



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS-Amended

CERTIFICATE NUMBER: 2015-266

DATE: March 17, 2016

ADDRESS OF PROPERTY: 601 East Kingston Avenue

TAX PARCEL NUMBER: 12311602

HISTORIC DISTRICT: Dilworth

OWNER(S): Alicia and Mark Sparling

DETAILS OF APPROVED PROJECT: The project is a rear second floor addition that is approximately 7 feet lower than the roof of the main section of the house. Exterior features to be removed are identified on the plans. Project details of the addition include a wood lap and shake siding, wood brackets, wood handrails and wood Simulated True Divided Light (STD L) windows. Other trim details will match existing. Amended items include the addition of windows in the crawl space.

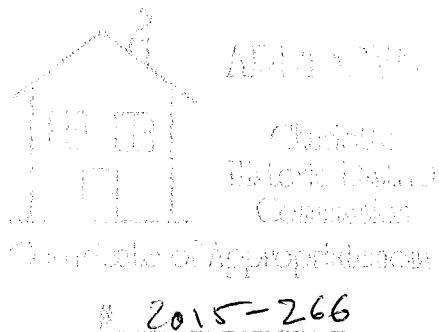
The project was approved by the HDC January 13, 2016.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of six months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within six months of the date of issuance of this Certificate. The Certificate can be renewed within twelve months of its issuance by Historic District Commission staff by written request and submission of a valid reason for failure to comply within the six-month deadline.

Chairman

Staff



VICINITY MAP



NOTE:
Reuse or modification of these construction documents by the client, without the Architects permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

INDEX OF DRAWINGS

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Subject House
Street Scape
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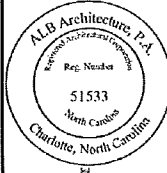
SQUARE FOOTAGE CALCULATIONS

	Heated	Unheated
Existing First Floor:	1702 S.F.	507 S.F.
Exisitng Second Floor:	1182 S.F.	0 S.F.
Proposed First Floor:	111 S.F.	0 S.F.
Proposed Second Floor:	494 S.F.	0 S.F.



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Historic Dilworth Renovation & Addition for the:

SPARLING RESIDENCE

601 East Kingston Avenue, Charlotte, NC 28203

PROJ. NO.: 15066
ISSUED: 4 JAN 2016
REVISIONS:

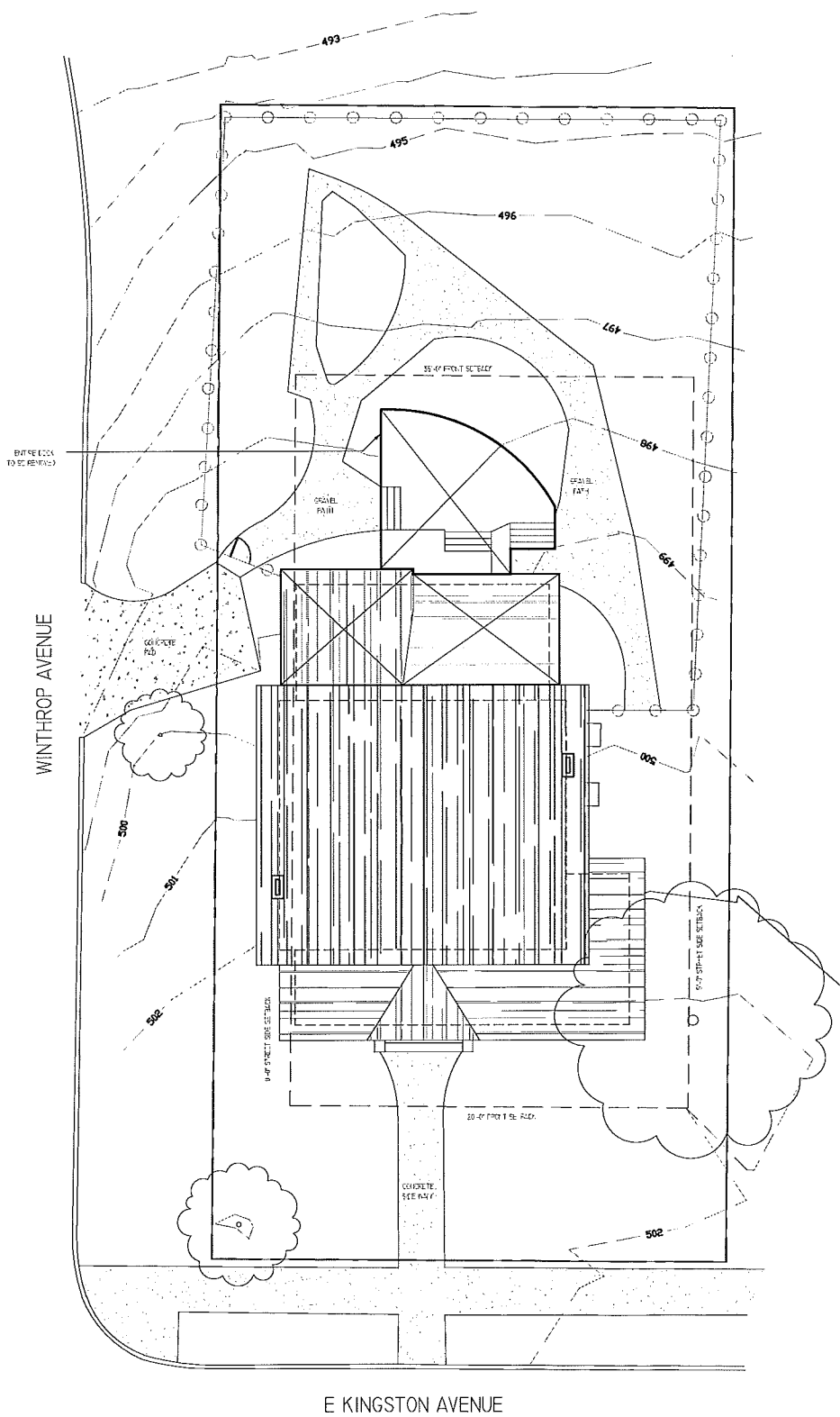
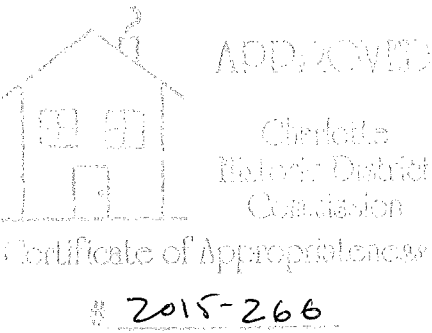
COVER SHEET

