

LOCAL HISTORIC DISTRICT: Wilmore

PROPERTY ADDRESS: 1727 Merriman Avenue

SUMMARY OF REQUEST: Addition, fenestration changes, chimney removal

APPLICANT: Jason Murphy

Details of Proposed Request

Existing Context

The existing structure is a one story home constructed in 1950. Adjacent structures are single family homes with front porches. A rear addition was approved by HDC staff (2016-003).

Proposal

The proposal is chimney removal and the construction of a front porch. New columns are round tapered wood and the base is concrete and brick. All new trim, soffit, fascia and porch ceiling will be historic traditional materials to match existing.

Policy & Design Guidelines – Additions, page 36

Additions to existing structures in Local Historic Districts have a responsibility to complement the original structure. Additions should reflect the design, scale and architectural style of the original structure. The following guidelines are intended to encourage addition designs that are compatible with the existing structure, while not fully mimicking the original design.

1. All additions will be reviewed for compatibility by the following criteria:	
a. Size	<i>the relationship of the project to its site</i>
b. Scale	<i>the relationship of the building to those around it</i>
c. Massing	<i>the relationship of the building's various parts to each other</i>
d. Fenestration	<i>the placement, style and materials of windows and doors</i>
e. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
f. Setback	<i>in relation to setback of immediate surroundings</i>
g. Materials	<i>proper historic materials or approved substitutes</i>
h. Context	<i>the overall relationship of the project to its surroundings</i>

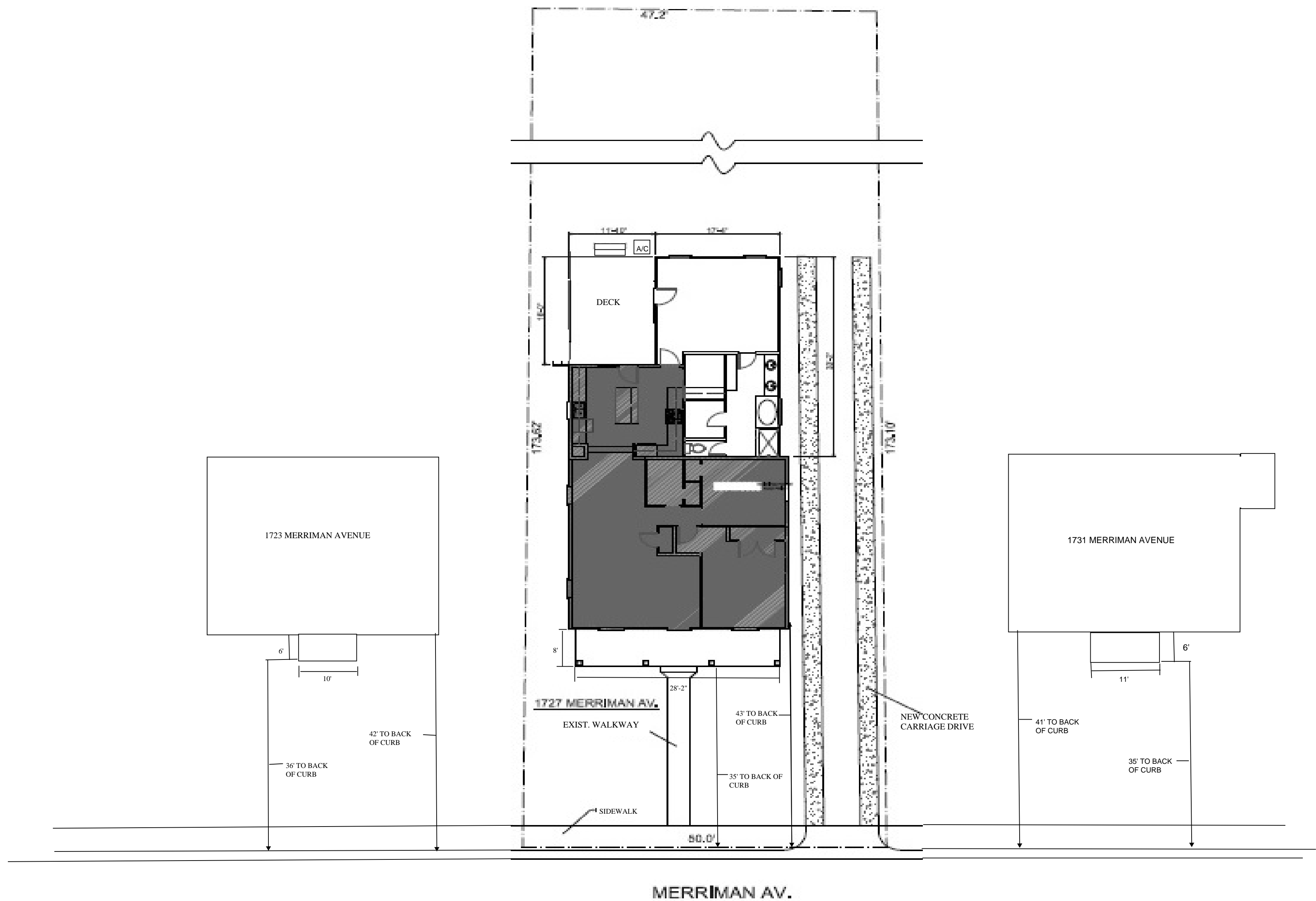
2. Additions must respect the original character of the property, but must be distinguishable from the original construction.
3. All additions to the front or side of existing properties must be of a design that is sensitive to the character and massing of the existing structure.
4. Additions to the front or side of existing structures that are substantially visible from a street must go before the full Commission.

