
LOCAL HISTORIC DISTRICT: Wesley Heights

PROPERTY ADDRESS: 700 South Summit Avenue

SUMMARY OF REQUEST: New Construction

APPLICANT/OWNER: Josh Allison (Jonathan Romero, owner)

The application was continued for 1) height reduction to 29'-8" or less, 2) specify the front setback location (no more than 2 feet from adjacent house), and 3) move mechanical units to rear yard if feasible.

Details of Proposed Request

Existing Conditions

The existing site is a vacant lot. Adjacent structures are multi-family and single family residences. The grade rises 3-4 feet above the sidewalk. There is a mature tree at the rear corner of the site. The Sanborn map from 1953 shows a two story duplex structure on the site.

Proposal

The proposal is a two story single family structure. The proposed front setback is 30 feet from the building as noted in the deed. Materials include brick, cedar siding and wood trim. Windows are wood Simulated True Divided Light (STD). Other features include eave brackets, exposed rafter tails, wood hand rails and covered rear patio with a metal roof. The applicant is requesting the use of Hardie Artisan lap siding and to locate the mechanical units in the side yard toward the rear and screened per the design guidelines.

Policy & Design Guidelines for New Construction, page 34

New construction in Local Historic Districts has an obligation to blend in with the historic character and scale of the Local Historic District in which it is located. Designs for infill projects and other new construction within designated Local Historic Districts must be designed with the surroundings in mind. The Historic District Commission will not specify a particular architectural style or design for new construction projects. The scale, mass and size of a building are often far more important than the decorative details applied. However, well designed stylistic and decorative elements, as well as building materials and landscaping, can give new construction projects the attributes necessary to blend in with the district, while creating a distinctive character for the building. New construction projects in Local Historic Districts must be appropriate to their surroundings.

The Historic District Commission will review the building details for all new construction as part of their evaluation of new construction project proposals.

Policy & Design Guidelines for Mechanical Units, page 22 and 55

1. Rear yards are the preferred location for mechanical units. Such locations are eligible for administrative approval.
2. Mechanical units are not allowed in the front yards of residential structures, unless the full HDC finds that there is no other technically feasible alternative. In such cases, a screening plan must be approved by the HDC prior to installation.

3. Mechanical units are allowed in side yards, but only if they are adequately screened from the street and adjoining properties in an appropriate manner.

<i>All New Construction Projects Will Be Evaluated For Compatibility By The Following Criteria</i>	
1. Size	<i>the relationship of the project to its site</i>
2. Scale	<i>the relationship of the building to those around it</i>
3. Massing	<i>the relationship of the building's various parts to each other</i>
4. Fenestration	<i>the placement, style and materials of windows and doors</i>
5. Rhythm	<i>the relationship of fenestration, recesses and projections</i>
6. Setback	<i>in relation to setback of immediate surroundings</i>
7. Materials	<i>proper historic materials or approved substitutes</i>
8. Context	<i>the overall relationship of the project to its surroundings</i>
9. Landscaping	<i>as a tool to soften and blend the project with the district</i>

Staff Analysis

The Commission will determine if the proposal meets the guidelines for new construction.

Romero Residence

Charlotte, NC

JOSH ALLISON
ARCHITECTURE

JOSH ALLISON ARCHITECTURE PLLC
2031 Euclid Avenue
Charlotte NC 28203

704 996 4949
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Project Status

HDC Submittal (Continuation) 01.04.16

Project Data

Owner:
Jonathan and Carla Romero
Site Address:
700 South Summit Street
Charlotte, NC 28208

Drawings

	Survey
EX-1	Adjacent Structures (Same Side of Street)
EX-2	Adjacent Structures (Opposite Side of Street)
A1.0	Site Plan
A1.0.1	Proposed Streetscape Images
A1.1	First Floor Plan
A1.2	Roof Plan
A2.1	Front Elevation
A2.2	Left Side Elevation
A2.3	Rear Elevation
A2.4	Right Side Elevation
A2.5	Perspective
A2.6	Perspective
A2.7	Perspective
A2.8	Perspective
A2.9	Details
A2.10	Details
A2.11	Details



Shannon Hughes
716 Grandin Road
Charlotte, NC 28208

January 5, 2016

Historic District Commission
600 E. Fourth Street (8th FL)
Charlotte, NC 28202

Dear Historic District Commission Members,

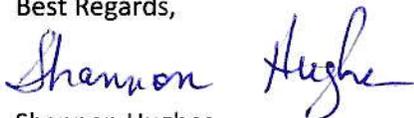
My name is Shannon Hughes and I am President of the Wesley Heights Community Association and also an avid fan of historic homes and historic districts. I live on Grandin Road and love the Wesley Heights Community. I certainly appreciate all of the work and effort you guys are doing to help improve the process and also maintain the integrity of our historic districts. I can only imagine the difficult task to keep the historic characteristics of these districts relevant while not stifling upgrades for modern living.

Mr. Johnaton Romaro and I met last week to review his home plans and he explained that he has been before the commission. He also wanted me along with several other neighbors to review and confirm that the community feels the new construction is appropriate for Wesley Heights. He explained in the first meeting it was recommended for him to lower the roof line by 4 inches.....Thanks for hearing our concerns a few weeks ago about scale and size. He also mentioned the HVAC unit on the side of the house being a possible issue with the commission.

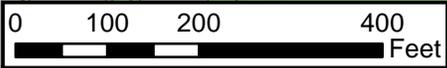
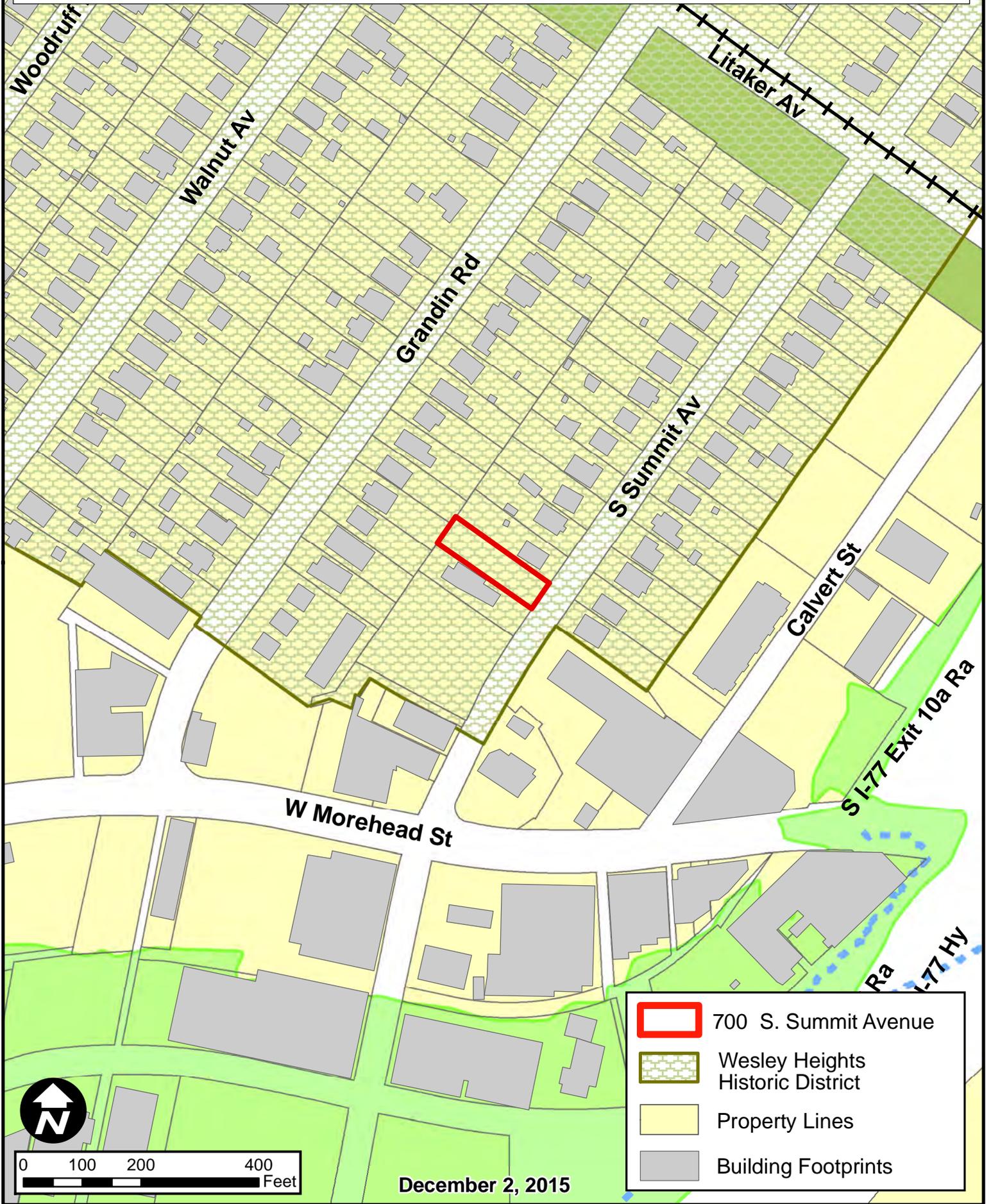
I would like to assure the commission that having the HVAC unit on the side of the house is not a concern for most residents in the community as many of us have our units on the side because of a lack to place them anywhere else. He explained the unit would be set closer to the back section of the house and would be shielded with shrubbery from the street. I've asked several residents if they thought this was a problem. All have agreed that it is not an issue with them. We certainly don't want to have HVAC units on the front of the house or even in very noticeable areas towards the front part of the structure but towards the back should be of little concern.

I just wanted to ask that you consider Mr. Romero's request to keep the HVAC on the side of the residence with the provision that he will plant shrubbery, etc. to make it blend into the landscape. We appreciate his trying to build an appropriate home on the vacant lot. It will surely enhance the first block of S. Summit as you enter from West Morehead Street. His attention to detail and historic accuracy supersede many of the new builds that have happened in the community over the past 15 years.