A-0

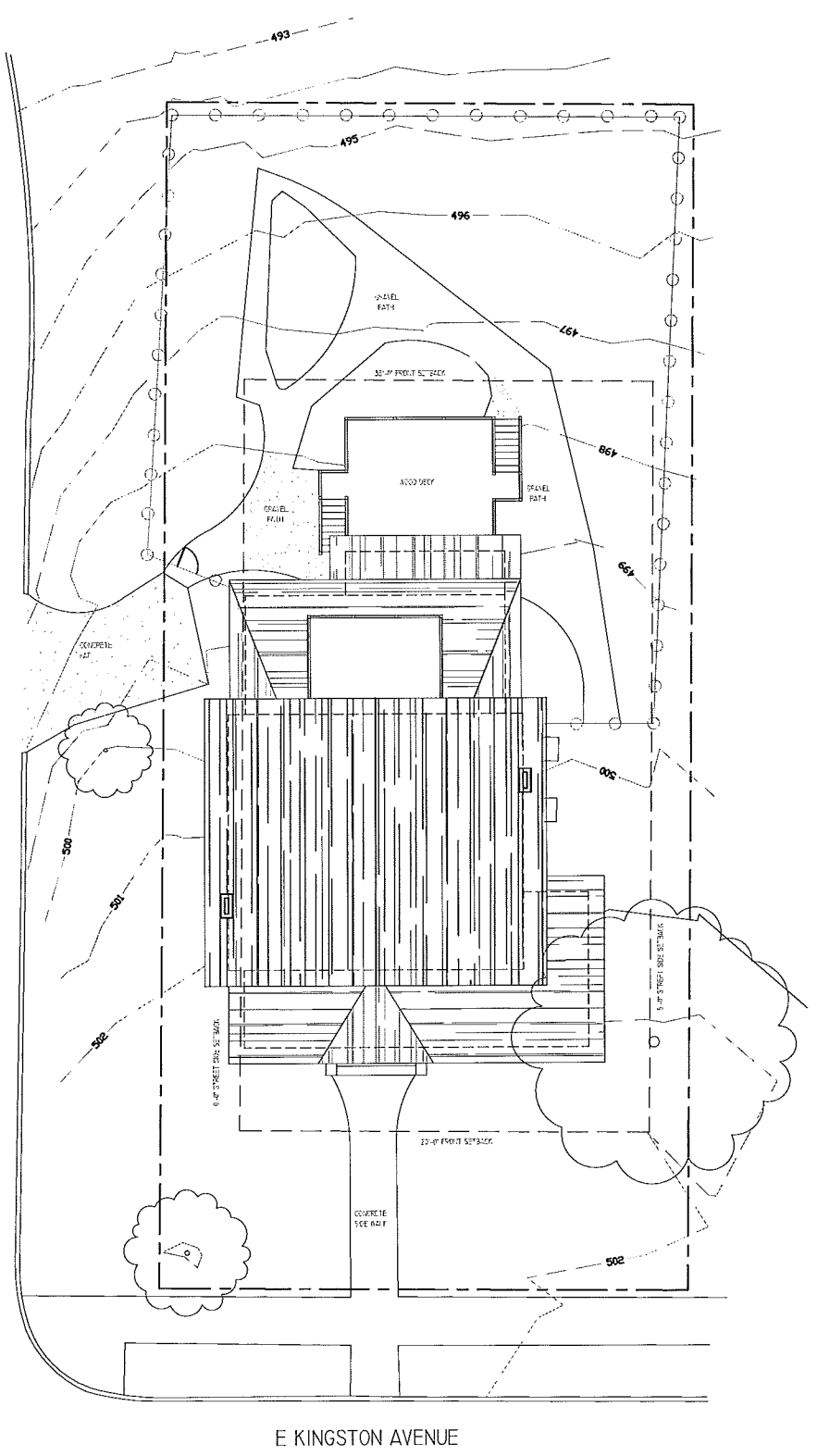
OF: THIRTEEN

RESIDENCE CALCULATIONS	
TOTAL PROPOSED HEATED AREA	605
PROPOSED HEATED AREA OF GARAGE	0
PROPOSED UNHEATED	
SCREENED PORCH	0
UNHEATED GARAGE	0
POOL	0
PATIO	0
SHOP	0
TOTAL	0
REAR YARD PERMEABILITY CALCULATIONS (50 % AS REQUIRED BY HDC)	
EXISTING REAR YARD AREA	4142
PROPOSED HOUSE ADDITION	112
GARAGE FOOTPRINT	0
IMPERVIOUS AREA AT REAR YARD	60
TOTAL AREA	172
TOTAL PERMEABLE AREA	96%
OPEN SPACE CALCULATIONS PER ZONING (AT LEAST 65% REQUIRED)	
TOTAL AREA OF SITE	9996
FOOTPRINT OF HOUSE	2738
FOOTPRINT OF SHOP	0
FOOTPRINT OF GARAGE	0
TOTAL AREA	2738
PERCENTAGE OF OPEN SPACE	73%

③ PERMEABILTY CALCULATIONS



① EXISTING SITE PLAN
1" = 10'-0"