Staff Analysis

The Commission will determine if the proposal meets the guidelines for additions.

Charlotte Historic District Commission - Case 2016-010





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 Charlotte, NC
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SITE PLAN WALL SECTION

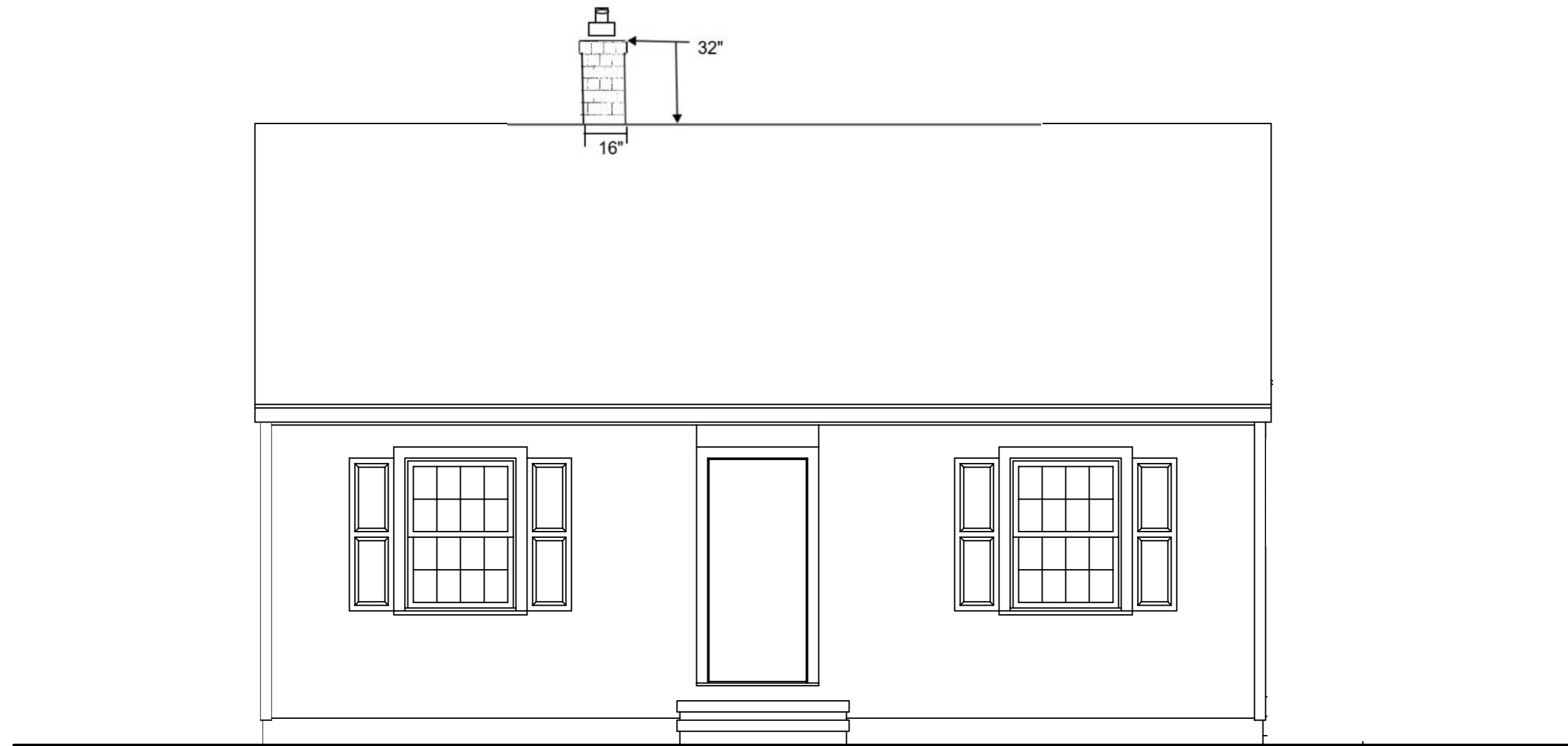
Renovations and Additions at
 1727 Merriman Av.
 Charlotte, NC