Best Regards,


Shannon Hughes

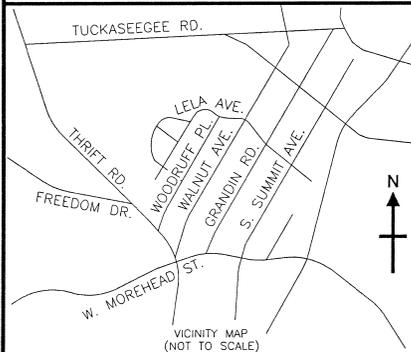
Charlotte Historic District Commission - Case 2015-250



December 2, 2015

THIS IS TO CERTIFY THAT ON THE 29 DAY OF JULY 2014 A SURVEY WAS DONE UNDER MY RESPONSIBLE CHARGE OF THE PROPERTY SHOWN HEREON IN COMPLIANCE WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA SECTION (21-56.1600) AND MEETS MINIMUM STANDARDS FOR URBAN LAND SURVEYS (CLASS "A"). THIS MAP IS NOT INTENDED TO MEET G.S. 47-30 REQUIREMENTS.

"THIS SURVEY DOES NOT REFLECT A COMPLETE TITLE EXAMINATION"



VICINITY MAP (NOT TO SCALE)

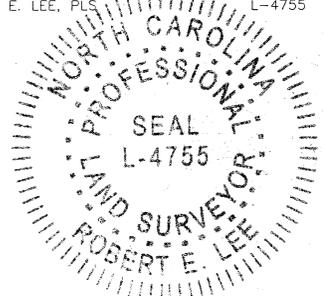
LEGEND:

- — — — — PROPERTY LINE
- - - - - ADJOINER PROPERTY LINE
- - - - - EASEMENT LINE
- X - X - X - X - FENCE LINE
- // - // - // - OVERHEAD UTILITY LINE
- - - - - RIGHT-OF-WAY SETBACK
- E.I.R. - EXISTING IRON REBAR
- E.I.P. - EXISTING IRON PIPE
- E.C.M. - EXISTING CONCRETE MONUMENT
- C.P. - COMPUTED POINT
- S.I.R. - RE-SET #4 IRON REBAR
- P.D.E. - PUBLIC DRAINAGE EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- R/W - RIGHT-OF-WAY
- P.P. - POWER POLE
- M.B. - MAP BOOK
- D.B. - DEED BOOK
- P.C. - PAGE
- L - LINE
- C - CURVE
- P.I.D. - TAX PARCEL IDENTIFICATION NUMBER
- NTS - NOT TO SCALE

NOTES:

1. BOUNDARY SURVEY MADE USING EXISTING PHYSICAL EVIDENCE OBSERVED DURING FIELD SURVEY.
2. THE MINIMUM RATIO OF PRECISION AS CALCULATED FOR THIS SURVEY EXCEED 1:10,000.
3. ALL DISTANCES ARE HORIZONTAL GROUND (GEODETIC) UNITED STATES SURVEY FEET UNLESS OTHERWISE NOTED.
4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT. THIS PLAT/PROPERTY IS SUBJECT TO ANY AND ALL RIGHTS-OF-WAY, UTILITY EASEMENTS, DEED RESTRICTIONS, RESTRICTIVE COVENANTS OR AGREEMENTS WHICH MAY OR MAY NOT BE OF RECORD AND APPLICABLE HERE TO AND MAY OR MAY NOT BE FOUND BY LEGAL TITLE SEARCH PRIOR TO THE DATE OF THIS SURVEY.
5. BEARINGS AND DISTANCES SHOWN IN PARENTHESES, AND PROPERTY SHOWN AS DASHED WERE TAKEN FROM DEEDS, MAPS OR OTHER PUBLIC RECORD.
6. ADJOINER PROPERTY LINES NOT SURVEYED ARE SHOWN AS BROKEN LINES AND ARE FOR ORIENTATION PURPOSES ONLY.
7. THIS PROPERTY IS CURRENTLY ZONED R-5. R-5 MINIMUM SETBACK REQUIREMENTS: FRONT= 20' OR AS SHOWN; SIDE YARD= 5'; REAR YARD= 35'. **THESE SETBACKS REFLECT CURRENT ZONING ONLY. SETBACK REQUIREMENTS SET FORTH IN DEED RESTRICTIONS OR RESTRICTIVE COVENANTS MAY EXIST FOR THIS PROPERTY. PRIOR TO ANY CONSTRUCTION ON THIS PROPERTY SETBACK REQUIREMENTS MUST BE VERIFIED BY THE HOMEOWNER OR CONTRACTOR.**
8. THIS PROPERTY IS NOT GRAPHICALLY SHOWN IN A DESIGNATED FLOOD HAZARD AREA.
9. UNDERGROUND UTILITIES NOT LOCATED AT THE TIME OF SURVEY. IF SHOWN UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATIONS OF ABOVE GROUND APPURTENANCES, UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST.
10. MINOR IMPROVEMENTS INCIDENTAL TO THE STRUCTURE OR YARD MAY EXIST AND ARE NOT SHOWN HEREON.
11. THE TERM ENCROACHMENT IS USED AS A MEANS TO CONVEY THAT PER LISTED DEEDS AND MAPS THAT AN OBJECT TOUCHES OR CROSSES THE DEED OR MAP LINE IN THAT AREA ON THE DATE OF SURVEY. NO CERTIFICATION OR STATEMENT IS BEING MADE TO THE POSSESSION, ADVERSE OR OTHERWISE OR TITLE TO THE LAND EFFECTED.

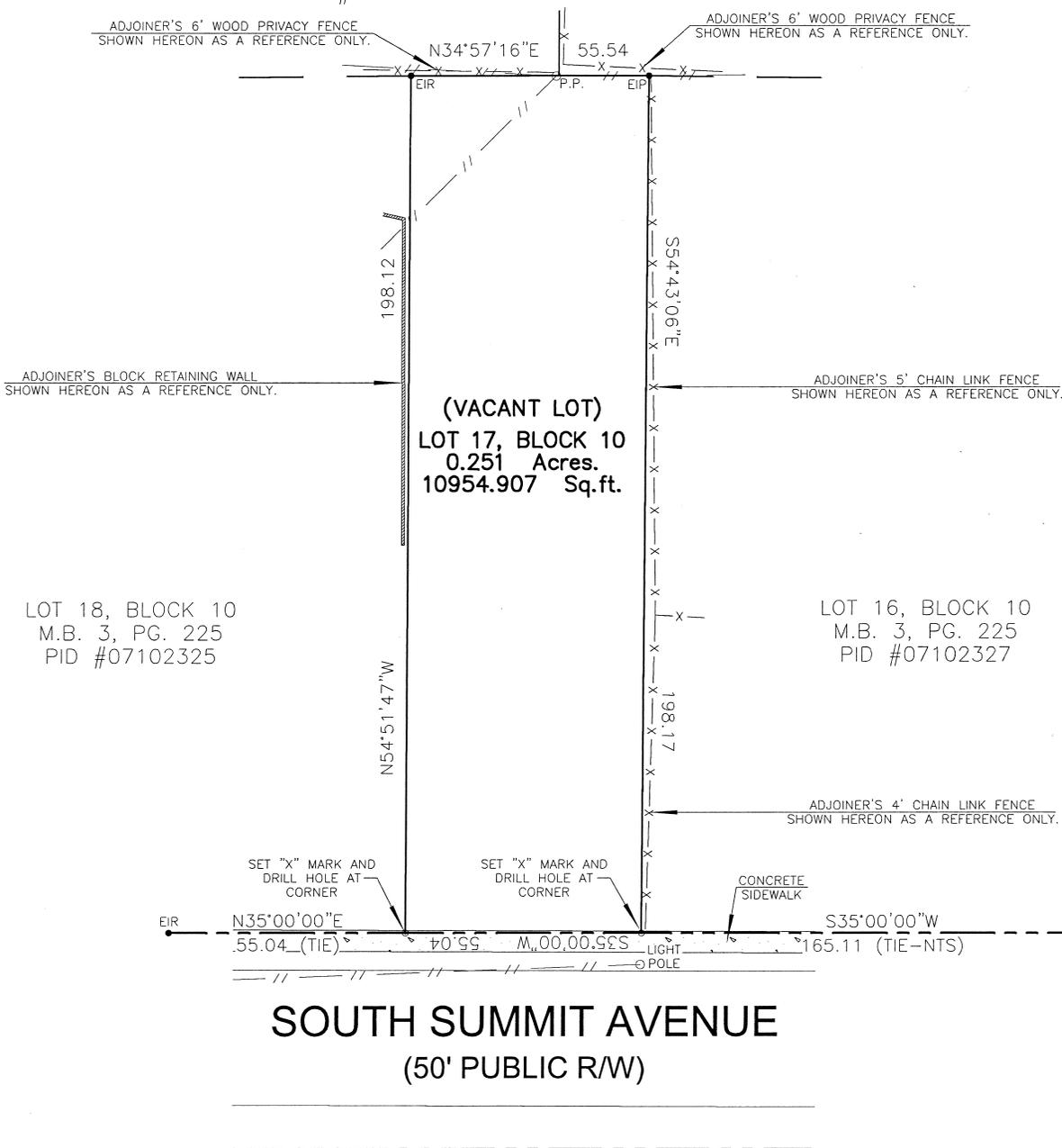
SIGNED 
ROBERT E. LEE, PLS L-4755



REF. M.B. 3 PG. 225
DATE: NOVEMBER 21, 1925

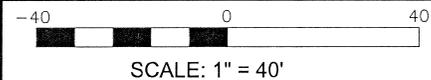
LOT 38, BLOCK 10
M.B. 3, PG. 225
PID #07102316

LOT 39, BLOCK 10
M.B. 3, PG. 225
PID #07102315



SOUTH SUMMIT AVENUE
(50' PUBLIC R/W)