① PROPOSED SITE PLAN
1" = 10'-0"



XXXX
SHEETS TO BE PRINTED

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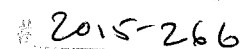
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Registered Professional Engineer
Reg. Number
51533
North Carolina
Charlotte, North Carolina

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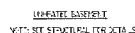
PROJ. NO.: 15066
ISSUED: 4 JAN 2016
REVISIONS:

EXISTING & PROPOSED SITE PLANS
A-1
OF: THIRTEEN



Charlotte
Historic District
Commission

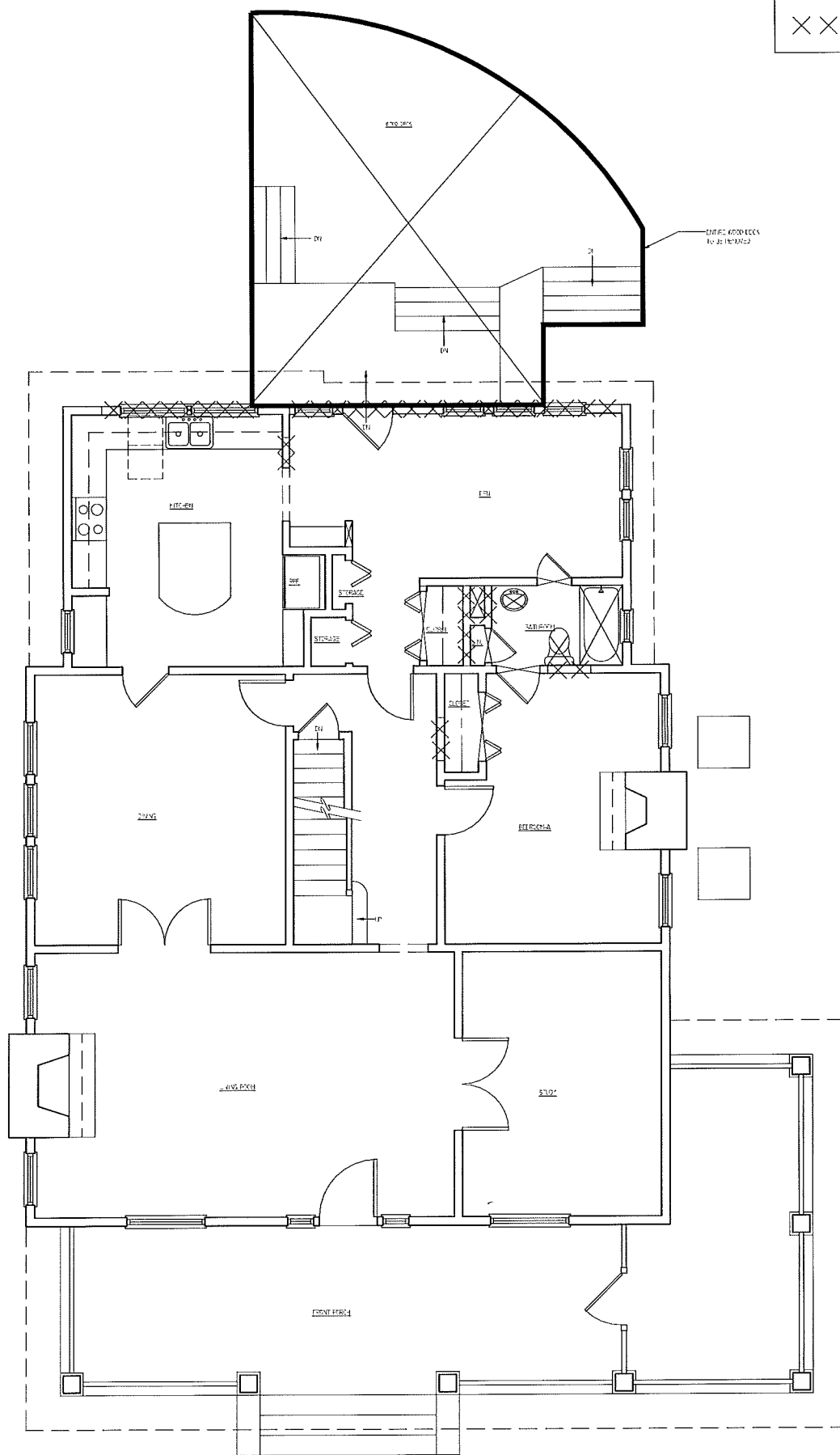
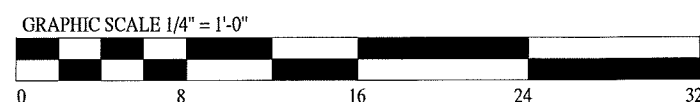
2015-266



3 HEATED EASEMENT
NOTE: SEE STRUCTURE FOR [574] 15

TABLE 1

② EXISTING CRAWLSPACE/BASEMENT PLAN
1/4" = 1'-0"



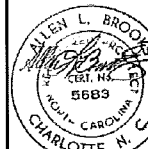
	X	X	X	X
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ADAMS TO BE DEMO?

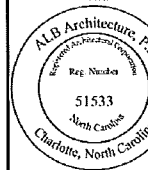


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4 JAN 20



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Historic Dilworth Renovation & Addition for the:

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PROJ. NO. -	15066
ISSUED -	4 JAN 2018
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EXISTING PLANS

A-2

OF: THIRTEEN



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CHARLOTTE, N. C.

