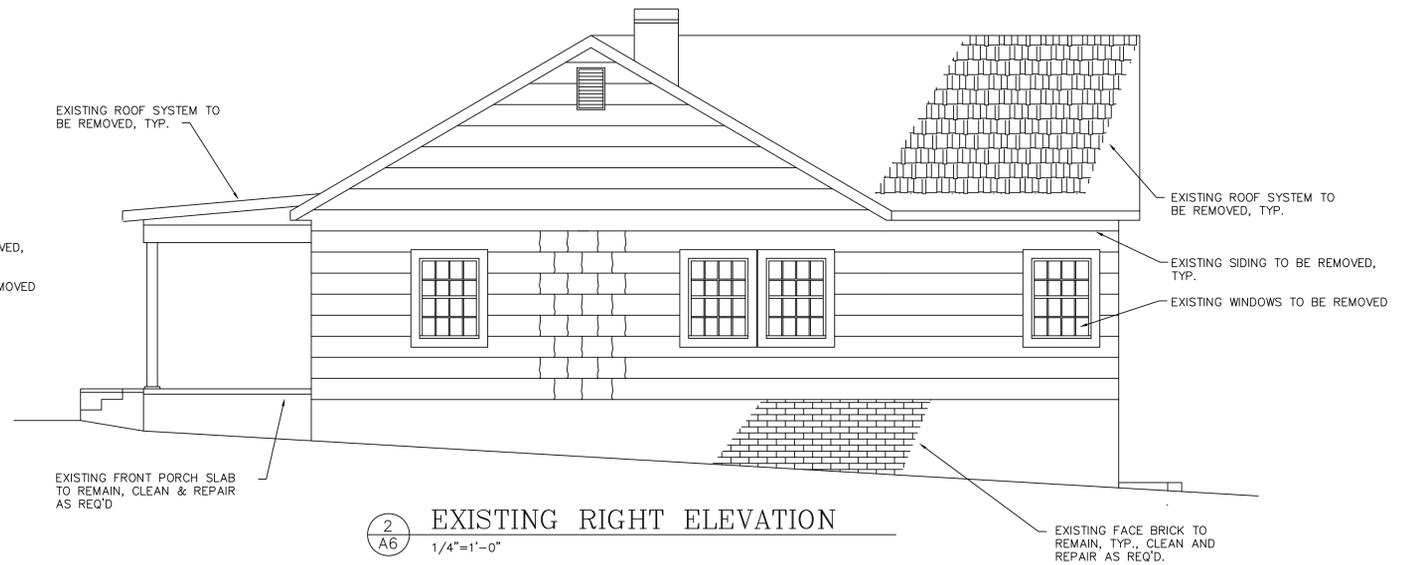


**General Notes:**

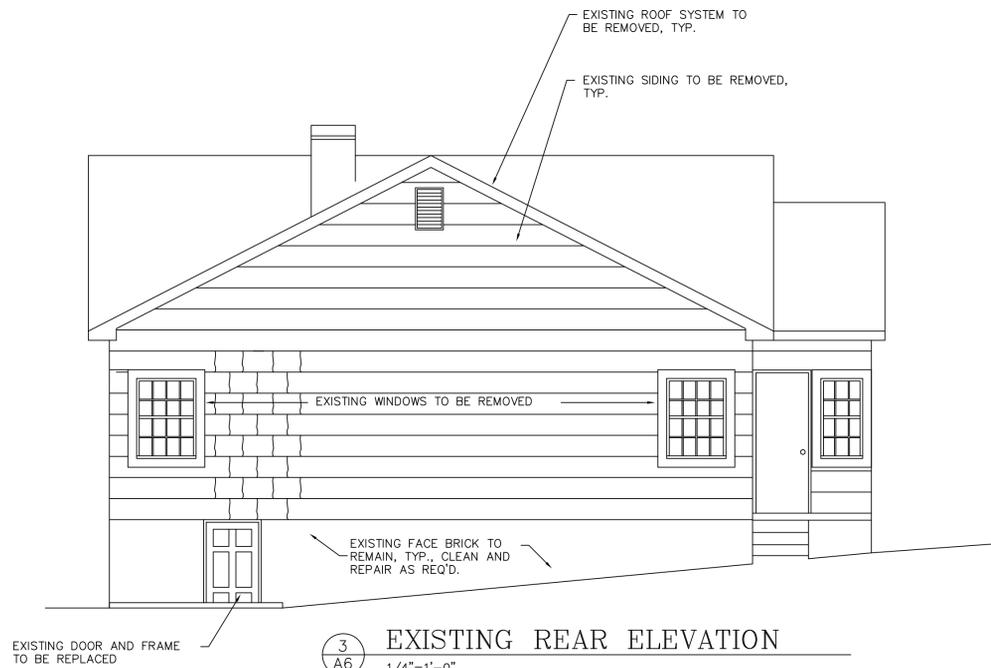
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk, front yard grade ("Grade"), 1st level, and ridgeline of the houses depicted hereon. No rearyard or sideyard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