ROBERT E. LEE, PLS
PROFESSIONAL LAND SURVEYOR
P.O. BOX 180
MT. HOLLY, NC 28120
PHONE: (704)575-2556
FAX: (704)812-8084
EMAIL: robertlee@leelandsurveying.com



PHYSICAL SURVEY OF

#700 SOUTH SUMMIT AVENUE
LOT 17, BLOCK 10 OF A PORTION OF WESLEY HEIGHTS
CHARLOTTE, MECKLENBURG COUNTY, NC
THE PROPERTY OF: JOHNATAN ROMERO

LEGAL REFERENCES:

MAP BOOK: 3 PAGE: 225 DEED BOOK: 21921 PAGE: 126
TAX PARCEL IDENTIFICATION NUMBER: 071-023-26

DRAWN BY: R. LEE

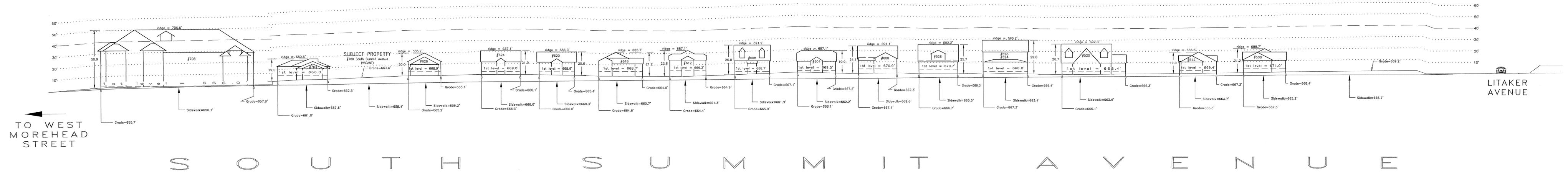
JOB NUMBER: 3003

I hereby certify that this schematic drawing was prepared based on field-surveyed elevation measurements of the points shown hereon. This map is not intended to meet G.S. 47-30 recording requirements.

This 25th day of November, 2015.

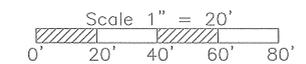


A.G.Z.
Andrew G. Zoutewelle
Professional Land Surveyor
NC License No. L-3098

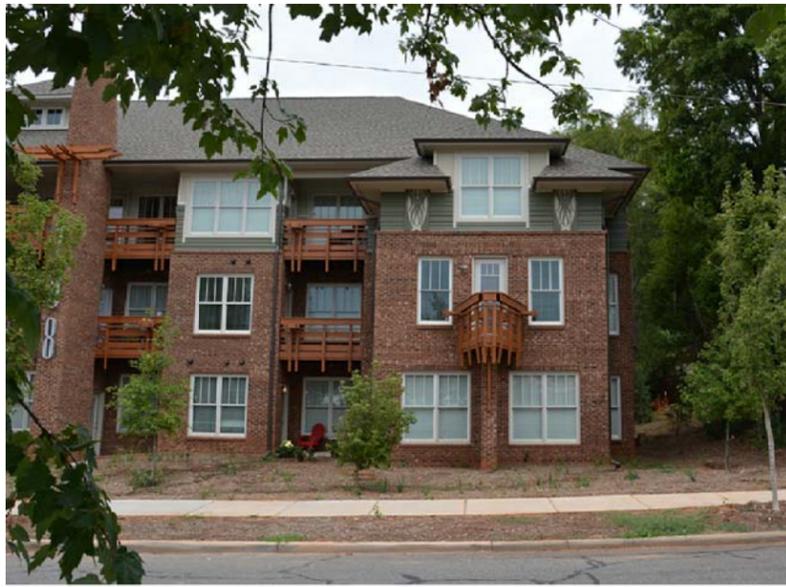


A.G. ZOUTEWELLE
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1418 East Fifth St. Charlotte, NC 28204
Phone: 704-372-9444 Fax: 704-372-9555
Firm Licensure Number C-1054

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Building Heights Sketch of
508-708 SOUTH SUMMIT AVENUE
FACING NORTHWEST
CHARLOTTE, MECKLENBURG COUNTY, N.C.
for Charlotte-Mecklenburg Planning Department
November 24, 2015



General Notes:
1. The purpose of this Building Heights Sketch is to show existing building facade heights relative to the elevation points at the public sidewalk or top of curb, front yard grade ("Grade"), 1st level, and ridge line of the houses depicted hereon. No rear yard or side yard measurements were made. The heights shown hereon were derived from indirect measurements and are not intended for structural design.
2. The vertical datum for these elevation measurements is the North American Vertical Datum of 1988 (i.e., sea level). All other information and graphics are conceptual in nature and are not intended to represent accurate architectural or landscape features.



708 S. Summit



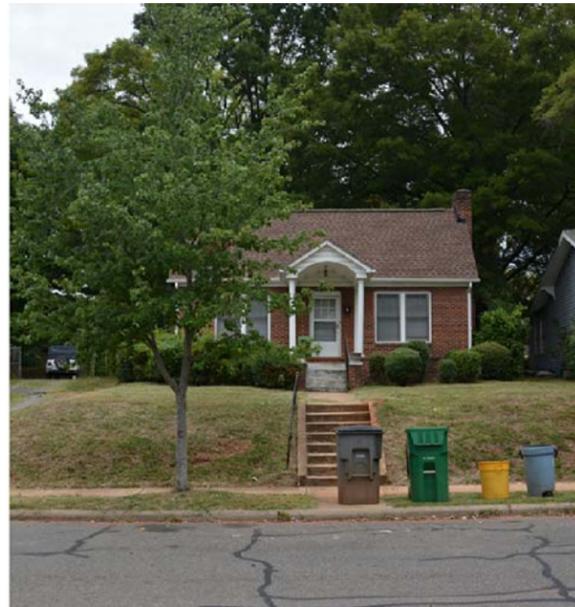
704 S. Summit



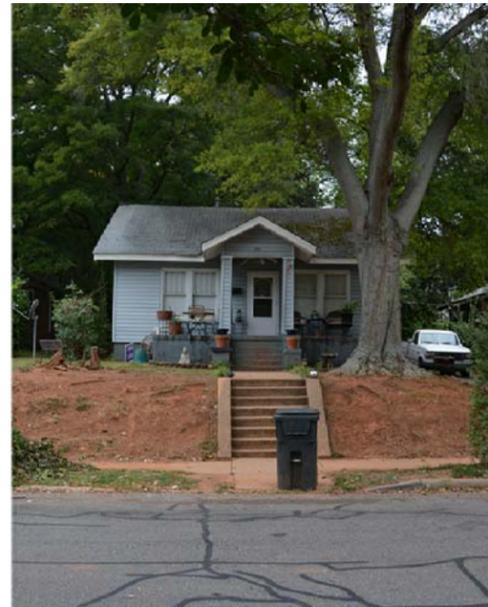
700 S. Summit
(Proposed Site)



628 S. Summit



624 S. Summit



620 S. Summit



616 S. Summit

Date: 01.04.16

Project Status:
HDC Submittal
(Continuation)

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621 S. Summit



625 S. Summit



629 S. Summit



701-703 S. Summit

Romero Residence
Charlotte, NC

Date: 01.04.16

Project Status:
HDC Submittal
(Continuation)

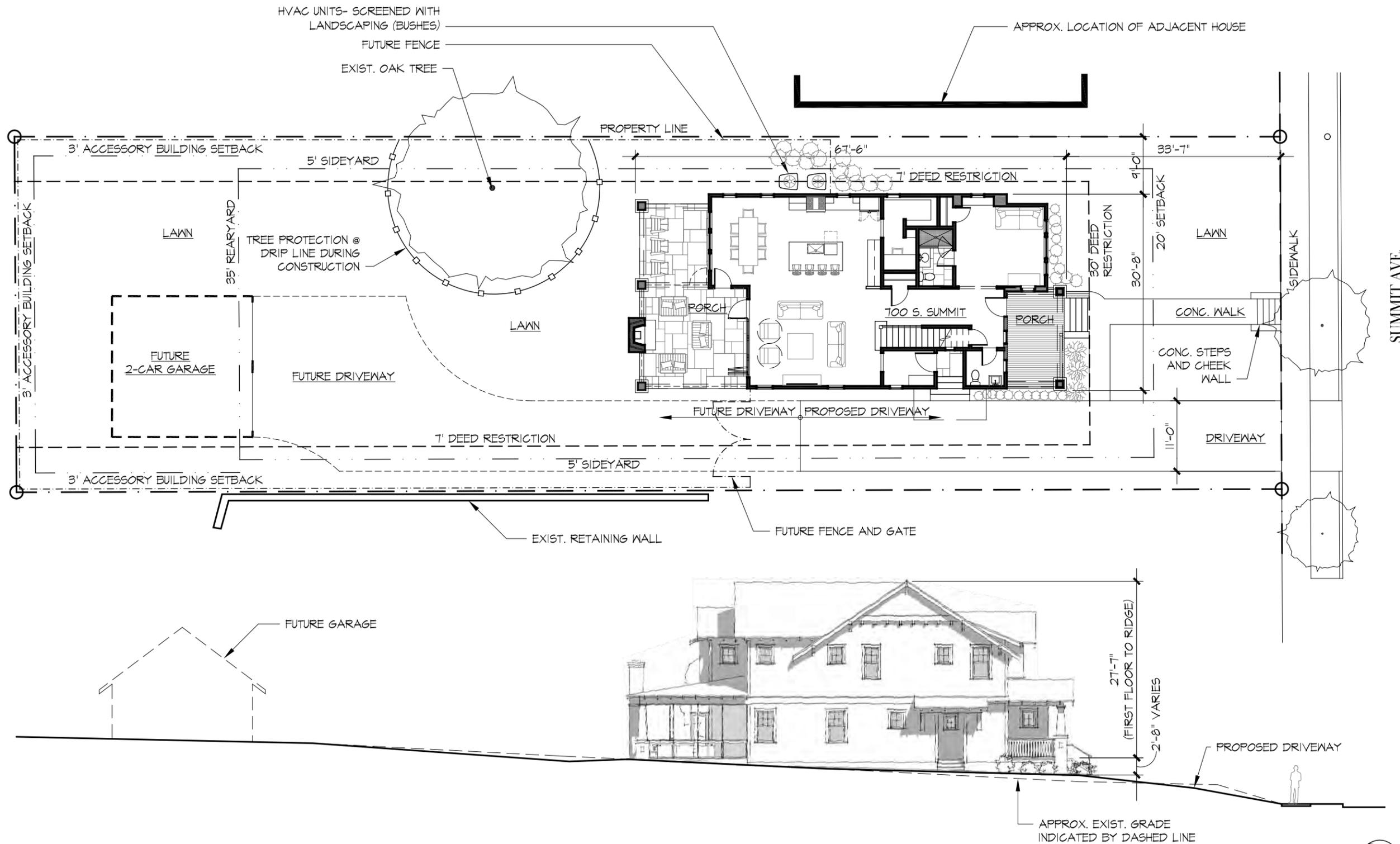
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01 Adjacent Structures (Opposite Side of Street)