4 JAN 2016



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Charlotte, North Carolina

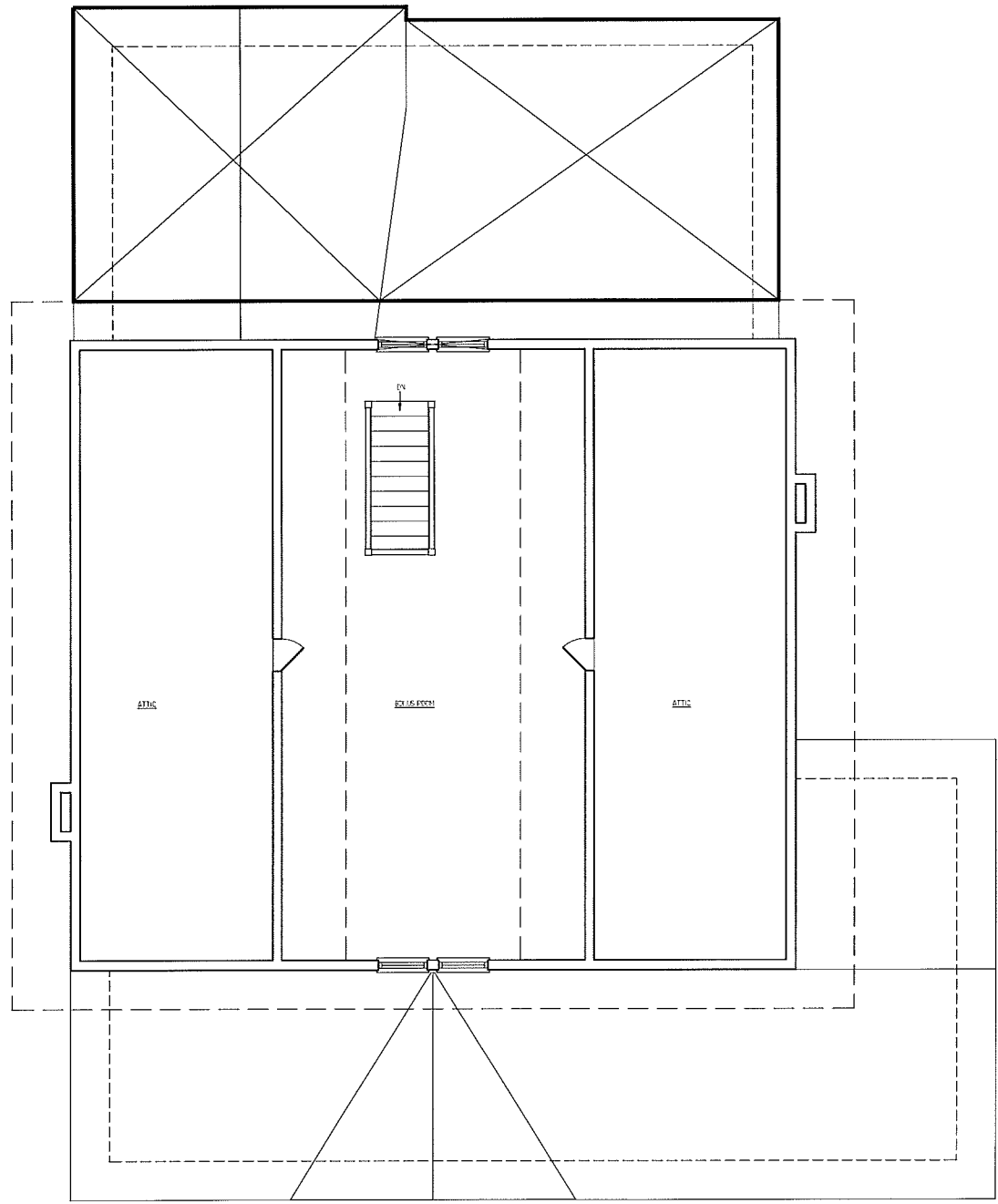
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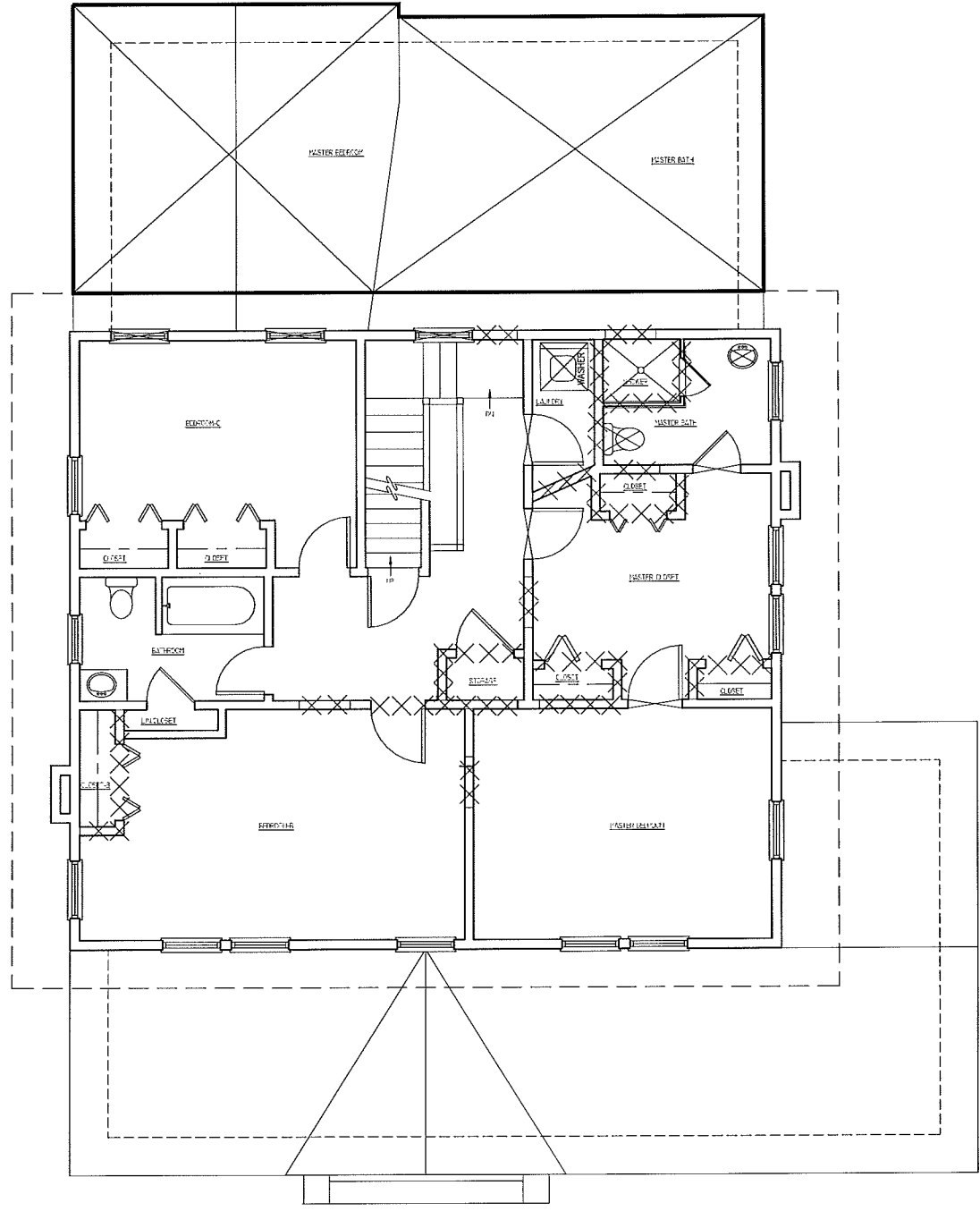
601 East Kingston Avenue, Charlotte, NC 28203