DATE:
 12-28-15

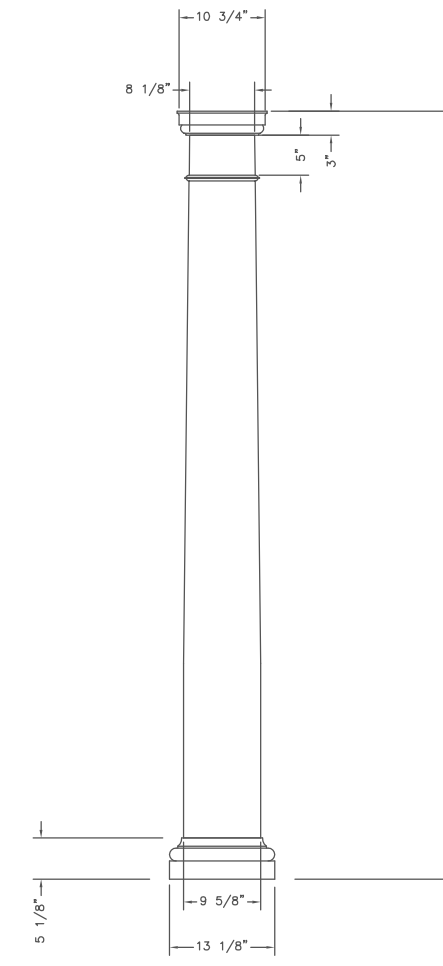
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 BILL ELMORE