nts

DECEMBER 2015



Romero Residence
Charlotte, NC

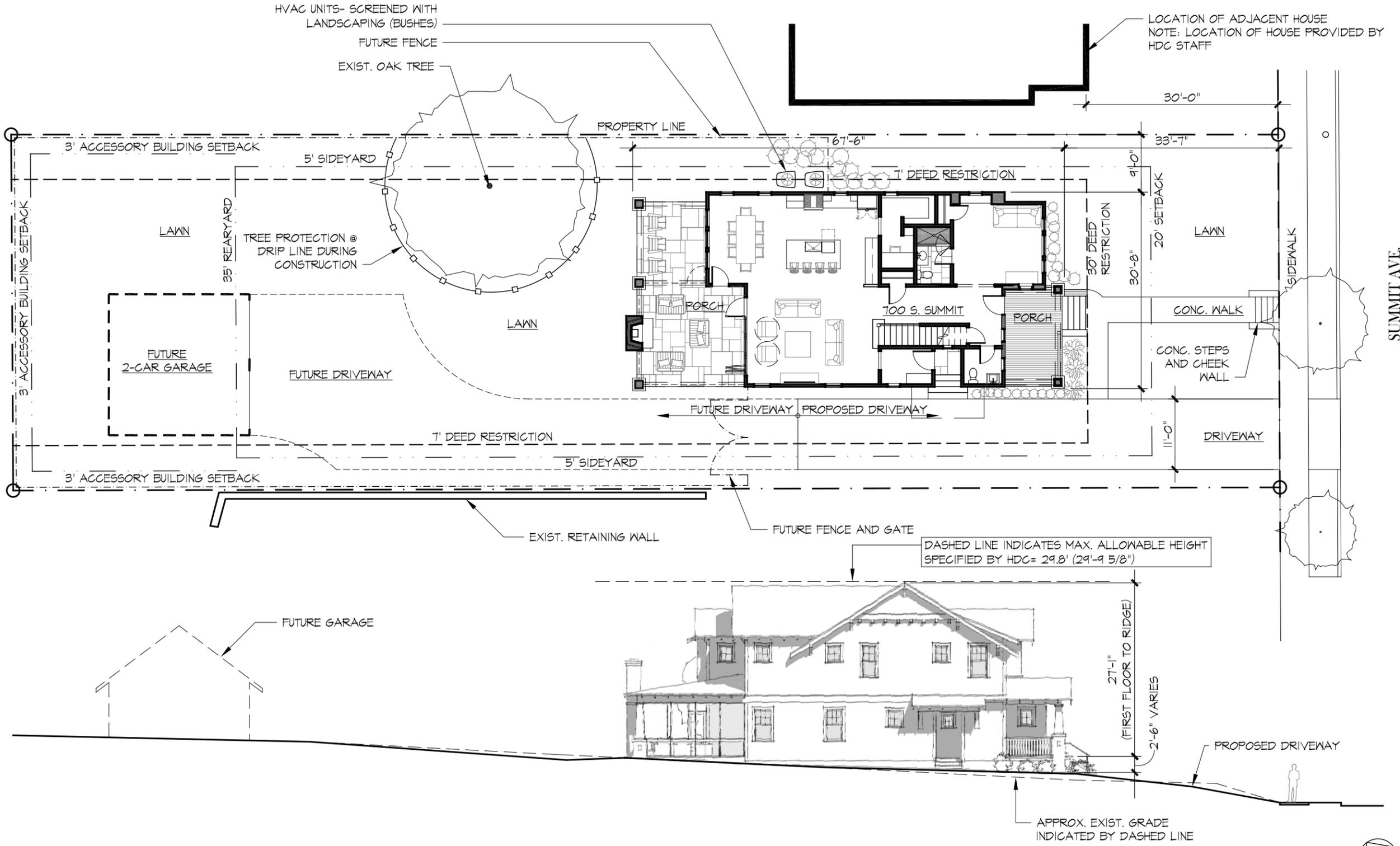
Date: 11.30.15

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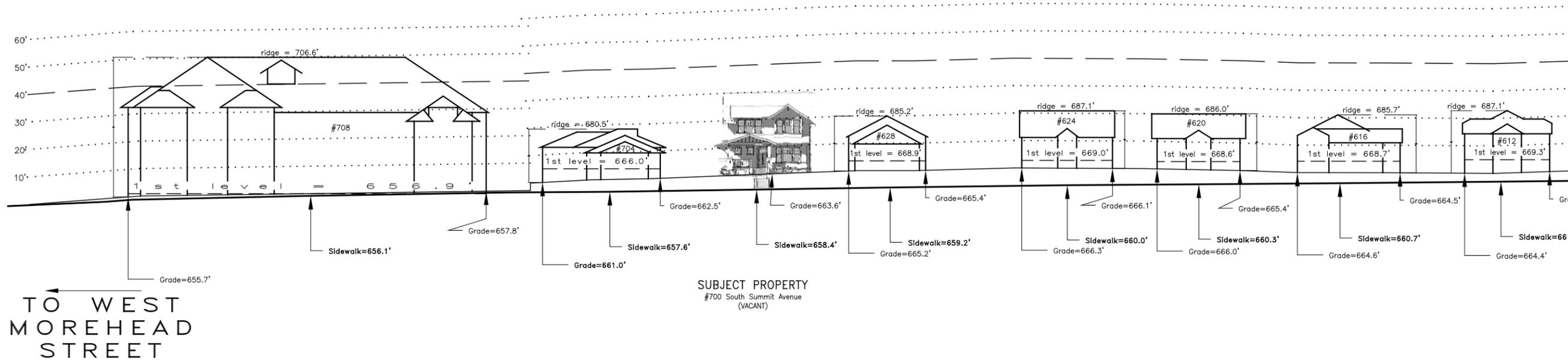
Romero Residence
Charlotte, NC

Date: 01.04.16

Project Status:
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(Continuation)

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01 Proposed Streetscape: Partial Survey Overlay



708 S. Summit



704 S. Summit



700 S. Summit
(Proposed Site)



628 S. Summit

Romero Residence
Charlotte, NC

Date: 01.04.16

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01 Proposed Streetscape: Composite Image

*NOTE: Streetscape Images are approximate and intended to show general relationships to adjacent buildings. See site plan and elevations for exact building location and dimensions

DECEMBER 2015



- Typical Exterior Material Notes**
- MASONRY**
- BRICK FOUNDATION, COLUMNS AND CHIMNEY: MODULAR BRICK VENEER- COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
 - REAR PORCH FLOOR: BLUE STONE SET IN ASHLAR PATTERN. OVER SLAB ON GRADE
- EXTERIOR SIDING, TRIM, ETC**
- LAP SIDING: 5/8" THICK FIBER CEMENT (HARDI ARTISAN), 6" EXPOSURE, INSTALL PER MFR. RECOMMENDATIONS
 - CEDAR SHINGLE SIDING: 5" EXPOSURE CEDAR SHINGLE, PAINTED OR STAINED
 - CORNER BOARDS: WOOD 2 X 5, S4S, NO.1 OR BETTER SYP, CYPRESS OR CEDAR W/ QUARTER ROUND, PAINTED
 - WINDOW TRIM: WOOD 2 X 5, S4S, NO.1 OR BETTER SYP, CYPRESS OR CEDAR W/ QUARTER ROUND, PAINTED W/ WOOD DRIP CAP AND QUARTER ROUND- SEE DETAIL
 - FASCIA, SHINGLE MOULD, FRIEZE AND SOFFIT: PAINTED WOOD- SEE DETAIL
 - FRONT PORCH FLOOR: 4" WOOD T&G, PAINTED- SLOPE TO FRONT EDGE
 - ALL WOOD EXTERIOR SIDING AND TRIM TO BE PRE-PRIMED
- WINDOWS AND DOORS**
- WINDOWS AND DOORS: JELD WEN SITELINE-EX WOOD WINDOWS OR EQ. WINDOWS SHALL HAVE 1/8" SDL (PUDDY GLAZED PROFILE) MUNTIN BARS PERMANENTLY ATTACHED TO INTERIOR AND EXTERIOR FACE OF GLASS WITH INTERNAL SPACER BAR BETWEEN GLASS. SEE ELEVATIONS FOR MUNTIN BAR PATTERN.
- ROOFING**
- SHINGLES: GAF TIMBERLINE ARCHITECTURAL SHINGLE OR EQ.
 - METAL ROOFING: PREFINISHED METAL PANEL WITH STANDING SEAMS. INSTALL PER MFR. RECOMMENDATIONS AND ALL CODE REQUIREMENTS.
 - GUTTERS AND DOWNSPOUTS (OPTIONAL): INSTALL PREFINISHED HALF ROUND METAL GUTTER AND ROUND DOWNSPOUTS.