2

EXISTING ATTIC PLAN

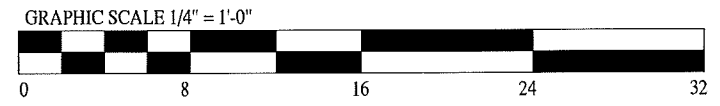
1/4" = 1'-0"



1

EXISTING SECOND FLOOR PLAN

1/4" = 1'-0"



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2015-266



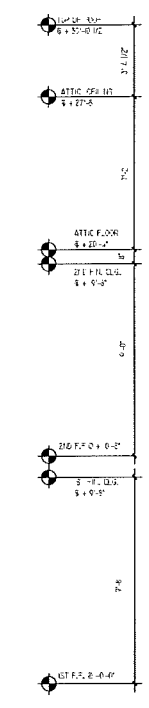
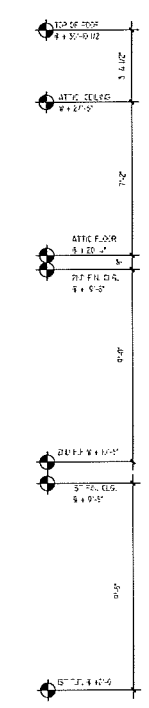
② EXISTING LEFT SIDE ELEVATION (WINTRHOP FACING)
1/4" = 1'-0"



① EXISTING FRONT ELEVATION
1/4" = 1'-0"



XXXX
REVISIONS



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4 JAN 2016

4 JAN 2016

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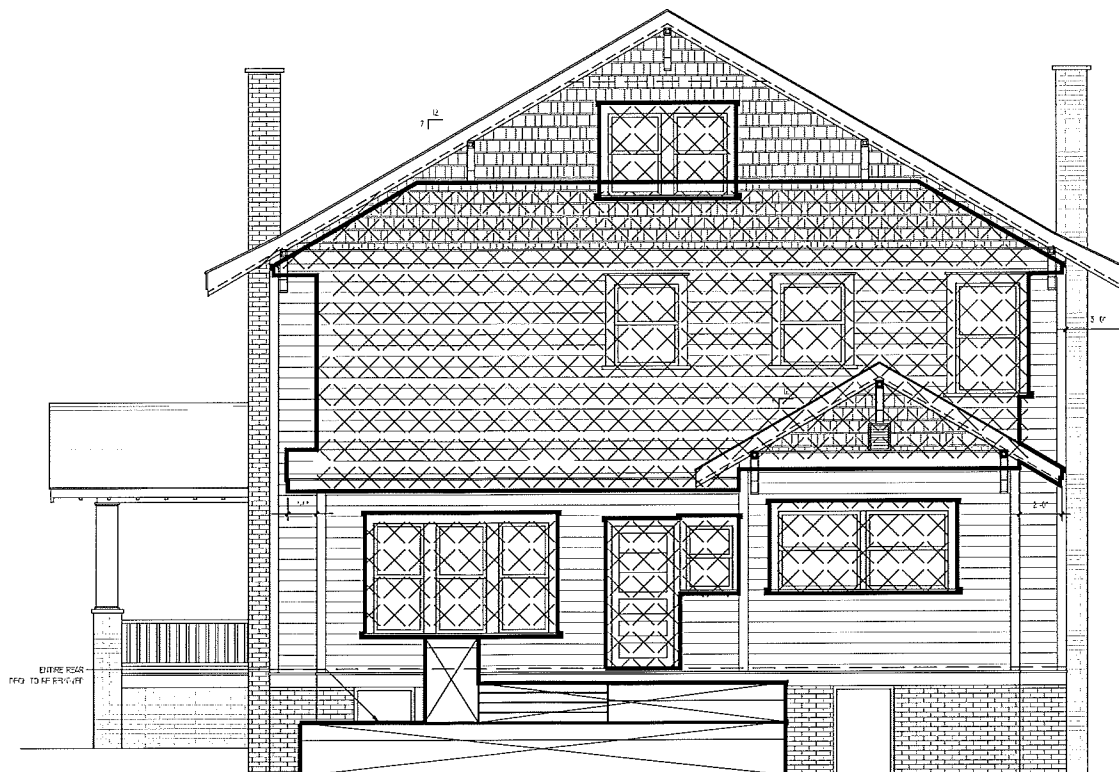
EXISTING ELEVATIONS