SHEET

EXISTING OBSOLETE FURNACE CHIMNEY TO BE REMOVED



EXISTING STREET VIEW $1/4" = 1'-0"$



-TUSCAN BASE-
STOCK # 45142

10" WOOD COLUMN w/ BASE AND CAP DETAIL



FRONT ELEVATION $1/4" = 1'-0"$

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FRONT ELEVATION

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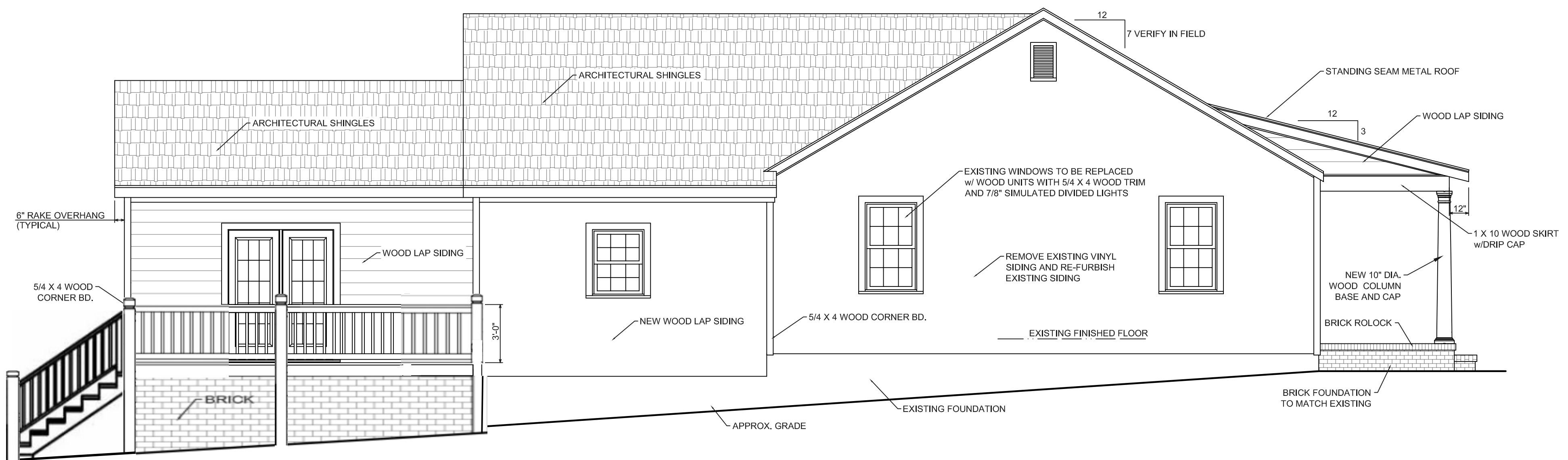
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EXISTING LEFT SIDE ELEVATION $1/4" = 1'-0"$



PROPOSED LEFT SIDE ELEVATION $1/4" = 1'-0"$

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LEFT SIDE ELEVATIONS

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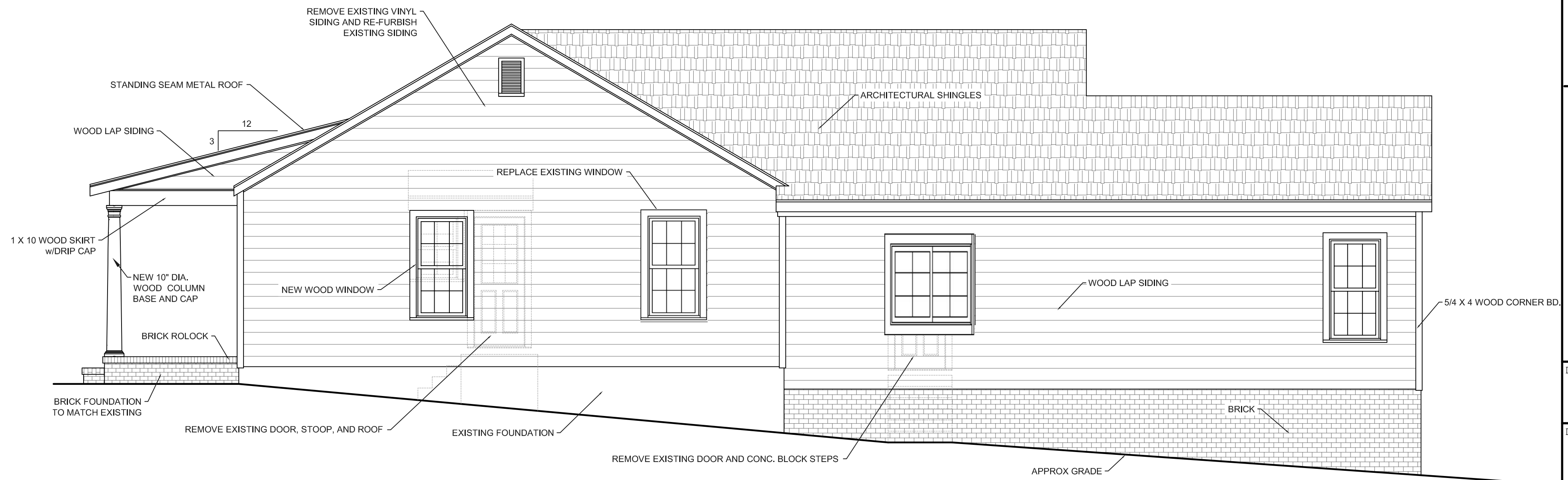
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EXISTING RIGHT SIDE ELEVATION $1/4" = 1'-0"$