1  
A6 EXISTING FRONT ELEVATION  
1/4"=1'-0"



2  
A6 EXISTING RIGHT ELEVATION  
1/4"=1'-0"



3  
A6 EXISTING REAR ELEVATION  
1/4"=1'-0"



4  
A6 EXISTING LEFT ELEVATION  
1/4"=1'-0"

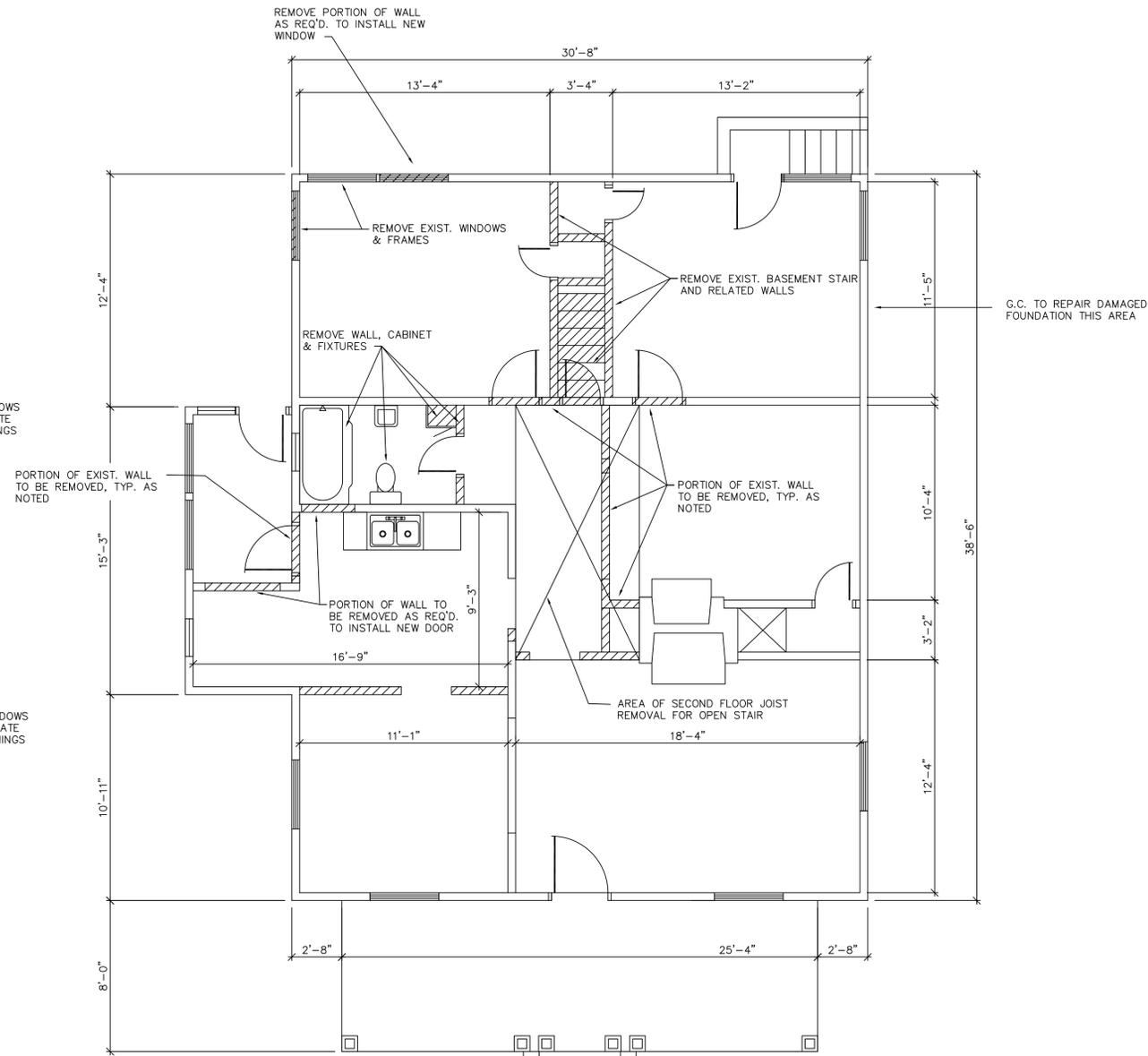
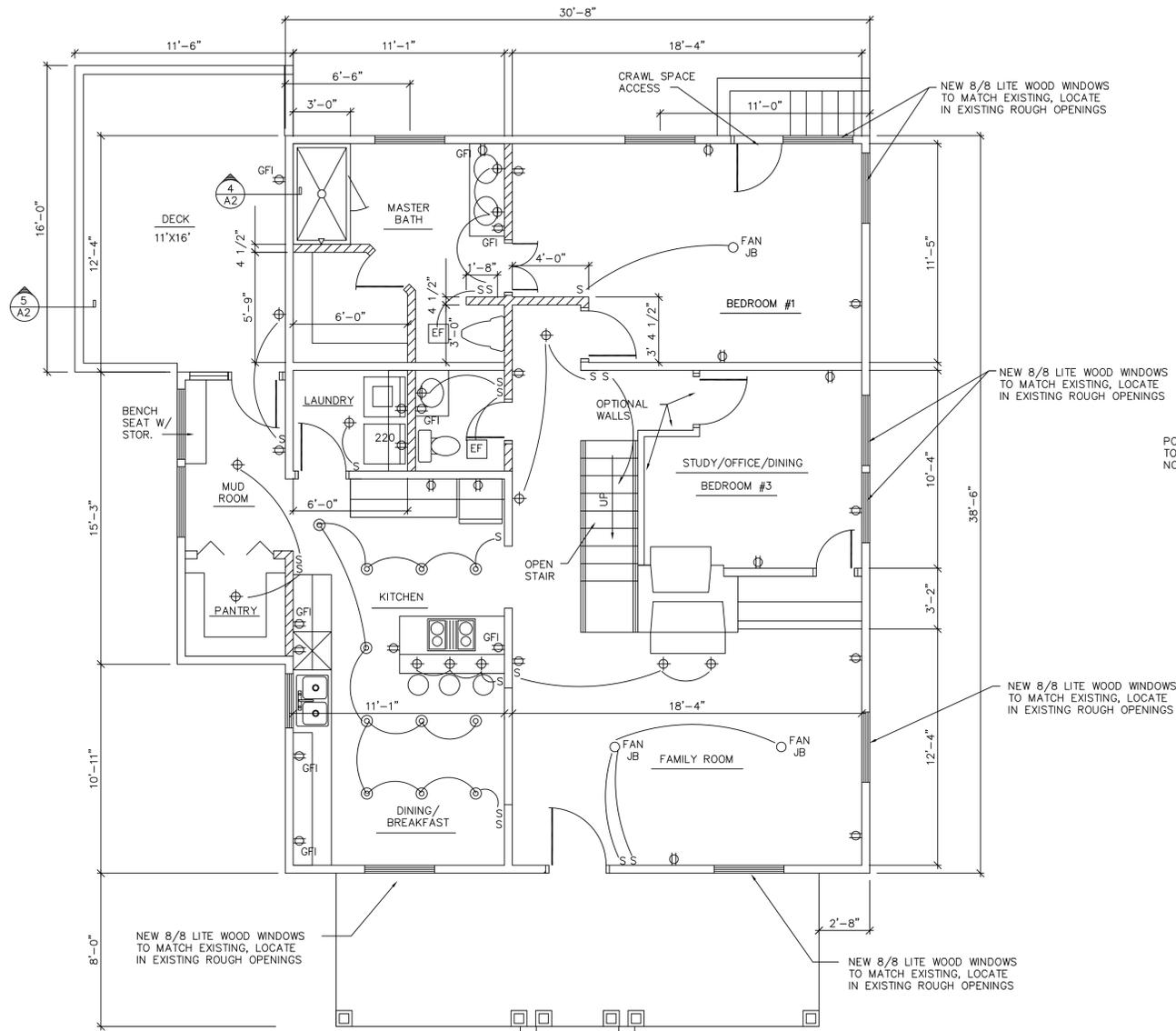
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10400 TAKERIDGE CT. CHARLOTTE, N.C. 28277