SEE MATERIAL NOTES AND DETAIL SHEETS FOR DETAILED INFORMATION ON EXTERIOR MATERIALS AND SIZES. ALL NOTES SHALL BE CONSIDERED TYPICAL- SEE OTHER SHEETS FOR ADDITIONAL NOTES

Romero Residence
Charlotte, NC

Date: 11.30.15

Project Status:
HDC Submittal

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JANUARY 2016

JOSH ALLISON
ARCHITECTURE

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2031 Euclid Avenue
Charlotte NC 28203
704 996 4949
www.joshallisonarchitecture.com

Typical Exterior Material Notes

MASONRY

- BRICK FOUNDATION, COLUMNS AND CHIMNEY: MODULAR BRICK VENEER- COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
- REAR PORCH FLOOR: BLUE STONE SET IN ASHLAR PATTERN. OVER SLAB ON GRADE

EXTERIOR SIDING, TRIM, ETC

- LAP SIDING: 5/8" THICK FIBER CEMENT (HARDI ARTISAN), 6" EXPOSURE, INSTALL PER MFR. RECOMMENDATIONS
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- FASCIA, SHINGLE MOULD, FRIEZE AND SOFFIT: PAINTED WOOD- SEE DETAIL
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- ALL WOOD EXTERIOR SIDING AND TRIM TO BE PRE-PRIMED

WINDOWS AND DOORS

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Romero Residence
Charlotte, NC

Date: 01.04.16

Project Status:
HDC Submittal
(Continuation)

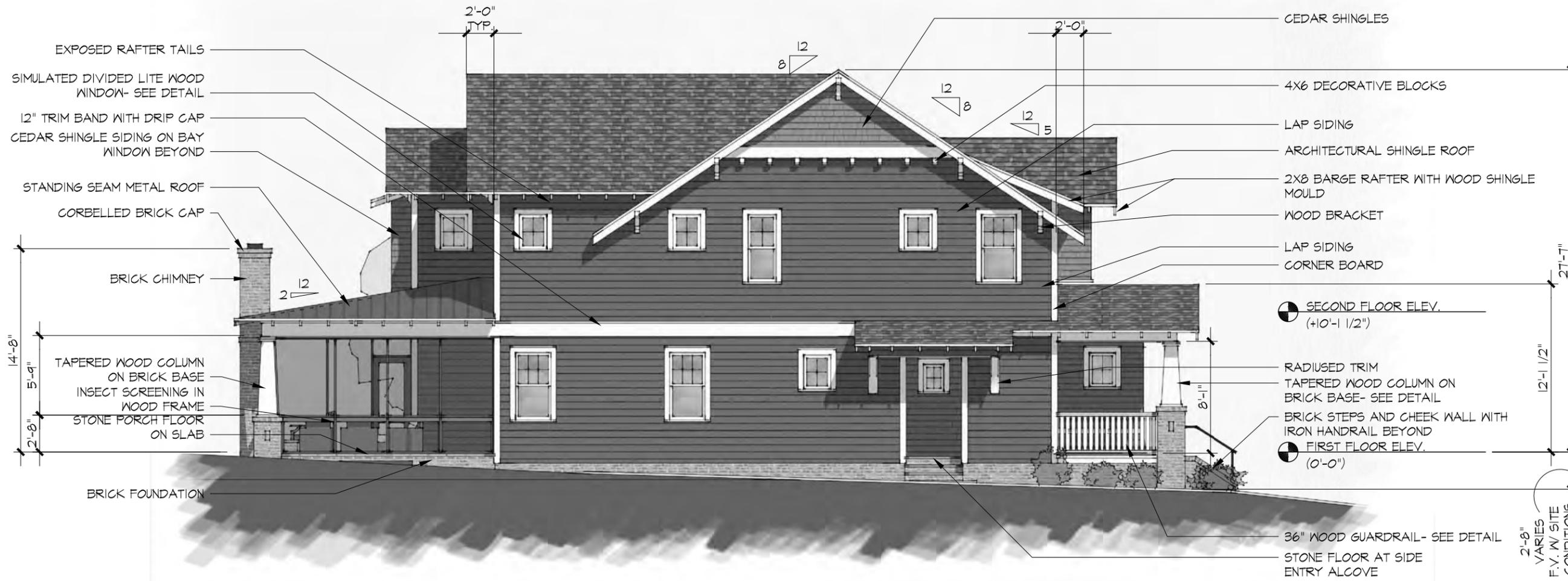
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Front Elevation

1/8" = 1'-0"

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Romero Residence
Charlotte, NC

Date: 11.30.15

Project Status:
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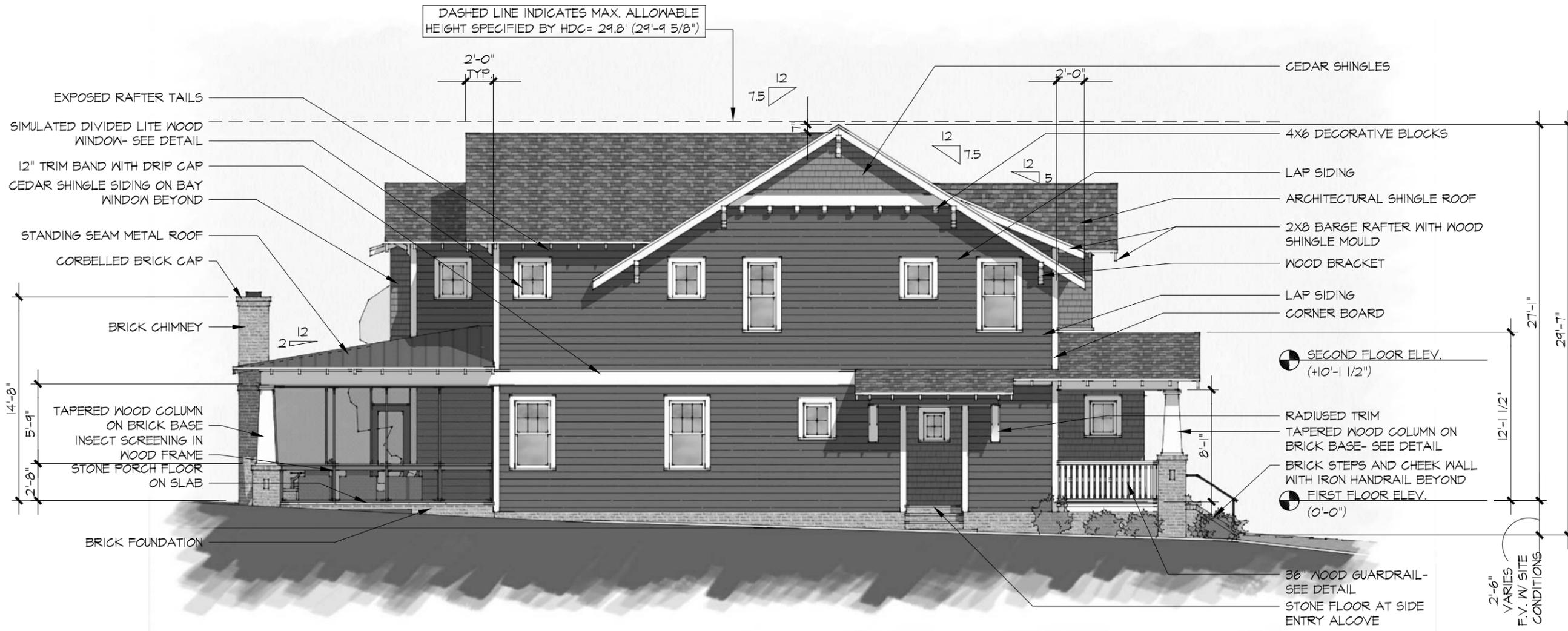
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Left Side Elevation

1/8" = 1'-0"

JANUARY 2016



Romero Residence
Charlotte, NC

Date: 01.04.16

Project Status:
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Left Side Elevation

1/8" = 1'-0"

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SEE MATERIAL NOTES AND DETAIL SHEETS FOR DETAILED INFORMATION ON EXTERIOR MATERIALS AND SIZES. ALL NOTES SHALL BE CONSIDERED TYPICAL- SEE OTHER SHEETS FOR ADDITIONAL NOTES