A-5
OF THIRTEEN

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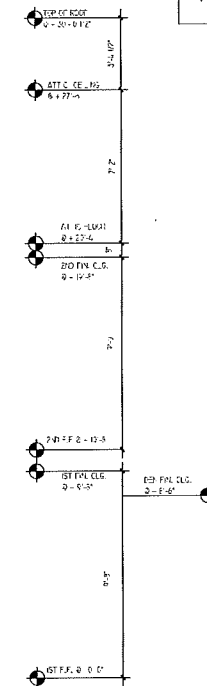
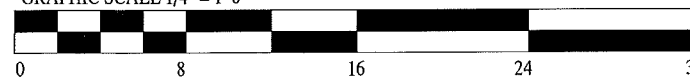


② EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"



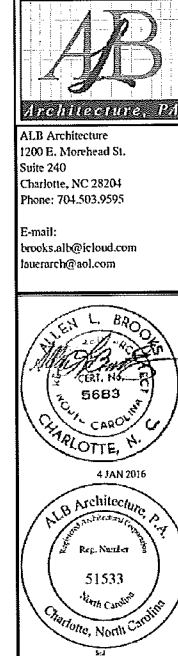
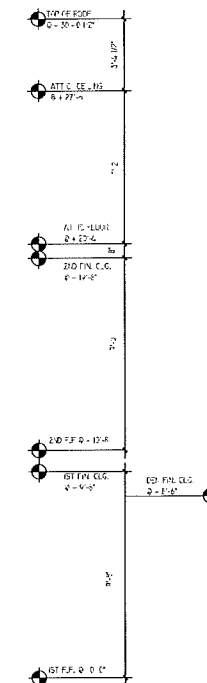
① EXISTING REAR ELEVATION
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



XXXX

1/4" = 1'-0"



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EXISTING ELEVATIONS

A-6

OF: THIRTEEN

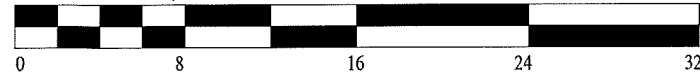


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Historic District
Commission

215-266



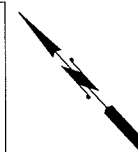
GRAPHIC SCALE 1/4" = 1'-0"



SECOND FLOOR DOOR SCHEDULE		
100A	OPENING	LOCATION
101	2'-0" x 6'-0"	RECEPTION
102	7'-0" x 6'-0" 8'-0" x 10'-0"	CORRIDOR
103	2'-0" x 6'-0"	RECEPTION
104	7'-0" x 6'-0" 8'-0" x 10'-0"	CLOSET C
105	2'-0" x 6'-0"	STORAGE LAUNDRY
106	2'-0" x 6'-0"	MASTER BEDROOM
107	2'-0" x 6'-0"	MASTER BATHROOM
108	2'-0" x 6'-0" SLOPE 6" x 8" x 10"	HALL
109	7'-0" x 6'-0" SLOPE 6" x 8" x 10"	BATH

- PROPOSED FIRST FLOOR CEILING HEIGHT TO MATCH EXISTING
- ALL PROPOSED EAVES TO BE 2'-0" U.N.O
- FACE OF BRICK TO ALIGN WITH FACE OF STUD
- PROPOSED FOUNDATION DIMENSION FROM FACE OF BRICK
- EXISTING REAR GABLE & SHED ROOF TO BE REMOVED
- ALL EXISTING WALLS UNDER EXISTING REAR SHED ROOF TO BE REFRAMED TO MATCH EXISTING FIRST FLOOR CEILING HEIGHT OF THE REST OF THE HOUSE
- USE DOUBLE FELT WITH SNOW & ICE GUARD FOR ALL ROOFS WITH PITCHES LESS THAN 4:12
- WATER PROOF MEMBRANE-TO BE INSTALLED ACROSS ENTIRE SURFACE FOR ROOF PITCHES LESS THAN 2:12-FLASHING & COUNTER FLASHING AS REQUIRED
- MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED
- ALL CASED OPENINGS TO BE 6'-8" U.N.O

 EXISTING WALL
 NEW WALL
 NAILS NEEDED SHEET PLY TO BE STRAPPED TO MATCH FIRST FLOOR CEILING HEIGHT OF THE 1ST OR THE 2ND FLOOR
 BRICK ADDED
 MASCHER



Historic Dilworth Renovation & Addition *for* the:
SPARLING RESIDENCE
 601 East Kingston Avenue, Charlotte, NC 28209