Project 2112 WILMORE DR.  
LOCATION  
OWNER  
Sheet Title EXISTING ELEVATIONS  
1/4" = 1'-0"

Project Architect/  
Job Captain  
GOODWIN  
DRAWN BY:  
GOODWIN  
DATE DRAWN:  
8-25-15  
Revisions  
No. Date  
No. Date  
No. Date  
No. Date  
Issue Date

Project Number  
1341  
Sheet  
A-6 of 5  
CAD DWG: 1341-A6 1/4"





**LEGEND**

- STD. DUPLEX CONVENIENCE OUTLET
- COMPUTER OUTLET
- DOUBLE DUPLEX RECEPTACLE
- STD. TELEPHONE WALL OUTLET
- STD. TELEPHONE WALL OUTLET
- 2 x 4 LAY-IN LIGHT FIXTURE
- 2 x 2 LAY-IN FIXTURE
- 2 x 4 EMERGENCY LIGHT W/ BATTERY BACK-UP
- EXIT LIGHT
- PERIMETER CEILING DIFFUSER
- CEILING DIFFUSER
- CEILING RETURN GRILLE
- TELEVISION
- PENDANT LIGHT
- CEILING FAN

**GENERAL NOTE:**

GENERAL CONTRACTOR SHALL PROVIDE EVIDENCE THAT SLAB AREA HAS BEEN TREATED FOR SUB-TERRANEAN TERMITES PER SECTION R318 OF 2012 NCRC  
SEE MFR. LITERATURE FOR ALL TYPICAL FRAMING DETAILS RELATED TO ENGINEERED WOOD PRODUCTS, INSTALL ACCORDINGLY

**BUILDING AREAS**

1,707 SQ. FT. ---FIRST FLOOR  
1,274 SQ. FT. ---SECOND FLOOR  
2,981 SQ. FT. ---TOTAL HEATED AREA  
144 SQ. FT. --- FRONT DECK  
400 SQ.FT. ---MAIN (UNHEATED)

**NEW FIRST FLOOR**

1/4"=1'-0"

**JACK AND KING STUD TABLE**

OPNG. SIZE	16" O.C. STUD SPACING		24" O.C. STUD SPACING	
	NO. JACK STUDS	NO. KING STUDS	NO. JACK STUDS	NO. KING STUDS
UP TO 3'-6"	1	1	1	1
3'-6" TO 5'-0"	1	2	1	2
5'-0" TO 5'-6"	2	2	1	2
5'-6" TO 8'-0"	2	2	1	2
8'-0" TO 10'-6"	2	3	2	2
10'-6" TO 12'-0"	3	3	2	2
12'-0" TO 13'-0"	3	3	2	3

HEADERS SIZES AND SPANS SHALL COMPLY WITH TABLE R502.5 2012 NCRC TYP. ALL LOCATIONS

WALL BRACING SHALL BE ACHIEVED BY THE SHEATHED WALL METHOD WITH 1/2" OSB SHEATHING AND SHALL COMPLY TO SECTION R602.10 OF 2012 NCRC

SHEATHING SHALL LAP SECOND FLOOR LINE BY MIN. 24" AND SHALL BE NAILED WITH APPROPRIATE FASTENER 6" O.C. EDGE CONDITIONS AND 12" O.C. INTERMEDIATE SPACING, FASTENERS TO COMPLY W/ TABLE R602.3 2012 NCRC

ALL FRAMING SHALL BE #2 OR BETTER SOUTHERN YELLOW PINE, TYP.

BRACED WALL LINE LENGTH FOR CONT. SHEATHING METHOD SHALL EXCEED LIMITS IN R602.10.2(1)

1  
A1 EXIST./DEMO PLAN  
1/4"=1'-0"

**JIM GOODWIN ARCHITECT, PLLC**  
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Project 2112 WILMORE DR. CHARLOTTE, N.C. OWNER  
Sheet Title EXIST./FIRST FLOOR PLAN  
1/4" = 1'-0"

Project Architect/  
Job Captain  
GOODWIN  
DRAWN BY:  
GOODWIN  
DATE DRAWN:  
8-25-15

Revisions

No. Date  
No. Date  
No. Date  
No. Date

Issue Date

Project Number  
**1341**  
Sheet **A-1** of 1  
CAD DWG: 1341-A1 • 1/4"