Romero Residence
Charlotte, NC

Date: 11.30.15

Project Status:
HDC Submittal

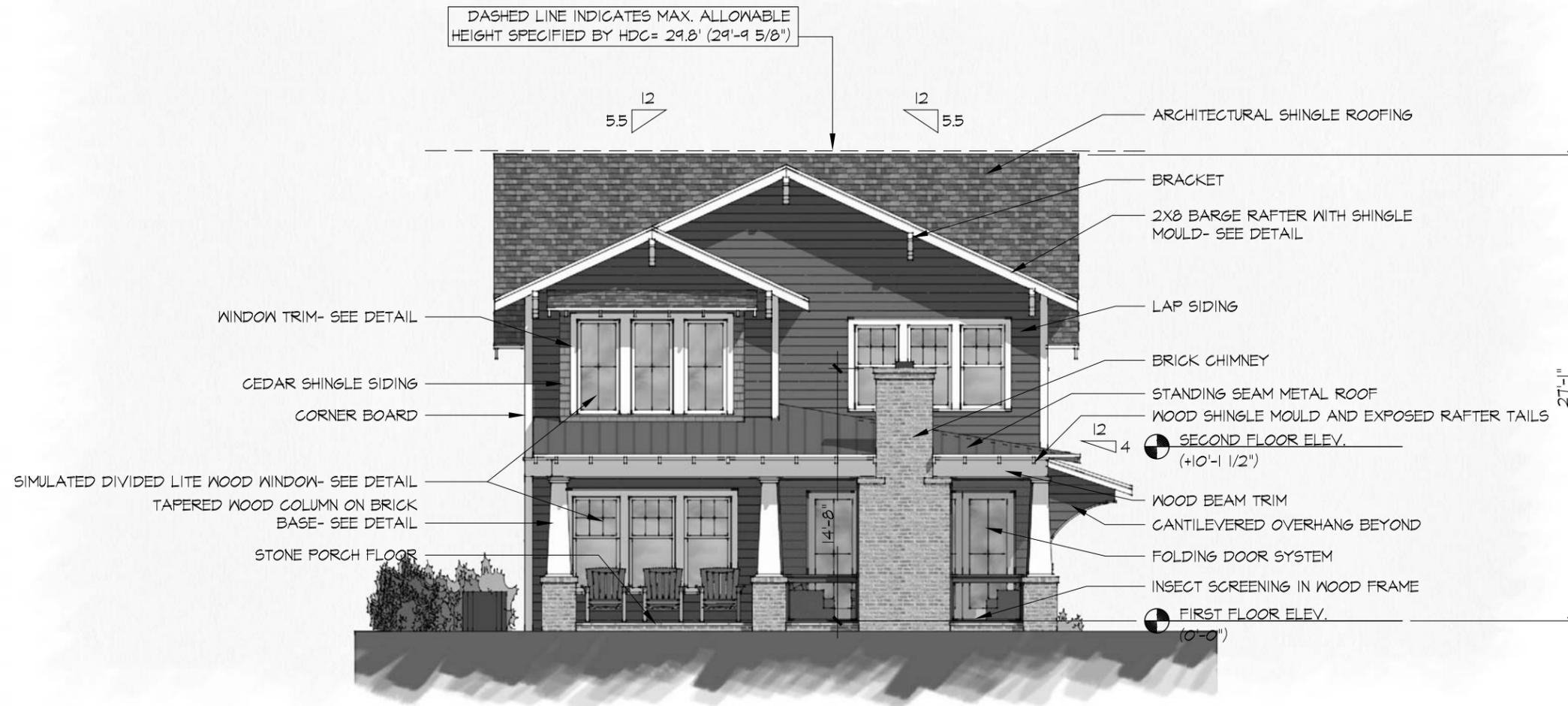
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Rear Elevation

1/8" = 1'-0"

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Romero Residence
Charlotte, NC

Date: 01.04.16

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Rear Elevation

1/8" = 1'-0"

DECEMBER 2015



Romero Residence
Charlotte, NC

Date: 11.30.15

Project Status:
HDC Submittal

SEE MATERIAL NOTES AND DETAIL SHEETS FOR DETAILED INFORMATION ON EXTERIOR MATERIALS AND SIZES. ALL NOTES SHALL BE CONSIDERED TYPICAL- SEE OTHER SHEETS FOR ADDITIONAL NOTES

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Right Side Elevation

1/8" = 1'-0"

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SEE MATERIAL NOTES AND DETAIL SHEETS FOR DETAILED INFORMATION ON EXTERIOR MATERIALS AND SIZES. ALL NOTES SHALL BE CONSIDERED TYPICAL- SEE OTHER SHEETS FOR ADDITIONAL NOTES

Romero Residence
 Charlotte, NC

Date: 01.04.16

Project Status:
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Right Side Elevation
 1/8" = 1'-0"



Romero Residence
Charlotte, NC

Date: 01.04.16

Project Status:
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Romero Residence
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Romero Residence
Charlotte, NC

Date: 01.04.16

Project Status:
HDC Submittal
(Continuation)

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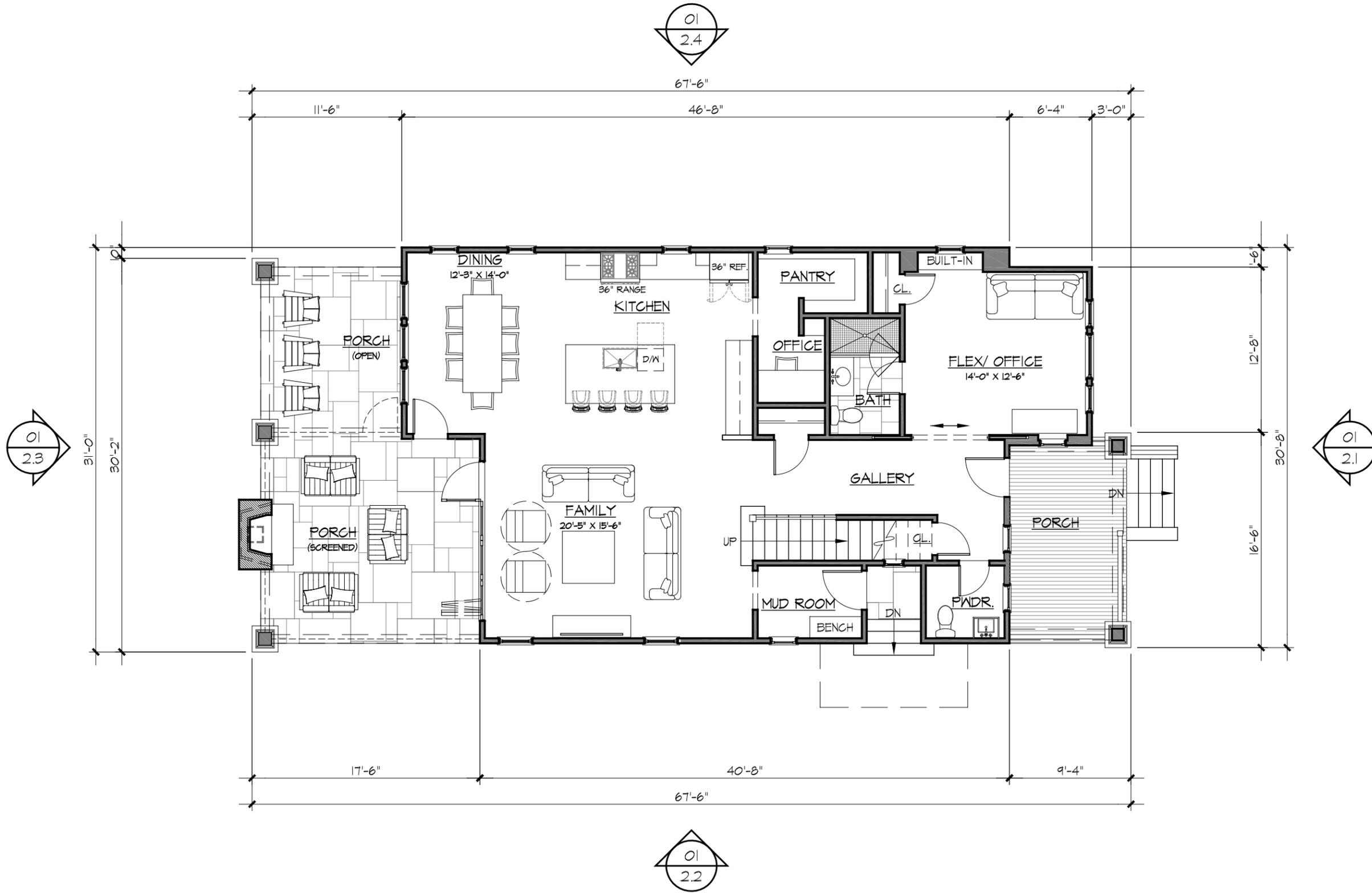
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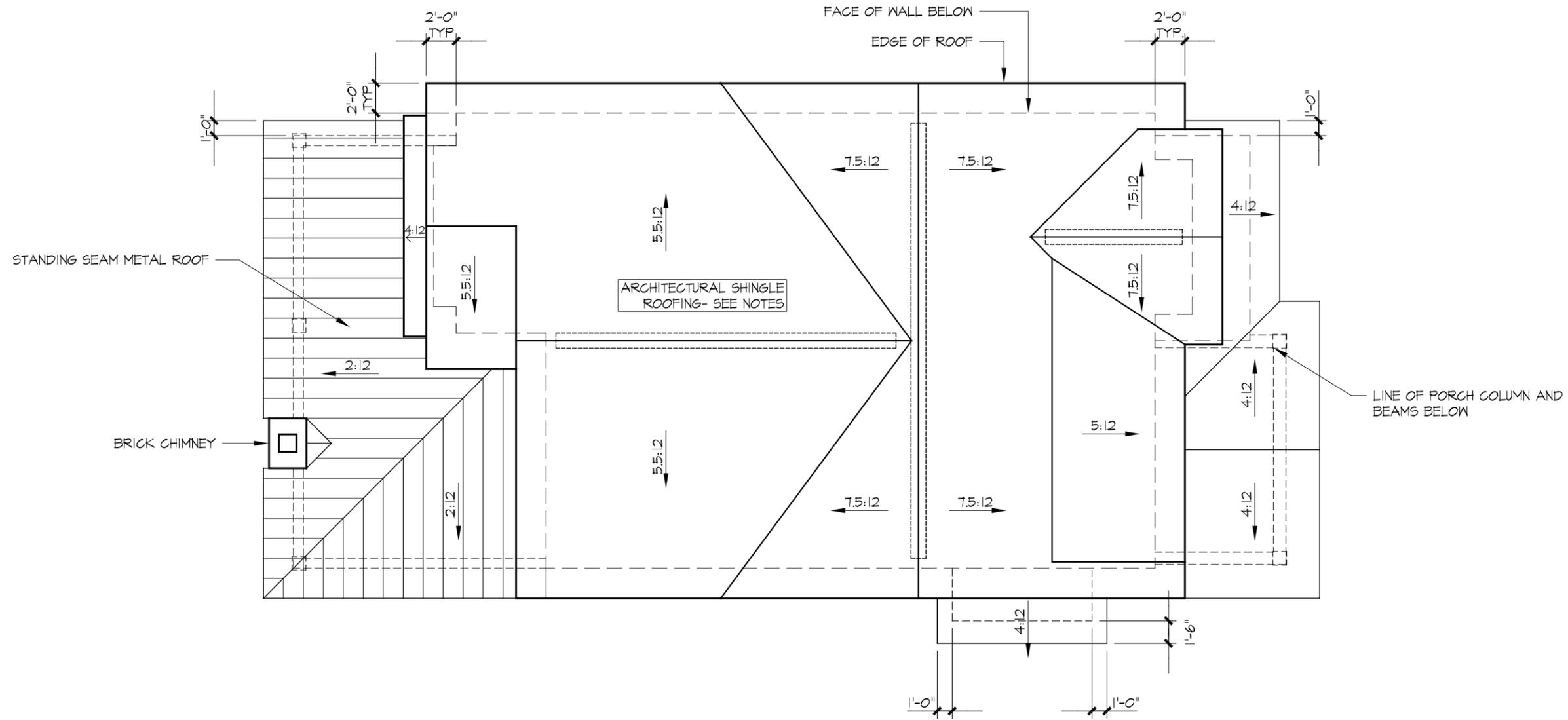
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First Floor Plan (1,383 Heated sf)