PROJ. NO. - 15066
ISSUED - 19 JAN 2016
REVISIONS -

PROPOSED PLANS

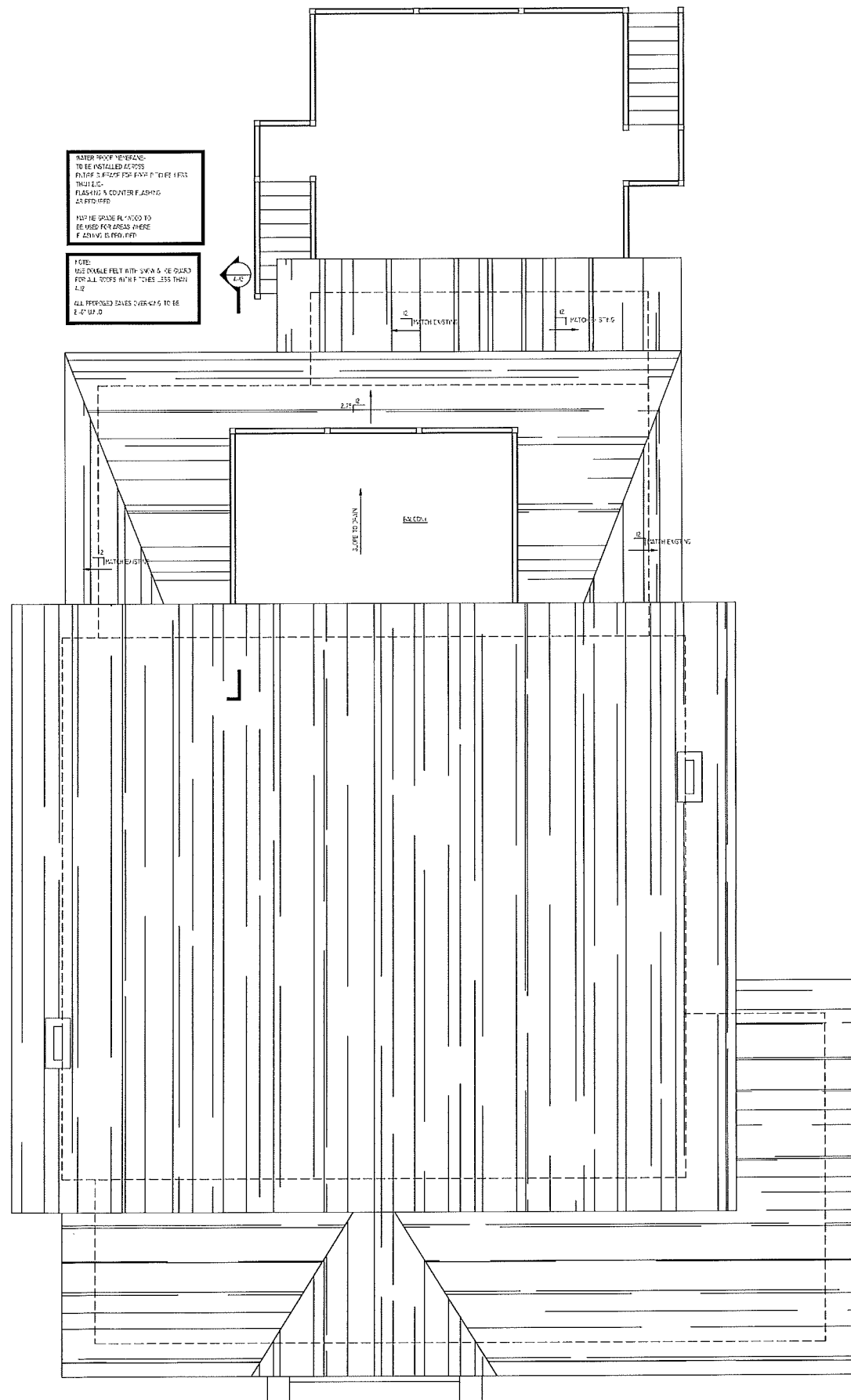
A-8

OF: THIRTEEN

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Charlotte
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Certificate of Appropriateness
2015-266

① PROPOSED ROOF PLAN
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



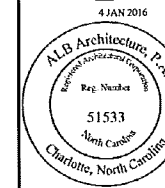
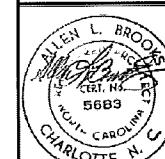
WATER PROOF MEMBRANE
TO BE INSTALLED AS FOLLOWS:
1. 1/2" THICK POLYESTER FIBER GLASS FIBER REINFORCED
CONCRETE FLOORING
2. 1/2" THICK POLYESTER FIBER GLASS FIBER REINFORCED
CONCRETE FLOORING
3. 1/2" THICK POLYESTER FIBER GLASS FIBER REINFORCED
CONCRETE FLOORING

NOTE:
USE DOUBLE FELT WITH GRADE CE BOARD
FOR ALL STOPS WITH FIBER GLASS FIBER
REINFORCED CONCRETE FLOORING
ALL PROPOSED STOPS OVER 42" TO BE
2'-0" WIDE



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PROPOSED PLANS

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OF: THIRTEEN



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Commission

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TO BE INSTALLED ACROSS
ENTIRE SURFACE FOR ROOF PITCHES LESS
THAN 2:12-
FLASHING & COVER FLASHING
AS REQUIRED

WHITE GRIFF FLAVOR 0
351000 FOR AREAS WHERE
FLAS-HIS IS PROVIDED

NOTE:
USE DOUBLE FELT WITH SIGMA & ZE GARD
FOR ALL FOAMS WITH DFC FIBERST AND
LITE
ALL PROPOSED ENTRIES OVER AND TO BE
E-311 AND

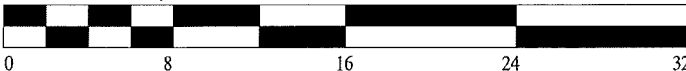


② PROPOSED LEFT SIDE ELEVATION (WINTHROP FACING)
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION(NO CHANGE)
1/4" = 1'-0"

GRAPHIC SCALE 1/4" = 1'-0"



	DATE	HEADER HEIGHT	TYPE
A	5'-0" x 5'-0"	W/TON BEST NG	DOUBLE H/F C
B	2'-0" x 4'-0"	W/TON BEST NG	DOUBLE H/F C
C	2'-0" x 4'-0"	W/TON BEST NG	DOUBLE H/F C
D	2'-0" x 5'-0" SOLICITING W/TON BEST NG	W/TON BEST NG	DOUBLE H/F C

NOTE MATCH TRIM DETAILS AT ROOF EAVE CAP (6) FLASHING & BACK EAVE TRIM @ ROOFLINE

NOTE: PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

NOTE: MATCH EXISTING WINDOW & DOOR MFG. INSTALL WITH EFF. GAF AND FLASHING.
SEE ELEVATIONS FOR PLANT PATTERN. VERIFY ALL REQUIREMENTS FOR EGRESS OR
TEMPERED GLASS.