PROPOSED RIGHT SIDE ELEVATION $1/4" = 1'-0"$

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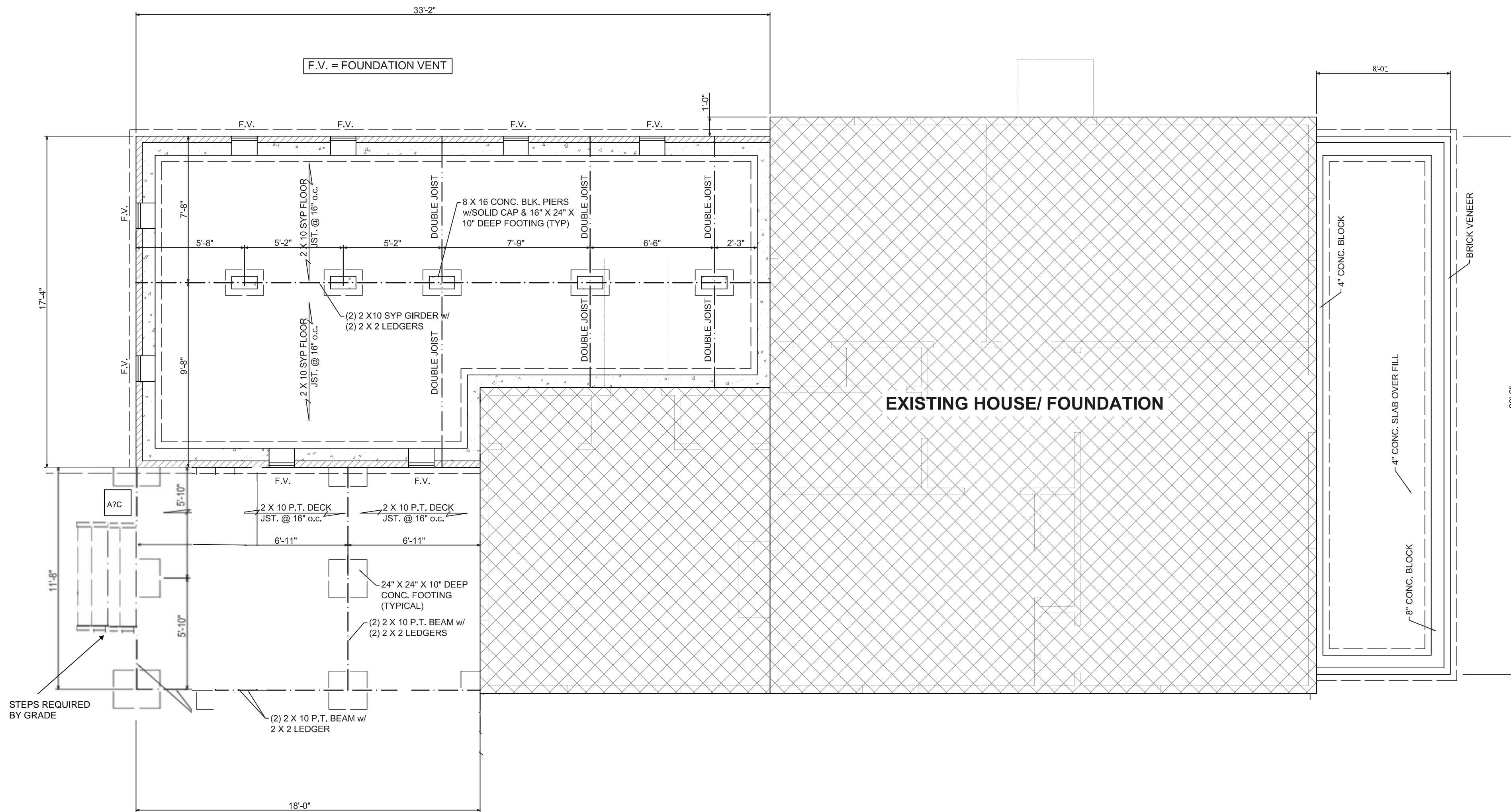
RIGHT SIDE ELEVATIONS

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F.V. = FOUNDATION VENT

EXISTING HOUSE/ FOUNDATION

FOUNDATION PLAN $\frac{1}{4}'' = 1'-0''$

ALL DIMENSIONS MUST BE FIELD VERIFIED

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FOUNDATION PLAN

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