1/8" = 1'-0"



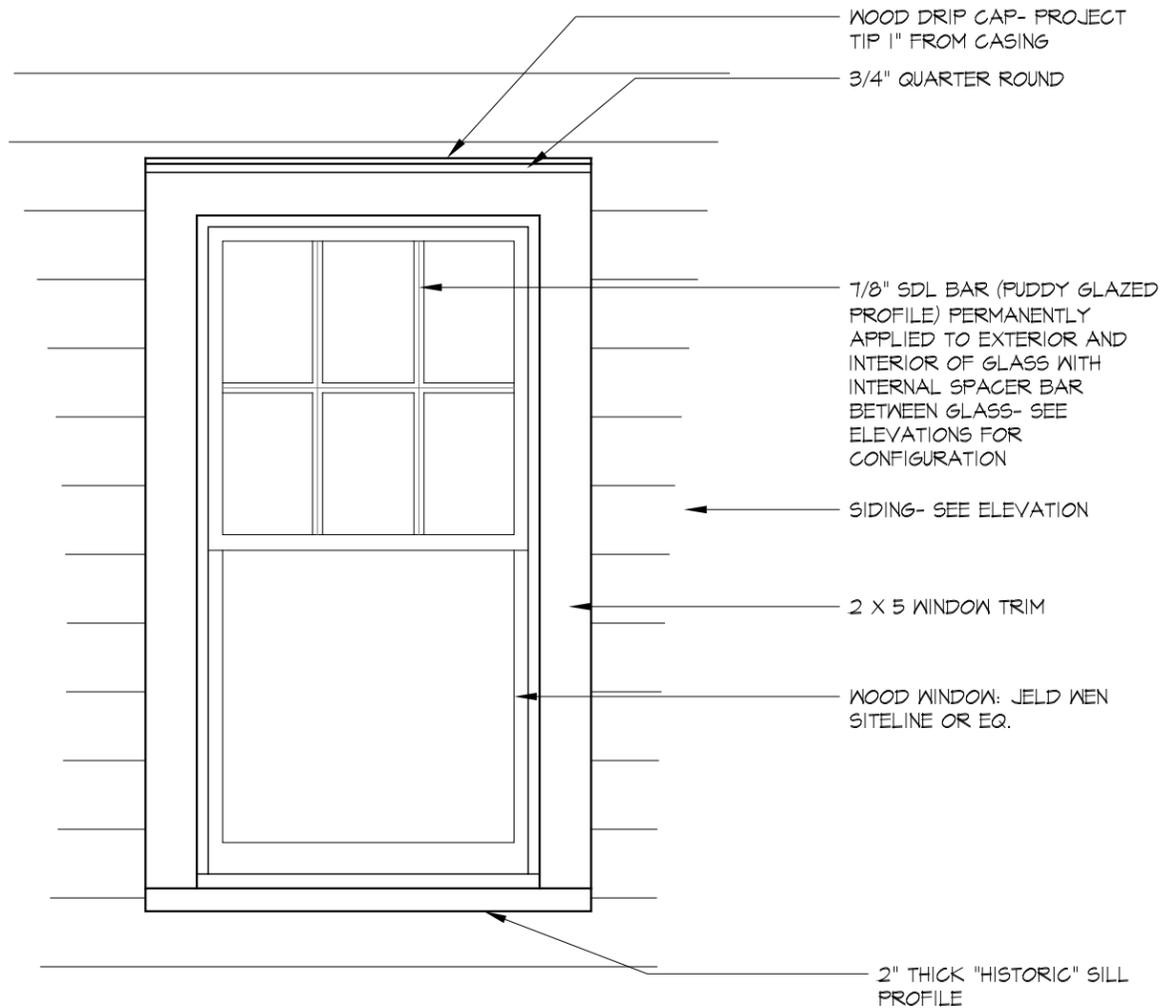
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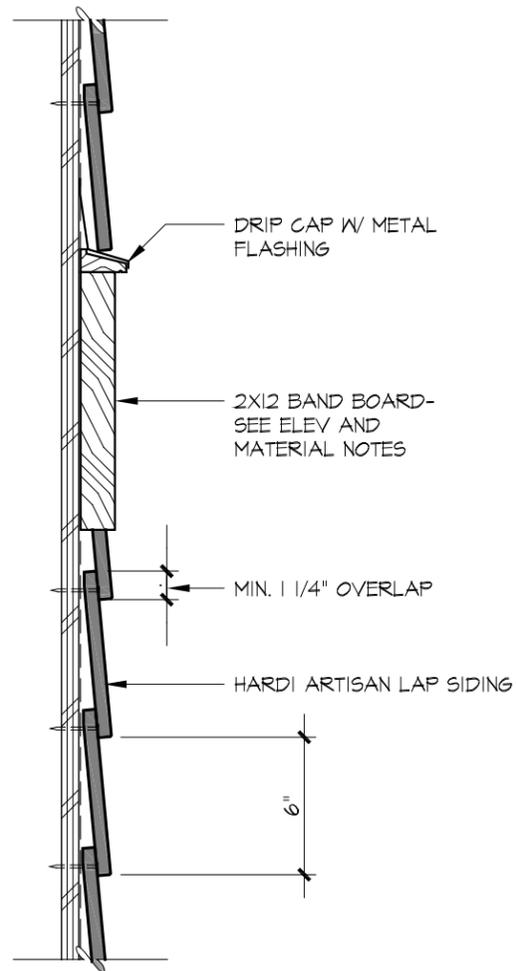
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Typ. Window Trim Elevation
3/4" = 1'-0"



Typ. Siding Detail
1 1/2" = 1'-0"

LONG-LASTING BEAUTY

Artisan lap siding is at the forefront of innovation and is backed by over 15 years of research and development. Boasting absolute precision in its symmetry and engineered for your local climate, Artisan resists flame spread, hurricane-force winds, pests, as well as damage from moisture and rot, snow, ice and hail.

Artisan lap siding is a premium exterior product that combines elegant aesthetics with the unrivaled durability of James Hardie® siding. This unique product line opens the door to unlimited possibilities giving architects, builders and homeowners alike the opportunity to express themselves through the highest standards in design.

Details

- Distinctively deep shadow lines
- Ability to miter corners
- Tongue and groove joints provide low profile seams

PRODUCT SPECIFICATIONS

Finish

- Ready to Paint
- When painting product, use 100% acrylic paint

Size/Weight/Texture

Length: 12'
Thickness: 5/8"
Width: 5-1/4" (4" exposure)
7-1/4" (6" exposure)
8-1/4" (7" exposure)
Weight: 4.55 lbs./sq. ft.
Texture: Smooth and Woodgrain
Nail line is 1" from the top edge of the board

Warranty

Artisan lap siding is protected by a 30-year limited non-prorated warranty. This product replacement warranty is the best in the industry.



Artisan lap siding is manufactured with a unique tongue and groove joint design for precise fit and finish.

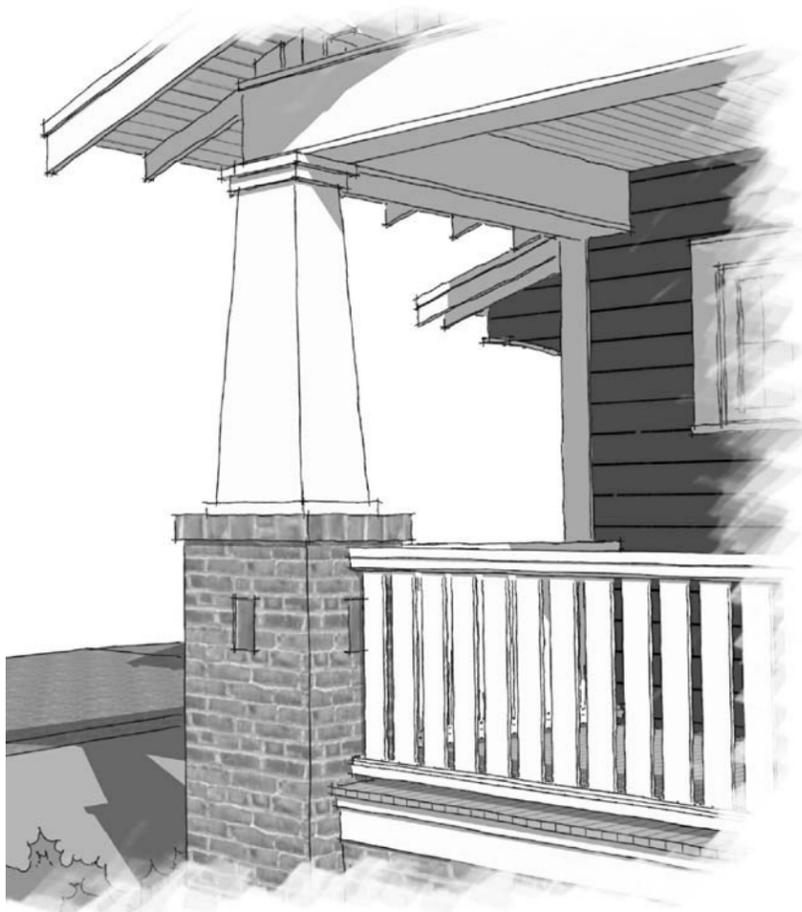
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1X OR SHEET MATERIAL



GABLE SIDING PLAN VIEW

2X8 BARGE RAFTER W/ 1X3 SHINGLE MOULD

V-GROOVE ROOF DECK

1X4 BATONS SPACED @ 7" O.C. OVER VERTICAL 1X6'S

4X6 OUTRIGGER WITH DECORATIVE END CUT

5/4 BEAM BOTTOM TRIM

2X TRIM

3/4" COVE

WOOD BEAD BOARD CEILING

TAPERED WOOD COLUMN

BRICK ROWLOCK CAP

36" PAINTED WOOD GUARDRAIL W/ 1X4 PICKETS @ 5" O.C.