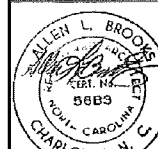
* P.E. - MATCH ENGTFNG

NOTE: 4. FINISHES WITH 4 S.F. OF GLASS OR MORE & LESS THAN 8' A.F.F. MUST BE ENTERED PER CODE (100.)

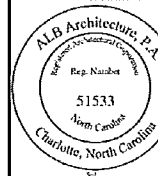
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10 MAR 2016



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9.4.1.1

Historic Dilworth Renovation & Addition for the:

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ISSUED - 19 JAN 2016
REVISIONS - 10 MARCH 2016

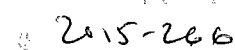
PROPOSED ELEVATIONS

A-10

OF: FOURTEEN

NOTE:

- PROPOSED FIRST FLOOR CEILING HEIGHT TO MATCH EXISTING
- ALL PROPOSED EAVES TO BE 2'-0" U.N.O
- FACE OF BRICK TO ALIGN WITH FACE OF STUD
- PROPOSED FOUNDATION DIMENSION FROM FACE OF BRICK
- EXISTING REAR GABLE & SHED ROOF TO BE REMOVED
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- MARINE GRADE PLYWOOD TO BE USED FOR AREAS WHERE FLASHING IS PROVIDED
- ALL CASED OPENINGS TO BE 6'-8" U.N.O



NOTE:
USE DOUBLE FELT WITH SNOW & ICE GUARD
FOR ALL ROOFS WITH PITCHES LESS THAN
4:12

ALL PROPOSED EAVES OVERHANGS TO BE
2" MIN.



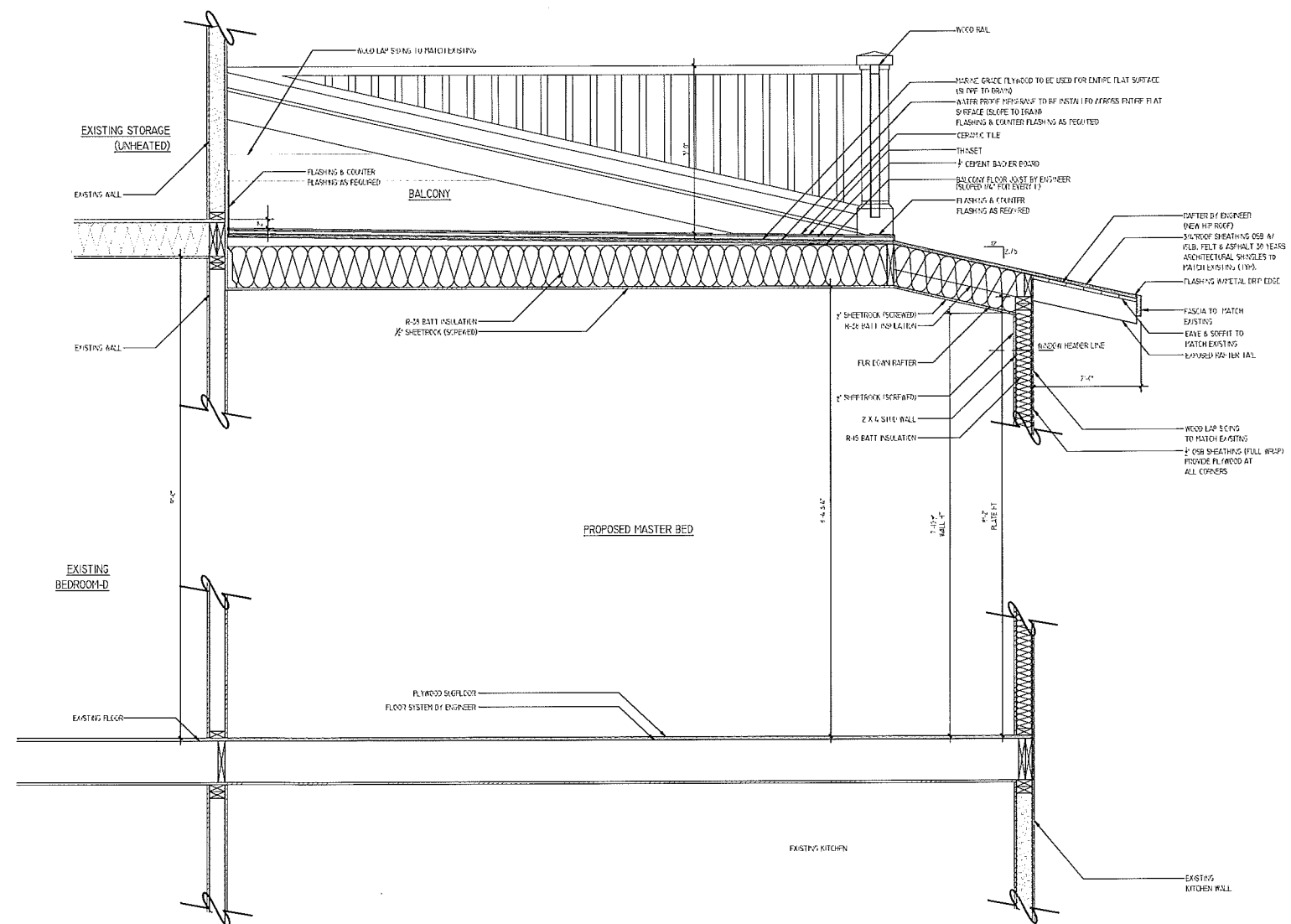
0 8 16 24 32

OF: FOURTEEN

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History District
Commission

Certificate of Appropriateness

2015-266



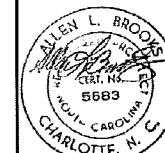
① SECTION THROUGH THRIF FLOOR BALCONY
3/4" = 1'-0"



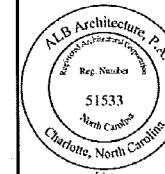
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BUILDING SECTIONS

A-12

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