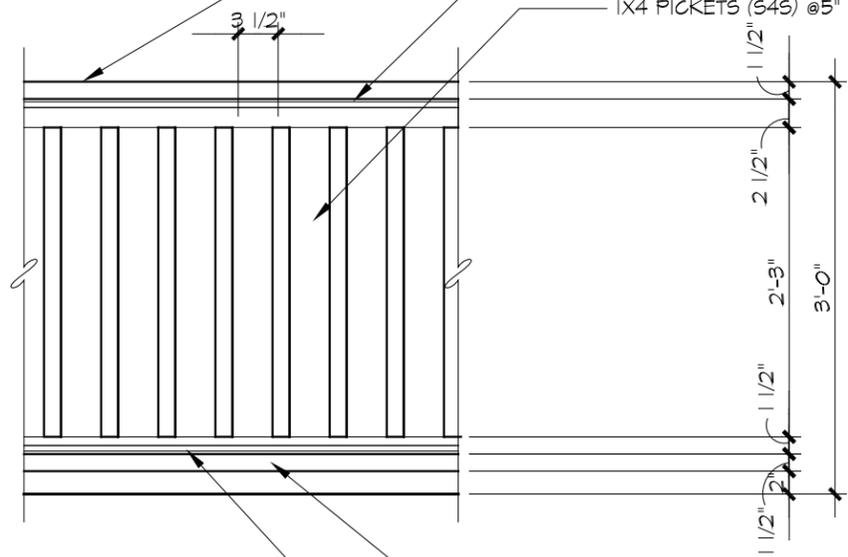
BRICK COLUMN BASE

WOOD T&G PORCH FLOOR- SLOPE TO FRONT EDGE

WOOD TRIM

1X SKIRT BOARD

4" WIDE TOP RAIL W/ TAPERED TOP OVER 2X4 (S4S)
3/4" COVE MOULD
1X4 PICKETS (S4S) @ 5" O.C.



BOTTOM RAIL: 2X3 OVER HORIZ. 2X4 (S4S)

3/4" COVE MOULD

8'-1" @ REAR PORCH

3'-5" @ REAR PORCH
(2'-8" @ REAR PORCH)

5'-0" @ REAR PORCH
5'-9" @ REAR PORCH

2'-10"

2"

2'-0"

2'-0"

1'-5"

11"

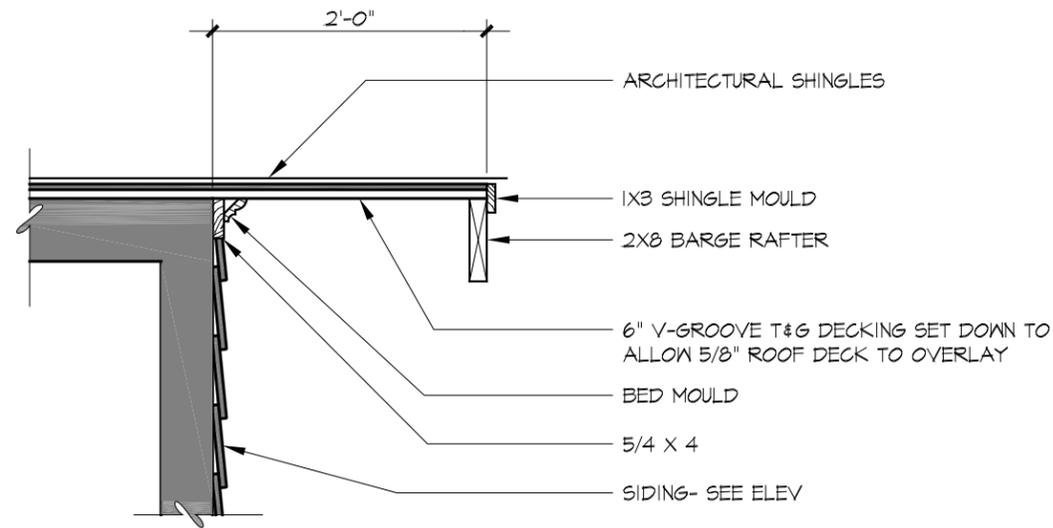
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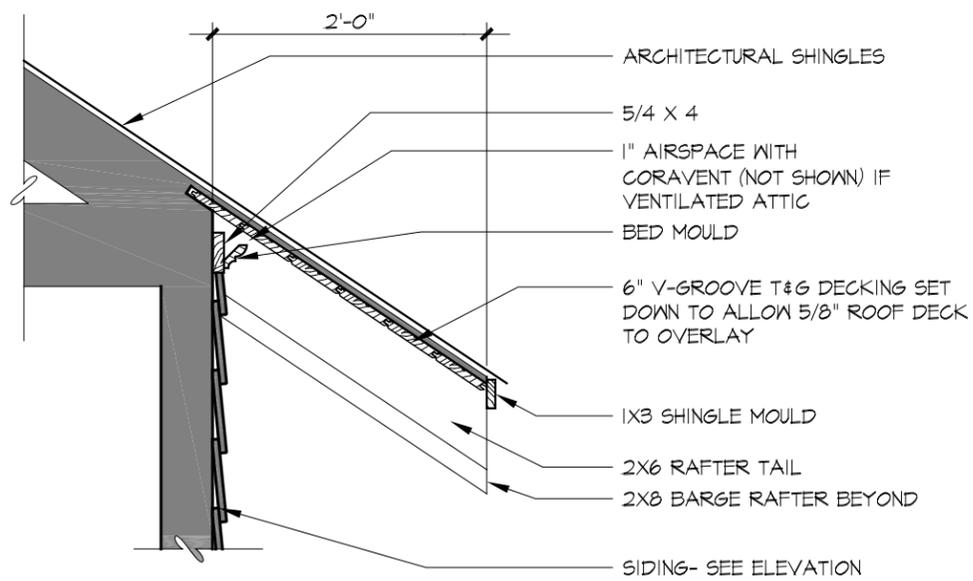
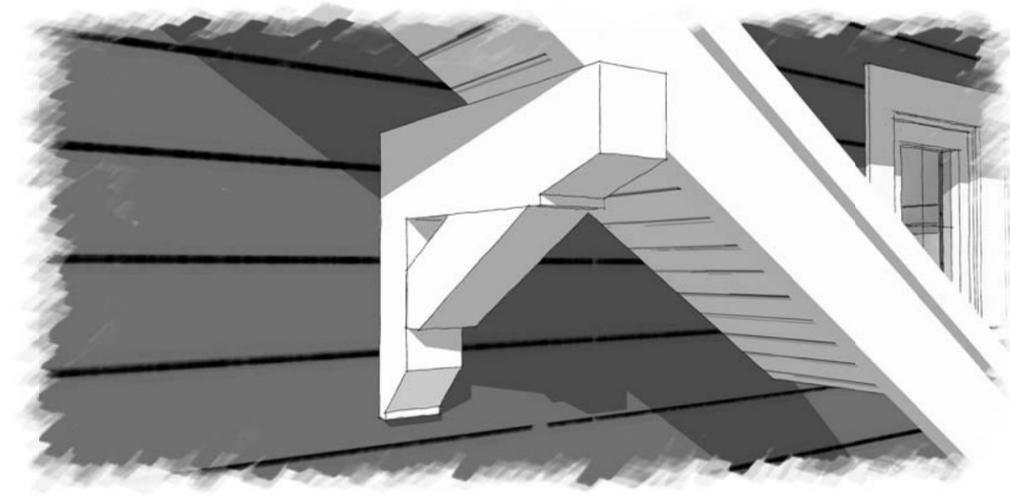
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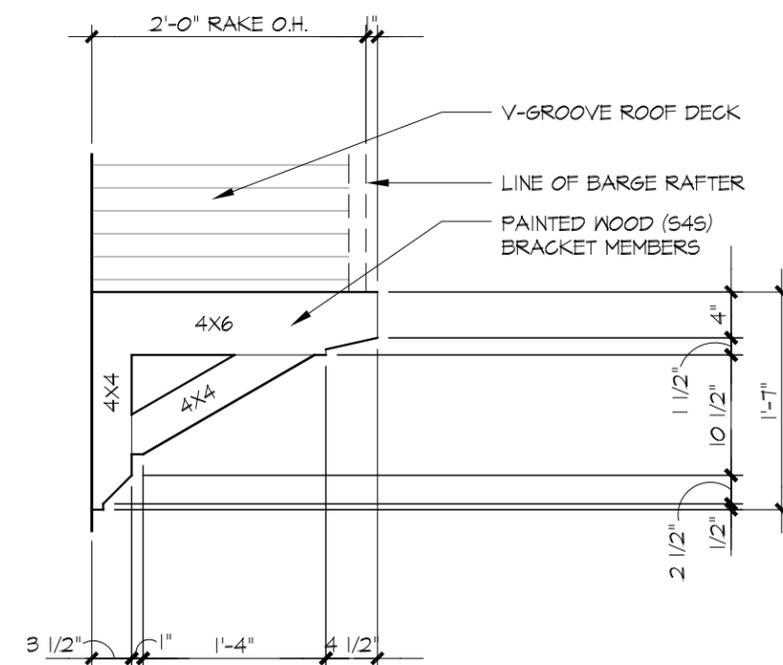
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Rake



Sloped



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